



CITY OF MILWAUKIE

AGENDA

December 10, 2024

PLANNING COMMISSION

milwaukieoregon.gov

Hybrid Meeting Format: The Planning Commission will hold this meeting both in person at City Hall and through Zoom video. The public is invited to watch the meeting in person at City Hall, online through the City of Milwaukie YouTube page (https://www.youtube.com/channel/UCRFbq3OnDWLQKSB_m9cAw), or on Comcast Channel 30 within city limits.

If you wish to provide comments, the city encourages written comments via email at planning@milwaukieoregon.gov. Written comments should be submitted before the Planning Commission meeting begins to ensure that they can be provided to the Planning Commissioners ahead of time. To speak during the meeting, visit the meeting webpage (<https://www.milwaukieoregon.gov/planning/planning-commission-2>) and follow the Zoom webinar login instructions.

1.0 Call to Order – Procedural Matters — 6:30 PM

1.1 Native Lands Acknowledgment

2.0 Planning Commission Minutes – Motion Needed

2.1 September 10, 2024

2.2 October 8, 2024

3.0 Information Items

4.0 Audience Participation — This is an opportunity for the public to comment on any item not on the agenda

5.0 Community Involvement Advisory Committee (CIAC)

6.0 Hearing Items

6.1 HR-2024-002 - 1620 SE Waverly Dr.

Summary: Historic Resource Review (Type III)

Staff: Associate Planner, Ryan Dyar

6.2 HR-2024-003 - 9712 SE Cambridge Ln.

Summary: Historic Resource Review (Type III)

Staff: Senior Planner, Vera Koliass

7.0 Planning Department Other Business/Updates

8.0 Forecast for Future Meetings

January 14, 2025

Hearing Items : NFIP-ESA Integration (floodplain)

Work Session Items : Annual joint meeting with the Neighborhood District Associations
Planning Commission Orientation

January 28, 2025

Hearing Items : SB1537 Code Amendments

Milwaukie Planning Commission Statement

The Planning Commission serves as an advisory body to, and a resource for, the City Council in land use matters. In this capacity, the mission of the Planning Commission is to articulate the Community's values and commitment to socially and environmentally responsible uses of its resources as reflected in the Comprehensive Plan.

1. **PROCEDURAL MATTERS.** If you wish to register to provide spoken comment at this meeting or for background information on agenda items please send an email to planning@milwaukieoregon.gov.
2. **PLANNING COMMISSION and CITY COUNCIL MINUTES.** City Council and Planning Commission minutes can be found on the City website at www.milwaukieoregon.gov/meetings.
3. **FORECAST FOR FUTURE MEETINGS.** These items are tentatively scheduled but may be rescheduled prior to the meeting date. Please contact staff with any questions you may have.
4. **TIME LIMIT POLICY.** The Commission intends to end each meeting by 10:00pm. The Planning Commission will pause discussion of agenda items at 9:45pm to discuss whether to continue an agenda item to a future date or finish the item.

Public Hearing Procedure

Those who wish to testify should attend the Zoom meeting posted on the city website, state their name and city of residence for the record, and remain available until the Chairperson has asked if there are any questions from the Commissioners. Speakers are asked to submit their contact information to staff via email so they may establish standing.

1. **STAFF REPORT.** Each hearing starts with a brief review of the staff report by staff. The report lists the criteria for the land use action being considered, as well as a recommended decision with reasons for that recommendation.
2. **CORRESPONDENCE.** Staff will report any verbal or written correspondence that has been received since the Commission was presented with its meeting packet.
3. **APPLICANT'S PRESENTATION.**
4. **PUBLIC TESTIMONY.** Comments or questions from interested persons and testimony from those in support or opposition of the application.
5. **QUESTIONS FROM COMMISSIONERS.** The commission will have the opportunity to ask for clarification from staff, the applicant, or those who have already testified.
6. **REBUTTAL TESTIMONY FROM APPLICANT.** After all public testimony, the commission will take rebuttal testimony from the applicant.
7. **CLOSING OF PUBLIC HEARING.** The Chairperson will close the public portion of the hearing. The Commission will then enter into deliberation. From this point in the hearing the Commission will not receive any additional testimony from the audience but may ask questions of anyone who has testified.
8. **COMMISSION DISCUSSION AND ACTION.** It is the Commission's intention to make a decision this evening on each issue on the agenda. Planning Commission decisions may be appealed to the City Council. If you wish to appeal a decision, please contact the Planning Department for information on the procedures and fees involved.
9. **MEETING CONTINUANCE.** Prior to the close of the first public hearing, any person may request an opportunity to present additional information at another time. If there is such a request, the Planning Commission will either continue the public hearing to a date certain or leave the record open for at least seven days for additional written evidence, argument, or testimony. The Planning Commission may ask the applicant to consider granting an extension of the 120-day time period for making a decision if a delay in making a decision could impact the ability of the City to take final action on the application, including resolution of all local appeals.

Meeting Accessibility Services and Americans with Disabilities Act (ADA) Notice

The city is committed to providing equal access to public meetings. To request listening and mobility assistance services contact the Office of the City Recorder at least 48 hours before the meeting by email at ocr@milwaukieoregon.gov or phone at 503-786-7502. To request Spanish language translation services email espanol@milwaukieoregon.gov at least 48 hours before the meeting. Staff will do their best to respond in a timely manner and to accommodate requests. Most Council meetings are broadcast live on the city's YouTube channel and Comcast Channel 30 in city limits.

Servicios de Accesibilidad para Reuniones y Aviso de la Ley de Estadounidenses con Discapacidades (ADA)

La ciudad se compromete a proporcionar igualdad de acceso para reuniones públicas. Para solicitar servicios de asistencia auditiva y de movilidad, favor de comunicarse a la Oficina del Registro de la Ciudad con un mínimo de 48 horas antes de la reunión por correo electrónico a ocr@milwaukieoregon.gov o llame al 503-786-7502. Para solicitar servicios de traducción al español, envíe un correo electrónico a espanol@milwaukieoregon.gov al menos 48 horas antes de la reunión. El personal hará todo lo posible para responder de manera oportuna y atender las solicitudes. La mayoría de las reuniones del Consejo de la Ciudad se transmiten en vivo en el canal de YouTube de la ciudad y el Canal 30 de Comcast dentro de los límites de la ciudad.

Milwaukie Planning Commission:

Jacob Sherman, Chair
Joseph Edge
Ernestina Fuenmayor
Leesa Gratreak
Max Penneck

Planning Department Staff:

Laura Weigel, Planning Manager
Brett Kever, Senior Planner
Vera Koliass, Senior Planner
Adam Heroux, Associate Planner
Ryan Dyar, Associate Planner
Petra Johnson, Administrative Specialist II



CITY OF MILWAUKIE

PLANNING COMMISSION MINUTES

City Hall Council Chambers
10501 SE Main Street
www.milwaukieoregon.gov

September 9, 2024

Present: Jacob Sherman, Chair
Joshua Freeman, Vice Chair
Aaron Carpenter
Tina Fuenmayor
Will Mulhern

Staff: Justin Gericke, City Attorney
Brett Kelper, Senior Planner
Vera Kolias, Senior Planner
Laura Weigel, Planning Manager

Absent: Joseph Edge
Leesa Gratreak

(00:10:24)

1.0 Call to Order — Procedural Matters*

Chair Sherman called the meeting to order at 6:30 p.m., read the conduct of meeting format into the record, and Native Lands Acknowledgment.

Note: *The information presented constitutes summarized minutes only. The meeting video is available by clicking the Video link at <http://www.milwaukieoregon.gov/meetings>.*

(00:11:15)

2.0 Planning Commission Minutes

No information was presented for this portion of the meeting.

(00:11:17)

3.0 Information Items

Planning Manager, Laura Weigel mentioned the upcoming open house for the Washington-Monroe St Greenway project. **Weigel** presented the tentative dates for the planning commission to meet with the NDAs and City Council.

(00:12:43)

4.0 Audience Participation

No information was presented for this portion of the meeting.

(00:13:18)

5.0 Community Involvement Advisory Committee (CIAC)

No information was presented for this portion of the meeting.

(00:14:04)

6.0 Hearing Items

(00:14:04)

6.1 DR-2024-001: 1847 Food Park, Continued

Senior Planner, Vera Kolas, announced the applicable sections of the Milwaukie Municipal Code (MMC): MMC title 12, chapters 19.304, 19.508, 19.600, 19.700, 19.907, 19.911, 19.1006. **Kolas** presented the staff report via a power point presentation. Both are included in the meeting packet.

The applicant's representative, **Garrett Stevenson**, introduced the project architects; **Karl Refi, Terry Amundson**, and **Eric Saunders**. **Stevenson** outlined their goals for the meeting. **Raffe** presented the project via slideshow. **Commissioner Will Mulhern** asked about consideration for an indoor food hall. **Amundson** explained that the design was inspired by the existing site. **Commissioner Aaron Carpenter** asked about other layouts for building locations. **Amundson** explained the vision behind the concept. **Commissioner Tina Fuenmayor** asked about the design process regarding frontage guidelines. The representatives explained how they believe their design meets the intent of the guidelines. **Andy Fisher**, Milwaukie resident, asked why the design cannot meet the 1:1 FAR standard. **Stevenson** replied that it doesn't meet the standard because the structure is not principally a building. **Chair Sherman** closed the public testimony.

Commission Discussion:

The commission discussed the design guidelines, the current design of the project, and expressed their thoughts on the future development of the city. **Carpenter** and **Chair Sherman** asked the applicants clarifying design questions. The commission took a 10-minute recess. **Stevenson** asked to re-open the public testimony. **Chair Sherman** re-opened the public testimony. The applicants addressed some of the commission's concerns and proposed some conditions of approval including fence height and percentage of open perimeter fence, they also discussed basement floor elevation. **Chair Sherman** noted keeping the historic horse ties on the sidewalk. **Chair Sherman** closed the public testimony. The commission continued deliberation.

Mulhern motioned to approve DR-2024-001 as presented and subject to the conditions of approval as outlined, motion to approve VR-2024-002 was included. **Vice Chair Freeman** seconded the motion. The motion was passed with a 3-2 vote.

(02:34:22)

7.0 Work Session Items

(02:34:22)

7.1 Natural Resources Code Amendments

Senior Planner, Brett Kolver presented the latest updates and proposed changes. **Carpenter** asked about slope specifications with respect to identifying natural resource areas. **Kolver** confirmed there is some methodology in the code explaining how slope is calculated. **Chair Sherman** asked whether particular features are or are not identified on the natural resources map. **Fuenmayor** asked whether any historic maps had been

used to identify natural resources. **Kelver** noted their questions and suggestions. **Carpenter** asked if the proposed changes would alleviate staff workload. **Kelver** answered yes. **Carpenter** recommended collaboration with the engineering department to ensure that stormwater management standards and practices can improve wetland health. **Kelver** acknowledged the suggestion.

(03:16:42)

8.0 Planning Department/Planning Commission Other Business/Updates

No information was presented for this portion of the meeting.

(03:17:00)

9.0 Forecast for Future Meetings

September 24, 2024, Hearing Item: Canceled

October 8, 2024, Hearing Item: CU-2024-001; Vacation Rental

Meeting adjourned at approximately 9:45 p.m.

Respectfully submitted,

Petra Johnson, Administrative Specialist II



CITY OF MILWAUKIE

PLANNING COMMISSION MINUTES

City Hall Council Chambers
10501 SE Main Street
www.milwaukieoregon.gov

October 8, 2024

Present: Aaron Carpenter
Joseph Edge
Leesa Gratreak
Will Mulhern

Staff: Ryan Dyar, Associate Planner
Justin Gericke, City Attorney
Laura Weigel, Planning Manager

Absent: Tina Fuenmayor
Jacob Sherman, Chair

(00:10:56)

1.0 Call to Order — Procedural Matters*

Commissioner Edge called the meeting to order at 6:30 p.m. and read the conduct of meeting format into the record. **Commissioner Carpenter** nominated **Edge** as Chair Pro Tem, **Commissioner Mulhern** seconded the motion, the commission voted unanimously in favor of **Edge** as Chair Pro Tem. **Edge** read the Native Lands Acknowledgment.

Note: The information presented constitutes summarized minutes only. The meeting video is available by clicking the Video link at <http://www.milwaukieoregon.gov/meetings>.

(00:12:40)

2.0 Planning Commission Minutes

The August 13, 2024, minutes were approved as presented.

(00:13:22)

3.0 Information Items

Planning Manager, Laura Weigel let the commission know that **Vice Chair Freeman** had resigned from the Planning Commission. **Weigel** added that City Council had approved an alternate for the planning commission as part of the larger recruitment process last fall. **Weigel** introduced the incoming commissioner, **Max Penneck**.

(00:14:45)

4.0 Audience Participation

No information was presented for this portion of the meeting.

(00:15:24)

5.0 Community Involvement Advisory Committee (CIAC)

No information was presented for this portion of the meeting.

(00:15:58)

6.0 Hearing Items

(00:16:01)

6.1 CU-2024-001-Vacation Rental at 11932 SE 35th Ave.

Associate Planner, Ryan Dyar, announced the applicable sections of the Milwaukie Municipal Code (MMC): MMC 19.301, 19.905, 19.1006. **Dyar** presented the staff report via a power point presentation. Both are included in the meeting packet.

The applicant, **Kristina Fedorovskiy**, explained the intentions behind the land use application. **Mulhern** asked about contingency plans when the owner is unavailable for immediate assistance at the vacation rental. **Fedorovskiy** replied that there are 2 back up people available when needed. **Commissioner Gratreak** asked what company they will be working with. **Fedorovskiy** replied they would likely be using Airbnb. **Gratreak** asked about mitigation for parties. **Fedorovskiy** replied that she intends to include language in the rental agreement prohibiting parties. The agreement would also state that any renter breaking the rules would forfeit their stay without a refund. **Gratreak** asked about smoking on the property. The applicant's intention is that there will be no smoking anywhere on the property. Milwaukie residents, **Lauren Robinson** and **Nancy Chauntler**, testified in opposition of the application. **Fedorovskiy** stated that the property has at least 3 parking spaces. **Edge** closed the public testimony. **Carpenter** asked about an operational plan requirement. **Dyar** replied there is no requirement. **Gratreak** asked about calling non-emergency if a renter is defying the rental agreement, **Dyar** replied the first course of action should be calling the rental manager / owner of the property. **Carpenter** asked if the term 'party' is defined in the code. **Dyar** replied that it is not defined in the code. **Edge** clarified that the city can only regulate noise.

Commission Discussion:

Edge said the proposal meets the conditions of approval. **Carpenter** agreed that the application meets code requirements but asked that staff continue to look over the code regarding vacation rentals. **Mulhern** and **Gratreak** agreed with **Carpenter's** sentiments. **Mulhern** commented on adding more detail to future applications and encouraged **Fedorovskiy** to consider the neighbors' concerns. **Carpenter** motioned to approve CU-2024-001 as presented. **Mulhern** seconded the motion. The motion was passed with a 4-0 vote.

(01:07:58)

7.0 Work Session Items

No information was presented for this portion of the meeting.

(01:08:01)

8.0 Planning Department/Planning Commission Other Business/Updates

No information was presented for this portion of the meeting.

(01:08:15)

9.0 Forecast for Future Meetings

October 22, 2024, Hearing Item: No items at this time

November 12, 2024, Work Session Item: Annual Joint Meeting with NDA's
(tentative)

Meeting adjourned at approximately 7:40 p.m.

Respectfully submitted,

Petra Johnson, Administrative Specialist II



CITY OF MILWAUKIE

To: Planning Commission
Through: Laura Weigel, Planning Manager
From: Ryan Dyar, Associate Planner
Date: December 3, 2024, for December 10, 2024, Public Meeting
Subject: **File:** HR-2024-002
Applicant: Troy Fowler, Fowler Home + Design
Owner(s): Mark Eklund
Address: 1620 SE Waverly Drive
Legal Description (Map & Tax Lot): 1S1E26DB00300
NDA: Historic Milwaukie

ACTION REQUESTED

Open the public hearing, listen to the staff report and applicant presentation, and discuss application HR-2024-002. The Planning Department does not have in-house staff with historic preservation expertise, so the city contracted with the Peter Meijer Architecture firm, which specializes in historic architecture, to assist staff in the review of this application. The city's historic preservation consultant has provided review comments on the application's response to the approval criteria that include recommendations for more complete compliance with multiple criteria. Therefore, as the proposal does not currently meet the criteria, staff recommend denial of the application and have provided Findings in Support of Denial in Attachment 1.

That said, historic resources review, unlike other Type III reviews, is highly subjective and discretionary. Staff and the consultant recognize that this is a private residence, and structures need to evolve over time for both modern use and code compliance; applications like this one are unique. Therefore, a failure to fully meet all the approval criteria might not necessarily result in an outright denial of the proposal. Staff have provided a staff report with discussion and analysis to help the Commission reach a final decision after review during the hearing.

BACKGROUND INFORMATION

A. Site and Vicinity

The site address is 1620 SE Waverly Dr. The property is developed with a single detached structure, a carport, and landscaped garden areas. The surrounding area includes single detached dwellings and a golf course to the north across Waverly Dr (see Figure 1).



Figure 1. Site and vicinity



Figure 2.Primary (north) elevation (Zillow)

B. Zoning Designation

The site is in the [Moderate Density Residential](#) (R-MD) zone with a [Historic Resources Overlay](#) (HP) zoning designation.

C. Comprehensive Plan Designation

Moderate Density

D. Land Use History

- **1989:** The property was identified as a “Significant” historic resource and was placed and city’s historic resource inventory. Attachment 6 contains the 1988 Cultural Resource Inventory (1988 Inventory) documentation for the subject property.

E. Proposal

The proposed work includes the addition of a primary wing on the east side of the residence, the addition of a 306 sq ft prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6 feet, and extending the south kitchen and nook walls 8.5 ft and 6 ft respectively. A lanai and porch are proposed for the northwest corner of the house and the primary entrance column on the north elevation is proposed to extend outward just over 6 feet.

On the second floor, wall extensions are proposed on the east wall at the existing bath, the south wall, and west wall. Decks are proposed to the northwest and south. The roof of the main body of the house will remain at the same height as today. Other proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The northern elevation (street-facing façade) is proposed to retain some of the original building design. Changes include: the design of some replacement windows; the design of the pediments above the second-floor windows on the west wing and the addition of a belt course; the extension of the primary entrance column.

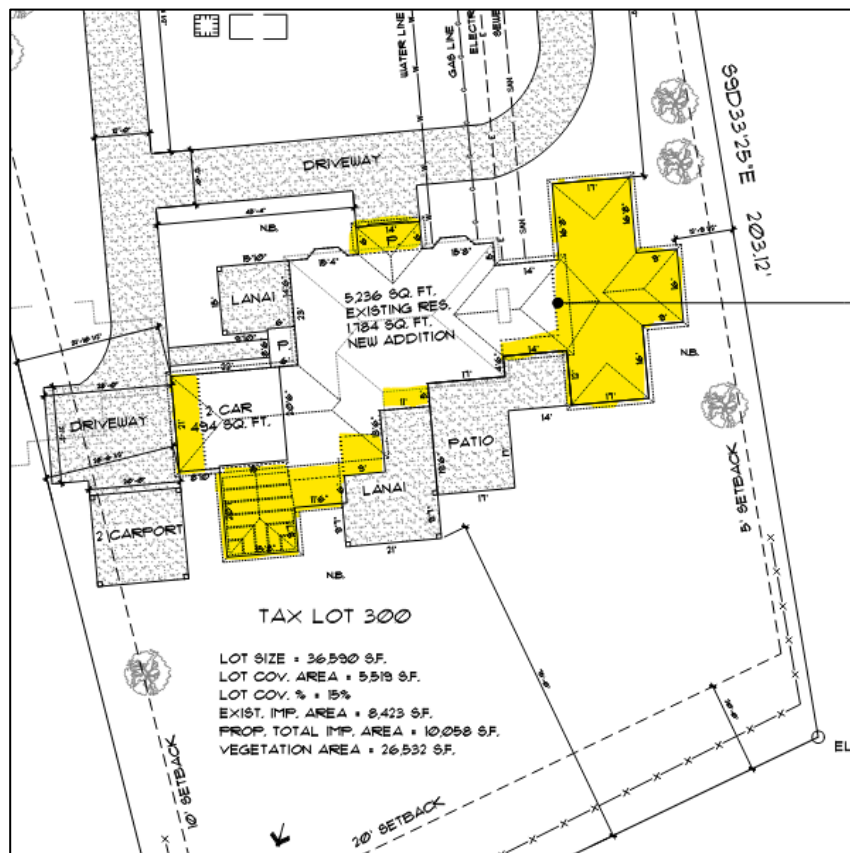


Figure 3. Site plan showing location of proposed footprint expansion (highlighted). Expansion also includes the addition of two lanais (not highlighted).

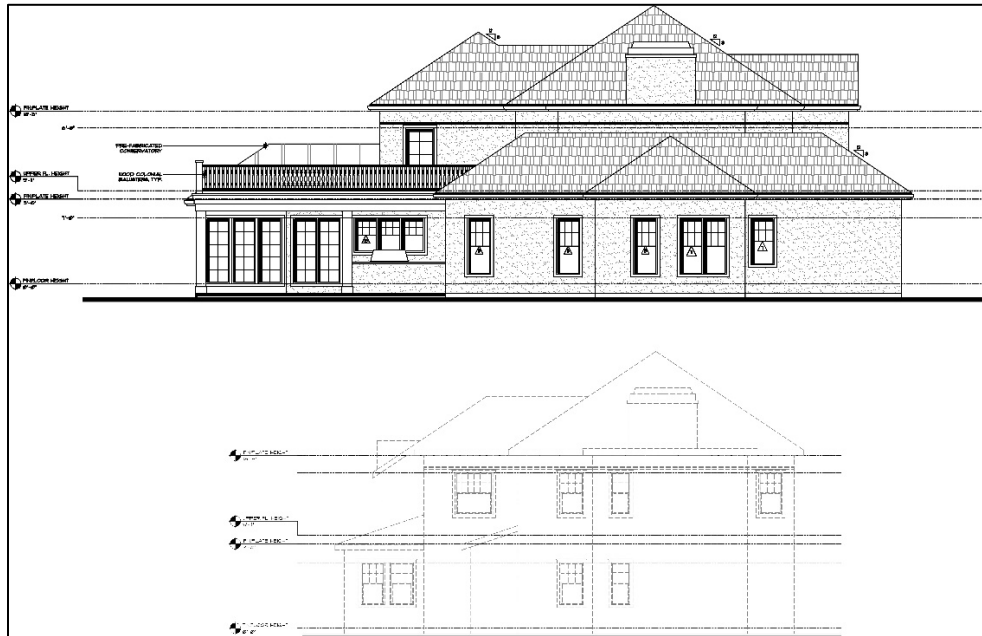


Figure 6. West elevation showing existing facade (bottom) and proposed modifications, including new east wing, lanai, and conservatory (top).



Figure 7. East elevation. Showing new garage entrance, lanai, window changes, and conservatory.

The project requires approval of the following applications:

1. HR-2024-002: Type III Historic Resource review (exterior alteration of a landmark)

Analysis

As stated earlier, historic resource review is not a common application in Milwaukie, and especially not for private residences. Due to the infrequency of this type of application and the technical nature of the review, the city employed Peter Meijer Architect, PC—a local architecture firm specializing in historic architecture and preservation—to assist city staff in their review.

MMC 19.403 provides regulatory language for review of alterations to listed historic resources, including a purpose section and approval criteria. The approval criteria are deliberately discretionary to allow for opportunities for changes to these resources while still preserving key architectural elements and maintaining complementary design and visual integrity, while ensuring continued modern use of the structure.

1988 Cultural Resources Inventory

The Milwaukie Historic Resources Inventory is adopted as part of the city's Comprehensive Plan and consists of two different types of historic resources designations within the city – significant and contributing. Historic resources that are designated as significant require the highest level of review. There are 16 properties in the city that are designated as significant. The historic resources listed in the inventory were given scores to determine their significance. Scoring occurred in the late 1980's based on a list of criteria that include person/group/organization affiliated with the property, event associated with the property, pattern, style/building type/convention, design/artistic quality, material construction, integrity, rarity, landmark, setting, and continuity. To be designated as "significant," an historic resource must receive a rating score level of 60 or greater on the evaluation worksheet and be at least 50 years old or score a high of 10 in at least two of the categories of the evaluation worksheet or be listed on the National Register of Historic Places. The house is not listed on the National Register of Historic Places.

Built in 1922, the house received a total score of 54, less than the required score of 60. However, the rating of "Significant" was determined because it received a full score (10/10) in the following two categories:

1. **Person/Group/Organization:** It received full marks in this category because of its association with William and Annie MacMaster. William was a successful financial and real estate businessman and was active in community affairs. He was the president of various Portland-Area civic organizations and a local and state booster. Annie was responsible for women's war work throughout the Pacific Northwest for the YMCA during World War I. According to the 1988 Inventory, the MacMasters were notably one of the first families to reside permanently in Waverly. This estate, known as Ravenswood, was the second built for the MacMaster's in Waverly. The first, known as Ardour, was torn down in 1937.

2. **Style/Building Type/Convention:** The house received full marks as the best example of colonial revival architecture in Milwaukie. The 1988 Historic Resource Survey determined the following as notable character-defining features of the home:
- Primary entrance with paired paneled doors, Swan’s neck pediment, full entablature, and Ionic pilasters.
 - Stucco exterior cladding
 - Quoining, also made of stucco
 - Polygonal bays
 - End wall Chimney
 - Palladian window
 - Full-height polygonal bay window with tent roof and spandrel
 - Belt course above heads of second story windows
 - Rectangular plan glanced by two smaller wings on side elevations

Key Question

Staff have identified the following question for the Commission’s deliberation. Aspects of the proposal and approval criteria not listed below are addressed in the Findings in Support of Denial (see Attachment 1) and generally require less analysis and discretion. The contracted architect provided review comments both on the original application submittal and the additional information the applicant submitted in response to the first review (see Attachments 3, 4, and 5).

Staff recognize that this is a private residence and that there’s a need for structures to evolve over time to meet updated building and energy codes and accommodate the needs of their occupants. However, the scale and extent of the proposed changes is a clear concern for the city’s consultant. The concerns are discussed in more detail below, along with the applicant’s response to the approval criteria, and the consultant’s recommendation for how the criteria can be met.

The following analysis includes review of select [approval criteria](#) for exterior alterations to a historic resource.

A. Is the proposal consistent with the visual integrity or style of the home, including building height, horizontal additions, and windows?

The applicant is proposing modifications to the house to create a more efficient and safer residence through better insulation, higher performance windows, and seismic fortification of the structure. As discussed, the proposed work includes the addition of a primary wing on the east side of the residence, the addition of a prefabricated conservatory at the southwest side of the residence, extensive window replacement and redesign, increasing the roof height on the west wing, wall extensions on to the south, west, and north, and the addition of a lanai on the north and south elevations.

Retention of Original Construction

This criterion states that distinguishing qualities defining a resources character shall not be destroyed and that removal or alteration of historic materials shall be avoided. The proposal involves redesigning various aspects of the street facing façade. Most notably, the plan proposes extending the primary entrance column outward six feet which necessarily involves altering high-preservation priority entryway features. Recognizing the significance of the entryway, the applicant is proposing to reuse the distinctive entryway features mentioned in the 1988 Inventory; this includes entry door, swan’s neck pediment, entablature, and ionic pilasters.

To meet this criterion, the city’s consultant recommends that the character-defining qualities of the entire primary, north, elevation remain as they currently exist. They recommend that the primary entrance block remain flush with the north elevation and that window size and design should match that of the historic; this includes the pediments above the second story windows on the west wing. The consultant also recommends removing the proposed belt course on the west wing, as the design element is not historically accurate to the wing of the house.

Building Height Criterion

The building height criterion states that existing building heights and pitches should be maintained. The applicant is not proposing a new foundation or to raise or lower the building’s permanent maximum height. However, through the central column extension, the proposal would alter the roof design of the main block. The proposal also involves raising the height of the west wing of the home and adding three pediments on the second floor of the west wing that alter the roof’s design. Despite some inconsistencies in the plan set, the applicant proposes retaining the flat roof on the east wing and above the two-story bay windows on the main block.

The applicant’s statement argues that the tallest roof form will remain—thus maintaining existing building’s highest elevation—and that the existing roof pitches will be retained.

The city’s consultant recommends the following be maintained to meet the criteria. As indicated below, the proposal is consistent with some but not all these recommendations.

- Ensure the retention of the flat roof on the existing east wing of the home (*consistent with proposal*).
- Ensure the retention of historic design and composition of the two existing pediments above windows on the west wing of the home (*inconsistent with proposal*).
- Retention of the flat roof above the two-story bay window on the north elevation (*consistent with proposal*).
- Retention of the pediment above the front entry design sequence (*inconsistent with proposal, although the applicant does propose reconstructing a similar pediment on the extended column*).

- Ensure that the proposed addition and extension of walls at the garage, kitchen and kitchen nook, and east wing will not alter the pitch of the roof to which they are attached (*consistent with proposal*).
- Ensure that no new roof height will be taller than the existing tallest roof height of the building (*consistent with proposal*).

Horizontal Additions

The criterion allows for horizontal additions on historic structures so long as the scale and proportion of building additions, including the relationship of windows to walls, are visually compatible with the traditional architectural character of the historic building.

As noted, the applicant is proposing a significant east wing addition, the addition of a conservatory on the south elevation, and wall extensions on the south, east, and northern elevations. The applicant states that these additions and wall extensions are visually consistent with the historic structure and that the criterion is therefore satisfied. The city's consultant largely agrees but takes issue with the extension of the central column on the street-facing façade. To meet the criterion, the consultant also proposes shifting the new east wing where the addition connects with the existing structure to avoid obscuring the primary block of the historic home.

Windows

Except for the Palladian windows on the southern and northern elevations, the applicant proposes replacing all the windows on every elevation. Window replacement is allowed under the MMC so long as the replacements match the originals as closely as possible.

The applicant does propose retaining the size and appearance of the windows specifically mentioned in the 1988 Inventory. On the northern elevation, apart from the Palladian window, which is to be moved slightly but reused, the applicant proposes retaining the size and appearance of the single-story bay window — while replacing the glass itself with a higher performance window — with the tent roof and the full height poloidal bay windows. However, all other window designs on the front elevation are proposed to change.

The applicant's statement notes that the frame size and grilles will match the original windows; however, they fail to mention or justify other proposed modifications.

To meet this criterion, the city's consultant recommends that the window replacements match the visual qualities and design of the historic windows on the north elevation. The new windows proposed on the first and second floor of the new west wing should match those of the existing historic. Other window replacements or redesigns should match the visual qualities of the original windows by maintaining the number of windows and panes.

CONCLUSIONS

A. Staff recommendation to the Planning Commission:

Based solely on the approval criteria staff recommend that the Commission deny the application. However, staff and the consultant recognize that this is a private residence, and structures need to evolve over time for both modern use and code compliance; applications like this one are unique. Therefore, a failure to fully meet all the approval criteria or comply with every consultant recommendation might not necessarily result in an outright denial of the proposal.

CODE AUTHORITY AND DECISION-MAKING PROCESS

The proposal is subject to the following provisions of the Milwaukie Municipal Code (MMC).

- MMC 19.301 Moderate Density Residential Zone
- MMC 19.403 Historic Preservation Overlay MMC 19.1006
- Type III Review

This application is subject to Type III review, which requires the Planning Commission to consider whether the applicant has demonstrated compliance with the code sections shown above. In Type III reviews, the Commission assesses the application against review criteria and development standards and evaluates testimony and evidence received at the public meeting.

The Commission has 4 decision-making options as follows:

- A. Approve the application subject to the recommended Findings.
- B. Approve the application with modified Findings and Conditions of Approval. Such modifications need to be read into the record.
- C. Deny the application upon finding that it does not meet approval criteria. Such findings need to be read into the record.
- D. Continue the hearing.

The final decision on these applications, which includes any appeals to the City Council, must be made by January 30, 2025, in accordance with the Oregon Revised Statutes and the Milwaukie Zoning Ordinance. The applicant can waive the time period in which the application must be decided.

COMMENTS

Notice of the proposed changes will be provided prior to the public hearing to the following agencies and people: City of Milwaukie Engineering, Building, and Public Works Departments, Community Development, NDA Program Manager, City Attorney, Oregon State Historic Preservation Office, and the Historic Milwaukie Neighborhood District Association (NDA). Notice was also sent to all properties within 300 ft of the site.

ATTACHMENTS

Attachments are provided as indicated by the checked boxes. All material is available for viewing upon request.

	Early PC Mailing	PC Packet	Public Copies	Packet
1. Recommended Findings in Support of Denial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Applicant's Narrative and Supporting Documentation received September 3, 2024				
a. Narrative	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b. Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
c. Construction Drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3. Consultant review dated October 1, 2024	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4. Applicant's supplemental information received November 7, 2024	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
5. Consultant second review dated November 14, 2024	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6. Historic Resource Inventory Listing, 1988	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Key:

Early PC Mailing = materials provided to PC at the time of application public notice.

PC Packet = materials provided to PC 7 days prior to the hearing.

Public Copies = paper copies of the packet available for review at City facilities and at the PC meeting.

Packet = packet materials available online at <https://www.milwaukieoregon.gov/bc-pc/planning-commission-133>.

ATTACHMENT 1
Findings in Support of Denial
Primary File #HR-2024-002; 1620 SE Waverly Dr historic review

Sections of the Milwaukie Municipal Code not addressed in these findings are found to be inapplicable to the decision on this application.

1. The applicant's representative, Troy Fowler, has applied on behalf of Mark Eklund (owner) for approval to alter the historic structure at 1620 Waverly Dr. The base zone for this site is Moderate Density Residential (R-MD) and the site contains a Historic Preservation Overlay zoning designation. The primary land use application file number is HR-2024-002.
2. The proposed work includes the addition of a primary wing on the east side of the residence, the addition of a 306 sq ft prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6 feet, and extending the south kitchen and nook walks 8.5 ft and 6 ft respectively. A lanai and porch are proposed for the northwest corner of the house and the primary entrance column on the north elevation is proposed to extend outward just over 6 feet.

On the second floor, wall extensions are proposed on the east wall at the existing bath, the south wall, and west wall. Decks are proposed to the northwest and south. The roof of the main body of the house will remain at the same height as today. Other proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The street-facing façade is proposed to retain some of the original building design. Changes include: the design of some replacement windows; the design of the pediments above the second-floor windows on the west wing and the addition of a belt course; the extension of the primary entrance column.

3. The proposal is subject to the following provisions of the Milwaukie Municipal Code (MMC):
 - MMC 19.301 Moderate Density Residential Zone
 - MMC 19.403 Historic Preservation Overlay
 - MMC 19.1006 Type III Review

The application has been processed and public notice provided in accordance with MMC Section 19.1006 Type III Review. A public hearing was held on December 10, 2024, as required by law.

4. MMC 19.301 Moderate Density Residential Zone
 - a. MMC 19.301.3 Uses

MMC Table 19.304.3 establishes the uses that are allowed in the Moderate Density Residential Zone (R-MD)

The property is the site of a single detached dwelling, which is a permitted use in the R-MD zone.

This standard is met.

b. MMC 19.301.4 Development Standards

MMC 19.301.4 establishes standards for new development in the R-MD zone.

Table 1 provides the applicable standards for development in the R-MD zone.

Table 1 Lot and Development Standards			
Standard	R-MD Requirement	Existing	Proposed
Min/max lot size	5,000+ sq ft (for single detached dwelling)	36,590 sq ft	36,590 sq ft
Front yard	20 ft (for lots ≥ 7,000 sq ft)	86.6 ft	76.6 ft
Side yard(s)	5 ft/10ft (for lots ≥ 7,000 sq ft)	34.5 ft/40 ft	28.5 ft/12.7ft
Rear yard	20 ft (for lots ≥ 7,000 sq ft)	10 ft	10 ft
Maximum Height	35 ft	31ft (Max Peak)	31ft (Max Peak)
Maximum Lot Coverage*	30% = 10,977 sq ft (for lots ≥ 7,000 sq ft)	2,328 sq ft (6%)	5,141 sq ft (14%)
Minimum Vegetation	30% = 10,977 sq ft (for lots ≥ 7,000 sq ft)	28,167 sq ft (76%)	26,532 sq ft (72%)

*Note: these numbers are different from what's shown on the applicant's site plan. This is because lot coverage per the MCC does not equate to impervious surface or building floor area. See MMC 19.201 for lot coverage definition.

The Planning Commission finds that the proposal meets all applicable development standards of MMC 19.301.

5. MMC 19.403 Historic Preservation Overlay

MMC 19.403 provides standards and procedures for review of applications related to identified historic resources.

The subject property is identified on the city's historic and cultural resources inventory as a "Significant" historic resource; therefore, the regulations in MMC 19.403 apply.

a. MMC 19.403.5 Alteration and Development

- (1) MMC 19.403.5.A requires review for any exterior alteration of a landmark deemed "Significant" in the City historic inventory.

The subject property is designated as a "Significant" historic resource, and the proposed improvements are for exterior alterations, including modifications to character defining features described in the city's 1988 Historic Resource Inventory (1988 Inventory) on the north elevation, a new east wing, a new conservatory to the south, and more minor footprint expansions to the north and west. The proposed improvements are subject to be reviewed under the provisions of MMC 19.403.

- (2) MMC 19.403.5.B requires that an application for exterior alteration of a landmark be submitted to the Planning Director, in such form and detail as prescribed by the Director. Applications that do not meet the requirements for projects subject to administrative approval as per MMC 19.403.5.C shall follow the Type III review process outlined in MMC 19.1006.

An application with sufficient detail has been submitted for Type III review. This standard is met.

- (3) MMC 19.403.5.D provides for approval of alteration requests that do not qualify for administrative approval.

As described above, the proposal is to modify character defining features described in the 1988 historic resource survey and expand the house in all directions.

Because these modifications do not meet the standards for administrative approval, the application has been combined under a Type III review, per MMC 19.1006.

- (4) MMC 19.403.5.E establishes approval criteria for alterations to landmarks.

The proposed improvements have been evaluated against the relevant approval criteria as follows:

- (a) Retention of Original Construction

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

The applicant proposes redesigning various aspects of the north (street-facing) elevation identified as being significant in the 1988 Inventory. Most notably, the plan proposes extending the primary entrance column outward six feet. While the applicant—recognizing the significance of the entryway—is proposing to relocate the distinctive entryway features mentioned in the 1988 Inventory (including the entry door, swan's neck pediment, entablature, and ionic pilasters), the extension of the primary entrance block alters the entryway's original appearance unnecessarily.

The applicant has also proposed replacing various windows and doors on the north elevation, including significantly modifying the west wing's windows and

pediments. These modifications go beyond material replacement due to deterioration or energy inefficiency and instead alter the design.

This criterion is not met.

(b) Building Height

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

The applicant is not proposing a new foundation or to raise or lower the building's permanent elevation. However, the applicant is proposing to make roof alterations on the main block and west wing of the home. These modifications would raise the height of the west wing of the home. Additionally, the proposed northern extension—which is not approvable under Approval Criterion 1: Retention of Original Construction—would raise portions of the main block's roof.

Lastly, there is a discrepancy in the plan set regarding how the roof of the proposed east addition will connect to the historic eastern wing of the house. However, staff understand—based on the application statement—that the applicant intends to retain the flat roof on the existing east wing of the home and above the two-story bay window on the northern elevation. A condition of approval can be added to ensure the applicant provides an updated plan set for the building permit that retains these flat roofs.

This criterion is not met.

(c) Horizontal Additions

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

The applicant has proposed building extensions to the east, west, and south that are visually compatible with the traditional architectural characteristics of the historic building. The additions and alterations utilize stucco cladding or a stucco-like finishing material to match the existing exterior finish, and the overall scale and design of windows and doors on these elevations respect the building's original Colonial Revival design.

The proposed northern extension, while consistent with the Colonial Revival architectural style, is not permitted due to Approval Criterion 1 Retention of Original Construction.

This criterion is not met.

(d) Windows

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non-wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of windowpanes shall be maintained or restored when replacements are required.

Except for the Palladian windows on the northern and southern elevations, the applicant has proposed replacing all the windows on the house. On the main block (northern elevation), the applicant is proposing to retain the size and appearance of the single-story bay window with the tent roof and the full height poloidal bay windows; this is notable because these features are called out in the 1988 Inventory. However, the windows on the east and west wings—on both the first and second floor of the northern elevation—are proposed to be replaced with windows that do not match the visual qualities of the original. While lower priority, window replacements on the east, west, and south elevations also do not match the visual qualities of the original.

This criterion is not met.

(e) Restoration Possible

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

The proposed alterations are wood frame construction. While unlikely, in theory, the various expansions and additions could be removed in the future and the original form of the building could be restored.

This criterion is met.

(f) Signs and Lighting

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

There is no proposed signage. The existing northern elevation contains a single lantern-style fixture above the primary entrance. The applicant has not shown this light or indicated whether it will be reused in construction. The plans do not show any other or lighting or appurtenances; however, the applicant indicates in their application statement that all proposed lighting and appurtenances will be visually compatible with the original character of the building.

This criterion is met.

(g) Time Period Consistency

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

The proposed alterations that are approvable per the approval criteria, including the east wing, the conservatory, the kitchen extension, kitchen nook extension, and garage extension—are consistent with the Colonial Revival architectural style. No proposed changes create a false historical basis or earlier appearance.

This criterion is met.

(h) Visual Integrity/Style

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

As discussed under Criterion 1: Retention of Original Construction, the applicant is proposing to make major modifications to the distinctive, high-preservation-priority, architectural features identified in the 1988 Inventory. While many of those architectural features are intended to be reused (the paired paneled door, swan's neck pediment, quoining, ionic pilasters, and full entablature), the criterion calls first and foremost for maintenance and restoration, not removal and relocation.

This criterion is not met.

(i) Replacement or Additional Materials

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

While the proposed additions and expansions match the style of the original building, as discussed above, the applicant is proposing to make major changes to high-preservation priority features and replace nearly all the windows in the house with ones that are visually inconsistent with the originals.

As proposed, this criterion is not met.

(j) Buffering

An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

No new commercial or industrial improvement or use is proposed on a designated resource.

This criterion is not applicable.

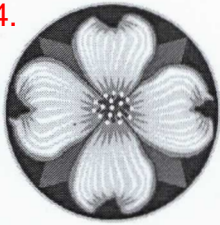
The proposed improvements do not meet the applicable standards of MMC 19.403.

6. The application was referred to the following departments and agencies on October 3, 2024:

- Milwaukie Building Division
- Milwaukie Community Development Department
- Milwaukie City Attorney
- Milwaukie Neighborhood District Association Program Manger
- State of Orgon Parks and Recreation (State Historic Preservation Office)
- Milwaukie Engineering Department
- Milwaukie Public Works Department
- Historic Milwaukie Neighborhood District Association Chairperson and Land Use Committee

No comments were received in response to the referral.

7. Notices were sent to all properties within 300 ft of the subject property on November 20, 2024. As of November 27, 2024, no comments have been received.



MILWAUKIE PLANNING
10501 SE Main St.
Milwaukie OR 97222
503-786-7630
planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: HR-2024-002

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input type="checkbox"/> Community Service Use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance: |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Director Determination | <input type="checkbox"/> Natural Resource Review** | <input type="checkbox"/> Willamette Greenway Review |
| <input type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input type="checkbox"/> Historic Resource: | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input checked="" type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| <input type="checkbox"/> Status Deletion | | • Appeal |

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): **Mark Eklund**

Mailing address: **1322 SE Lexington St., Portland** State/Zip: **OR, 97202**

Phone(s): **503-420-6902** Email: **markeklund96@gmail.com, aprileklund@gmail.com, troy@fowlerhomedesign.com, ag.brown143@gmail.com**

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above):

Mailing address: State/Zip: .

Phone(s): Email:

SITE INFORMATION:

Address: **1620 SE Waverly Dr., Milwaukie, OR 97222** Map & Tax Lot(s): **11E26DB00300**

Comprehensive Plan Designation: Zoning: **R-MD** Size of property: **0.84 acres**

PROPOSAL (describe briefly):

A 1784 S.F. ADDITION TO THE EXISTING RESIDENCE. IT ALSO INCLUDES THE ADDITION OF A 306 S.F. PRE-FABRICATED CONSERVATORY.

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by: *Mark Eklund* Date: **9/3/2024**

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.

** Natural Resource and Transportation Review applications may require a refundable deposit.

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT <small>(after discount, if any)</small>	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	HR-2024-002	\$ 2,000			Applicant materials received on 9/3/24. Payment received on 9/4/2024.
Concurrent application files		\$			
		\$			
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ 2,000			RECEIPT #: 28715	RCD BY: R.Dyar	
Associated application file #s (appeals, modifications, previous approvals, etc.):					
Neighborhood District Association(s): Historic Milwaukie					
Notes: The applicant is proposing to alter a historic resource (1620 SE Waverly Dr) listed as significant on Milwaukie's local inventory.					

Detailed Statement

Proposed Alterations at 1620 SE Waverly Dr.

9/3/2024

Prepared For: City of Milwaukie, Oregon

Prepared By: Fowler Home + Design

The summary of proposed alterations to the existing residence on the main floor include the addition of a primary wing located on the far east side of the residence that houses a bedroom, bath, and walk-in closet, the addition of a 306 s.f. prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6', and extending the south kitchen and nook walls 8.5' and 6' respectively. The total main floor additions including the conservatory amounts to 1,436 s.f.

On the upper floor, slight wall extensions are made on the north wall above the porch, the east wall at the existing bath, the south wall, and west wall which amounts to a total of 348 s.f. additional area. The upper floor also includes the additions of a deck on the northwest and the south. All existing roofs are kept as existing as much as possible, such as the tallest roof form over the primary mass of the existing residence. The proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The two most critical elements outlined in the 1988 historic resource survey are the PERSON and STYLE categories. The STYLE category states the residence as Colonial Revival style with elements of interest centered primarily around the entrance of the residence such as the paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters. Additional noted elements of interest include quoining at the entrance, an endwall chimney, a palladian window, the polygonal bay window with tent roof and spandrel, and the belt course over the second story windows.

The proposed alterations have little to no impact on the PERSON category as the overall character and layout of the existing residence is maintained. For the STYLE category, the proposed alterations enhance and add to the existing style by an increased number of Colonial Revival design elements than found in the existing residence. The proposed alteration Colonial Revival Design elements include an arched keystone entryway with full entablature and doric pilasters, curved molding around an oval window above the entrance, an arched entry door, gridded windows throughout, two curved copper roofs with oval windows below, an exposed stone chimney with a copper chimney cap, a tile clad curved bay with a full entablature off the dining room, colonial wooden balusters, and a more extensive usage of materials that better reflect the Colonial Revival style such as brick, stone, copper, and painted cedar siding.

In addition to the increased Colonial Revival design elements in the proposed alterations, the alterations will also create a more efficient and safe residence through better insulation, higher performance windows, seismic fortification of the structure, and usage of high quality exterior materials that align with the Colonial Revival style.

The proposed alterations adhere to all relevant zoning and development standards. Refer to the plans and elevations for further information.

Detailed Statement

Proposed Alterations at 1620 SE Waverly Dr.

9/4/2024

Prepared For: City of Milwaukie, Oregon

Prepared By: Fowler Home + Design

The summary of proposed alterations to the existing residence on the main floor include the addition of a primary wing located on the far east side of the residence that houses a bedroom, bath, and walk-in closet, the addition of a 306 s.f. prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6', and extending the south kitchen and nook walls 8.5' and 6' respectively. The total main floor additions including the conservatory amounts to 1,436 s.f.

On the upper floor, slight wall extensions are made on the north wall above the porch, the east wall at the existing bath, the south wall, and west wall which amounts to a total of 348 s.f. additional area. The upper floor also includes the additions of a deck on the northwest and the south. All existing roofs are kept as existing as much as possible, such as the tallest roof form over the primary mass of the existing residence. The proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The two most critical elements outlined in the 1988 historic resource survey are the PERSON and STYLE categories. The STYLE category states the residence as Colonial Revival style with elements of interest centered primarily around the entrance of the residence such as the paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters. Additional noted elements of interest include quoining at the entrance, an endwall chimney, a palladian window, the polygonal bay window with tent roof and spandrel, and the belt course over the second story windows.

The proposed alterations have little to no impact on the PERSON category as the overall character and layout of the existing residence is maintained. For the STYLE category, the proposed alterations enhance and add to the existing style by an increased number of Colonial Revival design elements than found in the existing residence. The proposed alteration Colonial Revival Design elements include an arched keystone entryway with full entablature and doric pilasters, curved molding around an oval window above the entrance, an arched entry door, gridded windows throughout, two curved copper roofs with oval windows below, an exposed stone chimney with a copper chimney cap, a tile clad curved bay with a full entablature off the dining room, colonial wooden balusters, and a more extensive usage of materials that better reflect the Colonial Revival style such as brick, stone, copper, and painted cedar siding.

In addition to the increased Colonial Revival design elements in the proposed alterations, the alterations will also create a more efficient and safe residence through better insulation, higher performance windows, seismic fortification of the structure, and usage of high quality exterior materials that align with the Colonial Revival style.

The proposed alterations adhere to all relevant zoning and development standards. Refer to the plans and elevations for further information.

Approval Criteria:

1. Retention of Original Construction

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

Response: The majority of the existing walls and the primary and tallest portion of the roof will remain. The Colonial Revival design elements are proposed to be replaced with different, yet appropriate design elements of the Colonial Revival style. The original design elements may be re-used or replicated in the alterations if it is preferable.

2. Building Height

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

Response: The tallest roof form will remain, thus maintaining the existing buildings highest elevation. All proposed roofs match the existing roof pitches.

3. Horizontal Additions

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

Response: All proposed alterations, including the relationship of windows to walls, remain compatible with the original architectural character, scale, materials, and proportions of the historic residence.

4. Windows

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.

Response: The window replacements will match the frames and gridded style of the original windows as shown in the elevations on the plans.

5. *Restoration Possible*

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

Response: The proposed alterations and additions shall be constructed in such a manner that the additions and alterations could be removed and restored to its existing condition, thus preserving the essential form and integrity of the original building.

6. *Signs and Lighting*

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

Response: There is no proposed signage. The proposed lighting and other appurtenances will be visually compatible with the original character of the building.

7. *Time Period Consistency*

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

Response: All proposed alterations and additions are deeply based in the Colonial Revival style.

8. *Visual Integrity/Style*

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

Response: The proposed alterations and additions replace existing stylistic features with different, equivalent features of the same style. Re-using and/or replicating the exact existing stylistic features may be done if preferred.

9. *Replacement or Additional Materials*

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is

proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

Response: The proposed alterations and additions match the existing materials of the historic residence. The new proposed materials are all commonplace within the Colonial Revival style.

10. Buffering

An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

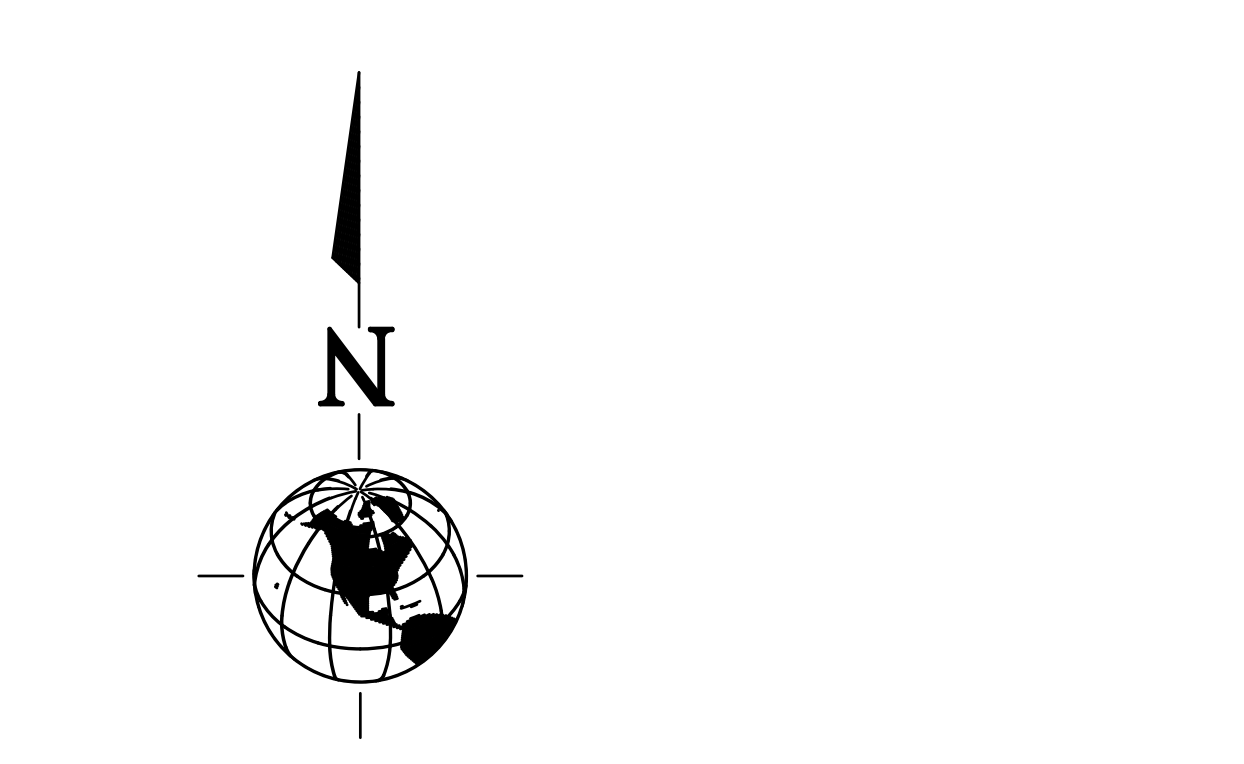
Response: Our current proposal does not include any buffering or screening. However, if required, the buffering or screening will be consistent with requirements from NPS.

1620 SE WAVERLY DRIVE MILWAUKIE, OR. 97222



- ALL EXCESS GRADING MATERIAL TO BE EXPORTED TO AN APPROVED DISPOSAL LOCATION.
- ALL FILL AREAS 16" UNDER GARAGE FLOORS, SIDEWALKS, DRIVEWAYS, ETC. TO BE COMPACTED GRANULAR FILL.
- THERE WILL BE A SLIGHT OVER EXCAVATION TO PROVIDE CONCRETE FORMING ALL AROUND NEW STRUCTURE.
- PROVIDE COUNTY/CITY APPROVED SEDIMENT FENCING AROUND EXCAVATED AREA PRIOR TO EXCAVATION AND CONSTRUCTION.
- PROVIDE COUNTY/CITY APPROVED STABILIZED GRAVELED CONSTRUCTION ENTRANCE PRIOR TO EXCAVATION AND CONSTRUCTION.
- STOCKPILES MUST BE COVERED WITH MULCH OR PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30.
- CONTRACTOR/SUB-CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO FOWLER HOME DESIGN INC. FOWLER HOME DESIGN INC. WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY ALL SITE CONDITIONS INCLUDING FILL PLACED ON SITE.

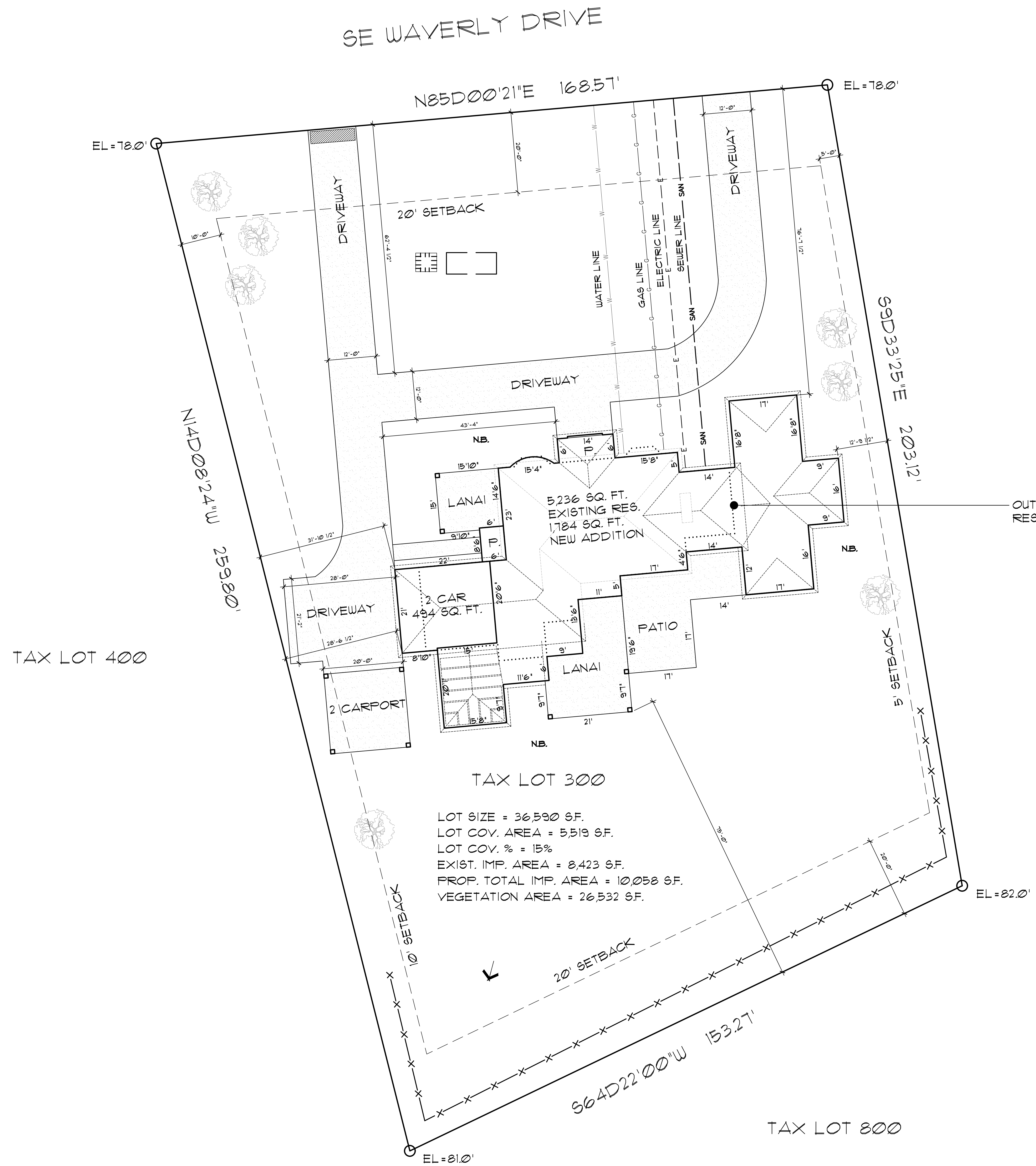
- EROSION CONTROL PLAN**
- ELEVATION LEGEND:
 - SE+ EXISTING GRADE ELEVATION
 - FE+ FINAL GRADE ELEVATION
 - FE- FINISHED FLOOR ELEVATION
 - PROVIDE A MINIMUM GRAVEL BASE UNDER ALL DRIVEWAY AREAS.
 - PROVIDE A 4" MINIMUM GRAVEL BASE UNDER ALL DRIVEWAY AND PATIO AREAS.
 - PIPE ALL STORM DRAINAGE FROM THE BUILDING TO A COUNTY/CITY DISPOSAL POINT/CONNECTION.
 - MAXIMIZE SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
 - PROVIDE AND MAINTAIN FINISH GRADE WITH POSITIVE DRAINAGE AWAY FROM STRUCTURE ON ALL SIDES WITH A SLOPE OF 6" MINIMUM IN 10'-0".



IMPORTANT DISCLOSURE - PLEASE READ:

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD MORE THAN ONE HOME FROM THESE PLANS. THESE PLANS ARE COMPROMISED AND INVALIDATION OF THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE AND SEEK DAMAGES IF YOU VIOLATE ANY OF THE TERMS OF THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE AND SEEK DAMAGES IF YOU VIOLATE ANY OF THE TERMS OF THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE AND SEEK DAMAGES IF YOU VIOLATE ANY OF THE TERMS OF THESE PLANS.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND UTILITIES, TYP.



LOT SIZE = 36,590 SF.
 LOT COV. AREA = 5,519 SF.
 LOT COV. % = 15%
 EXIST. IMP. AREA = 8,423 SF.
 PROP. TOTAL IMP. AREA = 10,058 SF.
 VEGETATION AREA = 26,532 SF.

THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97222

PLAN No.:
 DRAIN: T.F.
 DATE: 4/20/2024
 SCALE: 1"=10'-0"
 FILE:

PLOT PLAN

THESE PLANS AND DESIGNS
 HEREIN ARE COPYRIGHTED
 UNDER FEDERAL LAW BY
 TROY FOWLER & FOWLER HOME
 DESIGN LLC 2024

ELEVATION NOTES:

- ROOFING MATERIAL TO BE ARCHITECTURAL COMPOSITION MATERIALS AND 5" STANDING SEAM METAL ROOFING SEE ELEVATION PAGE. ROOF SHINGLES TO BE NAILED PER MANUFACTURED INSTRUCTIONS FOR 80 MPH MINIMUM WIND AREAS.
- ROOF FITCH TO BE SHOWN ON PLANS
- ALL EAVES TO BE NOTED ON PLANS WITH A 5" GALVANIZED FACIA GUTTER ON SPECIFIED FACIA BD. PROVIDE 3" GALVANIZED DOWNGUTS (DG) AS SHOWN ON ROOF FRAMING PLAN.
- SIDING NOTED ON PLANS.
- ALL WINDOW & DOOR TRIM TO BE 5/4 X 4 AT SIDES AND 5/4 X 6 CROWN & SILL.
- SIDING TO BE SPECIFIED ON PLAN. CAULK ALL CORNER BOARDS, JOINTS, WINDOWS, DOORS AND SURROUNDS.
- ALL CORNER BOARD TRIM TO BE 2 X 4 PRIMED BD. AS SHOWN ON PLAN.
- COVERED PORCHES AND EAVE SOFFITS TO BE 1/2" EXT. FLYWOOD OR EQUAL TOO. CAULK ALL JOINTS.
- MASONRY VENEER TO BE CULTURED STONE OR EQUAL AS SHOWN ON PLAN. PROVIDE GALVANIZED FLASHING ON A MASONRY SILL CAP OVER VENEER. VERIFY LOCATION AND TYPE OF MASONRY WITH BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE 2 X 10 ROUGH SAWN CEDAR OR EQUAL AT ALL BELLY BANDS WITH A GALVANIZED "I" FLASHING AT EXPOSED TOP. LOCATIONS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED.
- PROVIDE VENTS AS SHOWN, SHUTTERS AND TRIMS ON ELEVATIONS AS SHOWN ON PLAN.
- PROVIDE VNTL. WINDOWS AS SHOWN ON PLAN.
- EXPOSED CONCRETE WALKS TO BE BROOCHED FINISH AS SHOWN ON PLAN.
- MAXIMUM FOUNDATION EXPOSURE TO BE 1" FROM FINISHED GRADE.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- FINISH GRADE TO BE 1" MAXIMUM SLOPE WITH A 6" MINIMUM IN 10'-0" MINIMUM SLOPE AWAY FROM STRUCTURE ALL AROUND.
- SEE ELEVATIONS FOR ANY ADDITIONAL NOTATIONS THAT MAY BE OF IMPORTANCE.
- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE, UNIFORM BUILDING CODE OF ANY APPLICABLE STATE, COUNTY OR LOCAL JURISDICTION.
- PRIOR TO BEGINS CONSTRUCTION, THE PLANS AND SPECIFICATIONS SHALL BE APPROVED BY THE LOCAL BUILDING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START AND/OR DURING CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
- BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR IS RESPONSIBLE TO REVIEW SPECIFIC SITE CONDITIONS WITH THE DESIGNER BEFORE CONSTRUCTION.
- VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH, PLUMBING, ELECTRICAL AND/OR OTHER SUBCONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
- PLUMBING, ELECTRICAL AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
- ENGINEERED PRODUCTS (ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB.
- SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DEVIATIONS FROM THE ORIGINAL PLANS WITHOUT WRITTEN CONFIRMATION FROM THE DESIGNER.
- ALL DIMENSIONS AND SQUARE FOOTAGE MAY VARY.
- THE TYPE OF EXTERIOR FINISH, THE INSTALLATION, AND THE WATERPROOFING DETAILS ARE TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY OF THE BUILDING ENVELOPE.

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	3/8 X 1/3 OVAL FX.	2
△	3-2/8 X 6/8 FX. MULLED	1
△	4-2/8 X 6/8 MULLED FX.-CBMT.-FX.	4
△	2/8 X 6/8 FX.	3
△	2/8 X 6/8 CBMT.	4
△	3-2/8 X 6/8 MULLED FX.-CBMT.-FX.	4
△	2/8 X 6/8 CBMT.	5
△	3-2/8 X 6/8 MULLED FX.-CBMT.-FX.	2
△	2-2/8 X 6/8 CBMT. MULLED	2
△	2/8 X 6/8 CBMT.	1
△	2-2/8 X 6/8 CBMT. MULLED	1
△	2/8 X 6/8 FX.	6
△	2/8 X 2/8 FX.	1
△	3-2/8 X 6/8 FX. MULLED	1
△	2/8 X 2/8 FX.	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNO.

DESIGN LOADS:

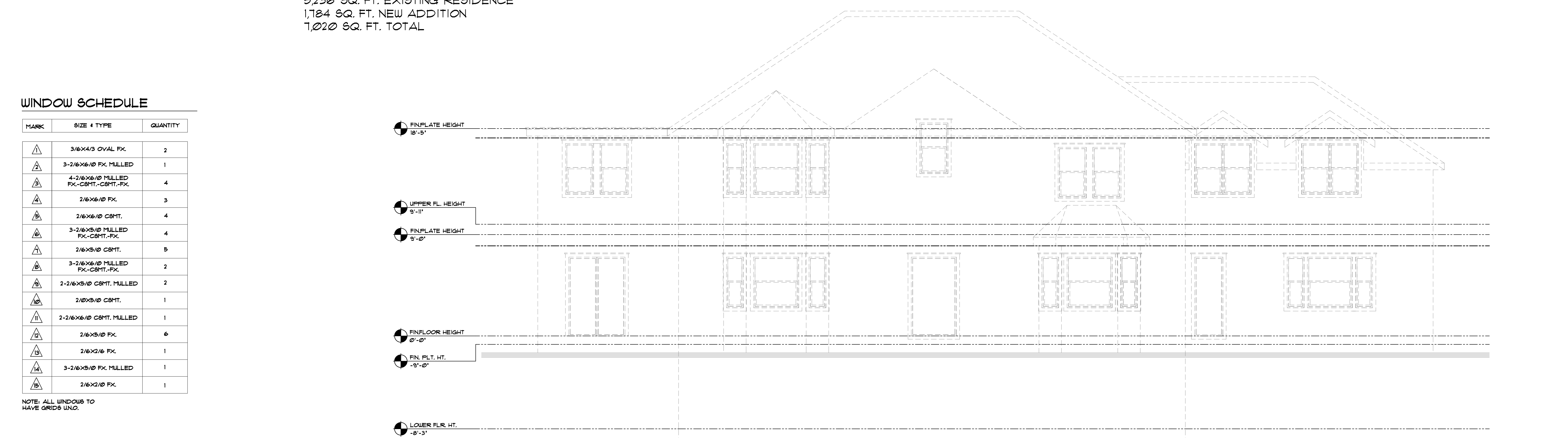
WIND	100 MPH OR LESS
SEISMIC DESIGN CATEGORY	D2
FROST DEPTH	38 INCHES
ROOF DEAD LOAD	11 PSF
ROOF LIVE LOAD	20 PSF
ROOF SNOW LOAD	25 PSF
FLOOR DEAD LOAD	15 PSF
FLOOR LIVE LOAD	40 PSF
STAIRS	40 PSF
EXTERIOR BALCONIES	60 PSF
DECKS	60 PSF

IMPORTANT DISCLOSURE PLEASE READ:

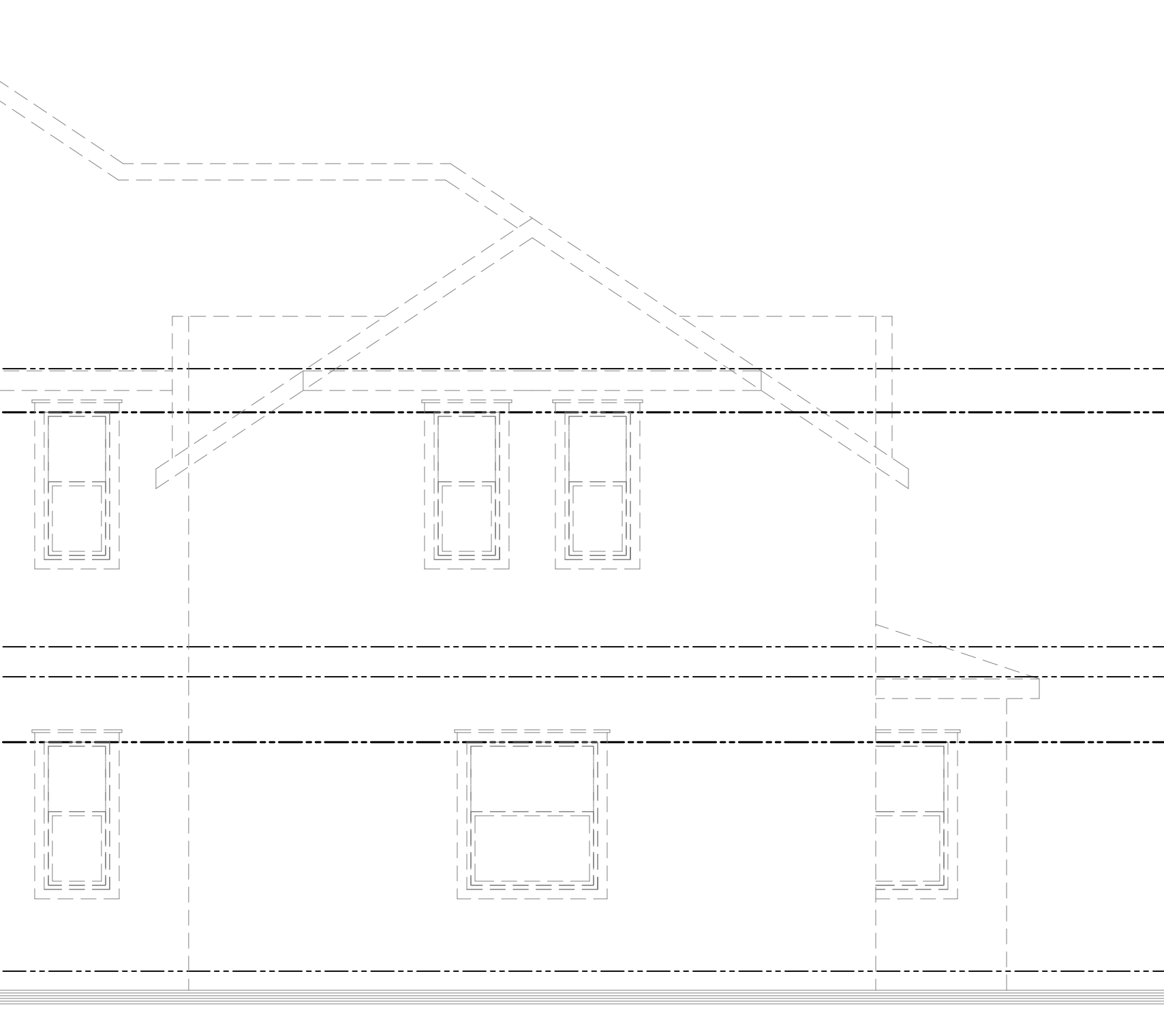
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FRONT ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE
1,184 SQ. FT. NEW ADDITION
1,020 SQ. FT. TOTAL



EXIST. FRONT ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE



EXIST. RIGHT SIDE ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE



RIGHT SIDE ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE
1,184 SQ. FT. NEW ADDITION
1,020 SQ. FT. TOTAL

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No.:
DRAWN: TF.
DATE: 4/20/2024
SCALE: 1/4"=1'-0"
FILE:

EXTERIOR ELEVATION

CONTRACTOR TO SELECT 1 OPTION

(ORSG 2021 TABLE N0012)

1	HIGH EFFICIENCY HVAC SYSTEM: GAS-FIRED FURNACE OR BOILER WITH MINIMUM ARIE OF 94% OR AIR-SOURCE HEAT PUMP WITH COP OF 10.0 TO 14.0 REFRIG. COOLING, OR GROUND-SOURCE HEAT PUMP COP OF 3.5, OR ENERGY STAR RATED
2	HIGH EFFICIENCY WATER HEATING SYSTEM: NATURAL GAS-PROPANE WATER HEATER WITH MIN. UEF OF 0.95 OR ELECTRIC HEAT PUMP WATER HEATER WITH MIN. COP OF 3.0 OR NATURAL GAS-PROPANE TANKLESS/INSTANTANEOUS WATER HEATER WITH MIN. UEF OF 0.95 AND ENERGY STAR RATED WATER HEAT RECOVERY UNIT INSTALLED ON MIN. OF ONE BATHROOM
3	WALL INSULATION UPGRADE: EXTERIOR WALLS U-0.084/R-2 CONVENTIONAL FRAMING WITH R-5.0 CONTINUOUS INSULATION
4	ADVANCED ENVELOPE: CROSS-V-JOIST (AREA BISHOP) TRUSSES AND FLAT CEILING U-0.071/R-4.6 AND FINISHED FLOORS U-0.071/R-3.0 OR SLAB EDGE INSULATION TO R-24.0 OR LESS (R-10 FOR 4" OR 6" OR R-9 FOR 3" OR R-9 FULLY INSULATED SLAB)
5	DUCTLESS HEAT PUMP: FOR OCCUPANCY UNITS WITH ALL-ELECTRIC HEAT PROVIDE DUCTLESS HEAT PUMP OF MIN. SEER 13 IN PRIMARY ZONE REPLACES EXISTING ELECTRIC HEAT SOURCE, AND ZONAL ELECTRIC HEAT SOURCE, AND PROGRAMMABLE THERMOSTAT FOR ALL HEATERS IN BEDROOMS
6	HIGH EFFICIENCY THERMAL ENVELOPE UA: PROPOSED UA IS 8% LOWER THAN THE CODE UA
7	GLAZING AREA: GLAZING AREA, TREATED AS THE TOTAL OF FRAMED OPENINGS IS LESS THAN 2% OF CONDITIONED FLOOR AREA
8	3 ACH AIR LEAKAGE CONTROL, 4 EFFICIENT VENTILATION: ACHIEVE A MAX. OF 30 ACH50 (SHOCK-HOME AIR LEAKAGE WHEN THIRD-PARTY TESTED AND PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM INCLUDING HEAT RECOVERY WITH A MINIMUM REVERSIBLE HEAT RECOVERY EFFICIENCY OF NOT LESS THAN 66%

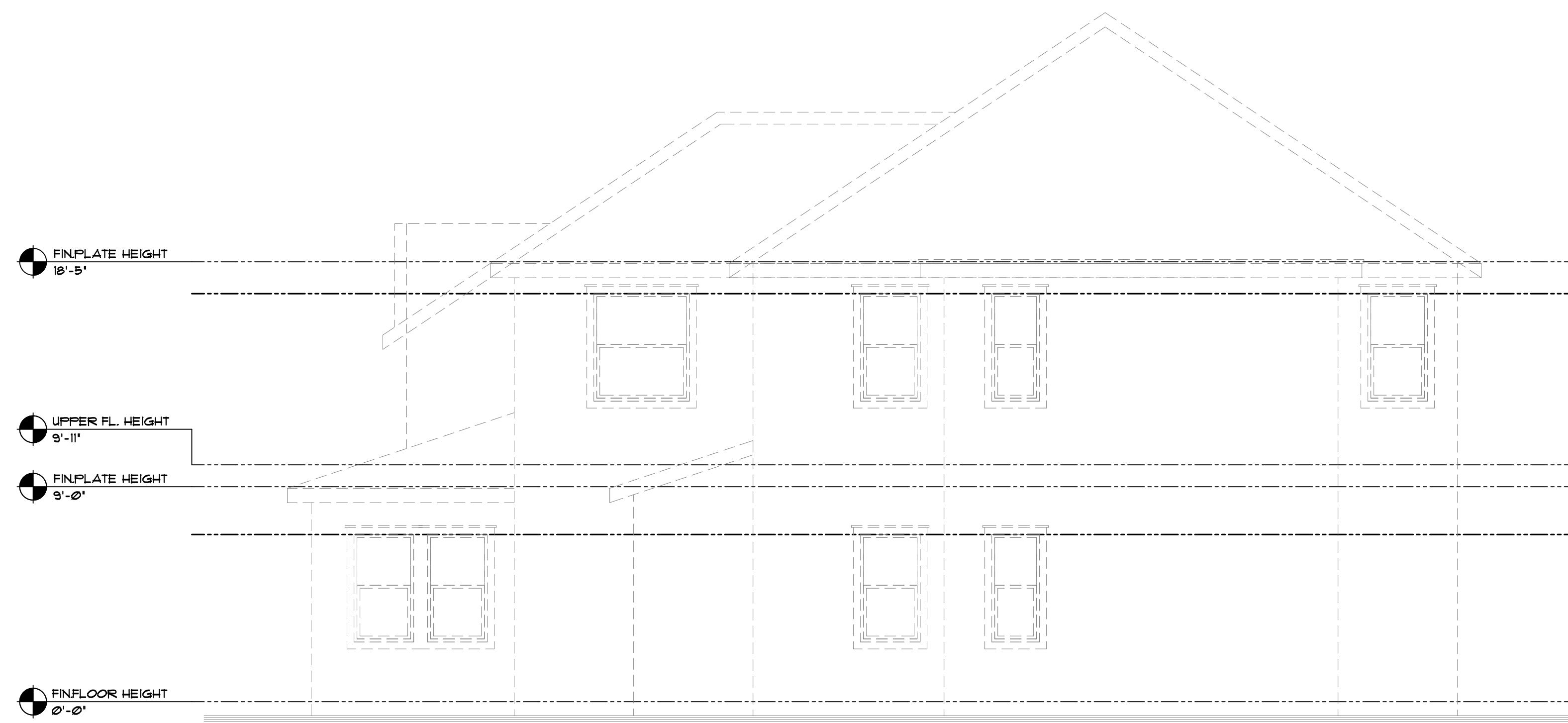
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WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
▲	3/8x4/3 OVAL FX	2
▲	3-2/8x6/8 FX, MULLED	1
▲	4-2/8x6/8 MULLED FX-CBMT-CBMT-FX	4
▲	2/8x6/8 FX	3
▲	2/8x6/8 CBMT	4
▲	3-2/8x6/8 MULLED FX-CBMT-FX	4
▲	2/8x6/8 CBMT	5
▲	3-2/8x6/8 MULLED FX-CBMT-FX	2
▲	2-2/8x6/8 CBMT, MULLED	2
▲	2/8x6/8 CBMT	1
▲	2-2/8x6/8 CBMT, MULLED	1
▲	2/8x6/8 FX	6
▲	2/8x6/8 FX	1
▲	3-2/8x6/8 FX, MULLED	1
▲	2/8x6/8 FX	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNQ.



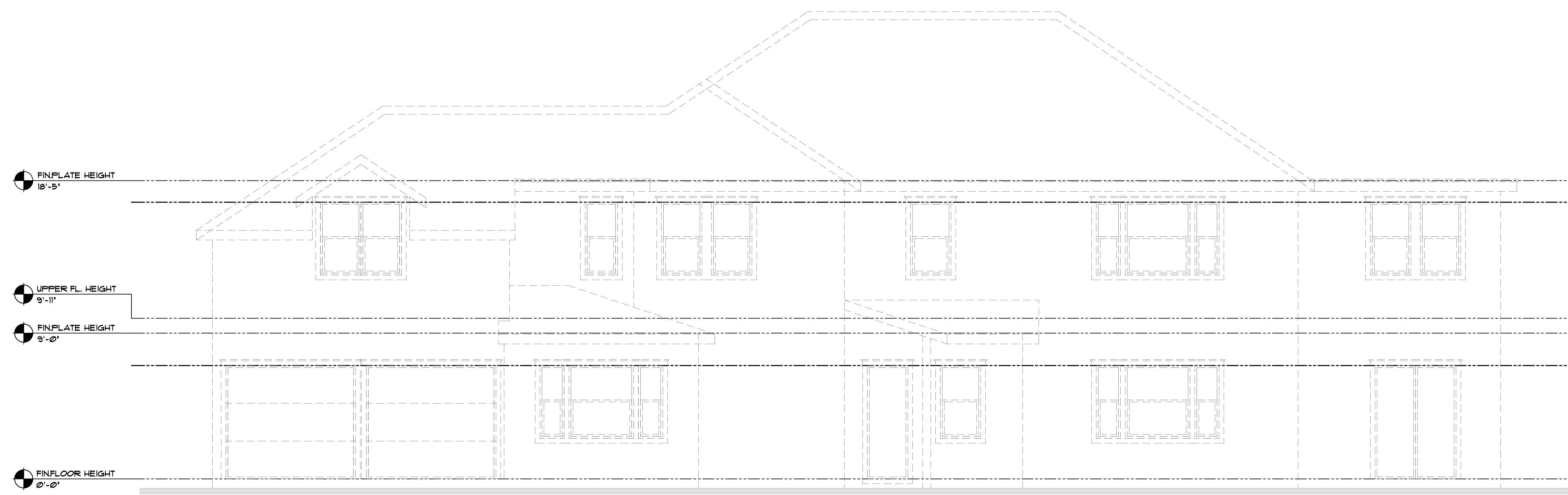
EXIST. LEFT SIDE ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE



REAR ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL



EXIST. REAR ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE



LEFT SIDE ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL



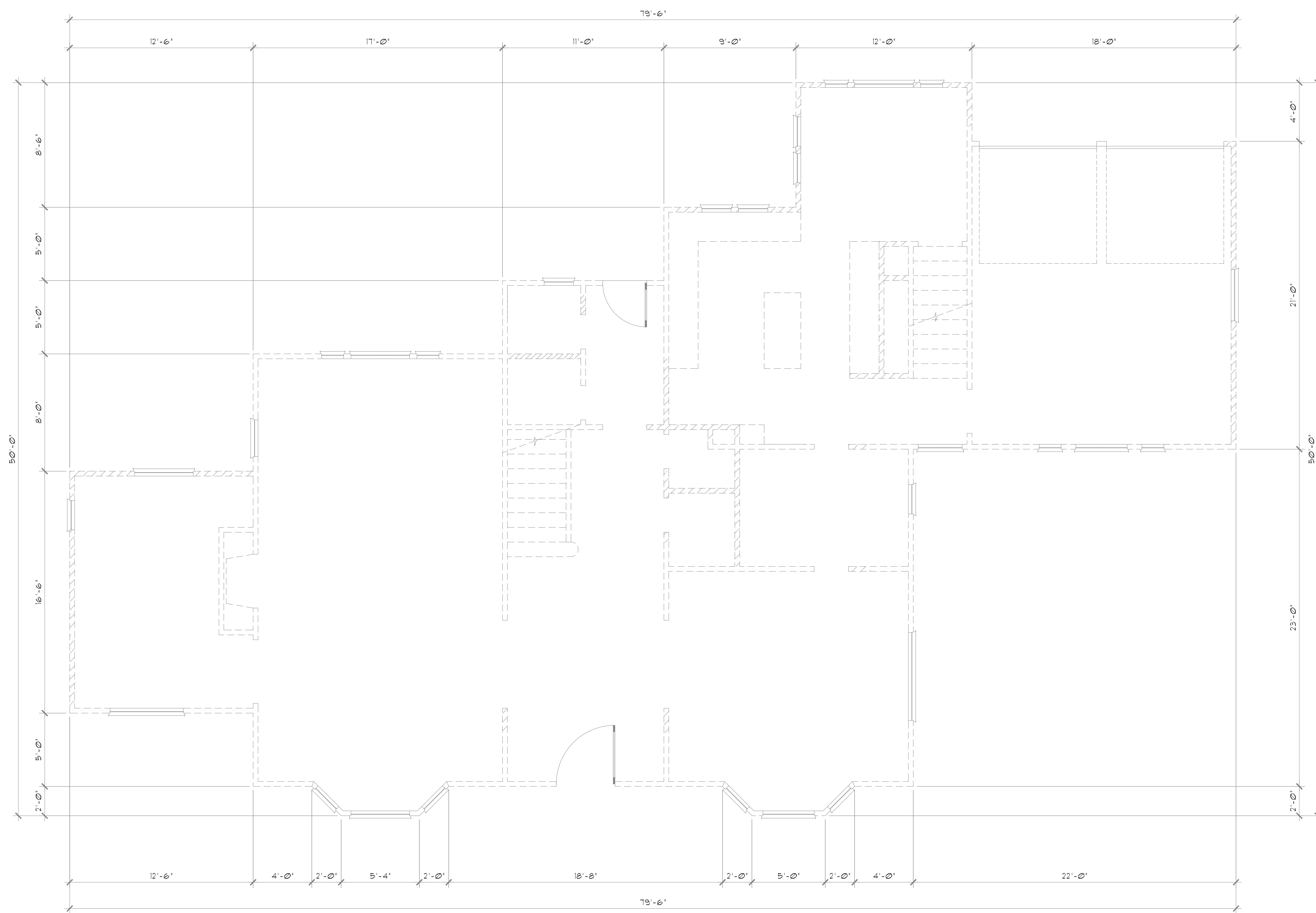
THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No.:
DRAWN: TF
DATE: 4/20/2024
SCALE: 1/4"=1'-0"
FILE:

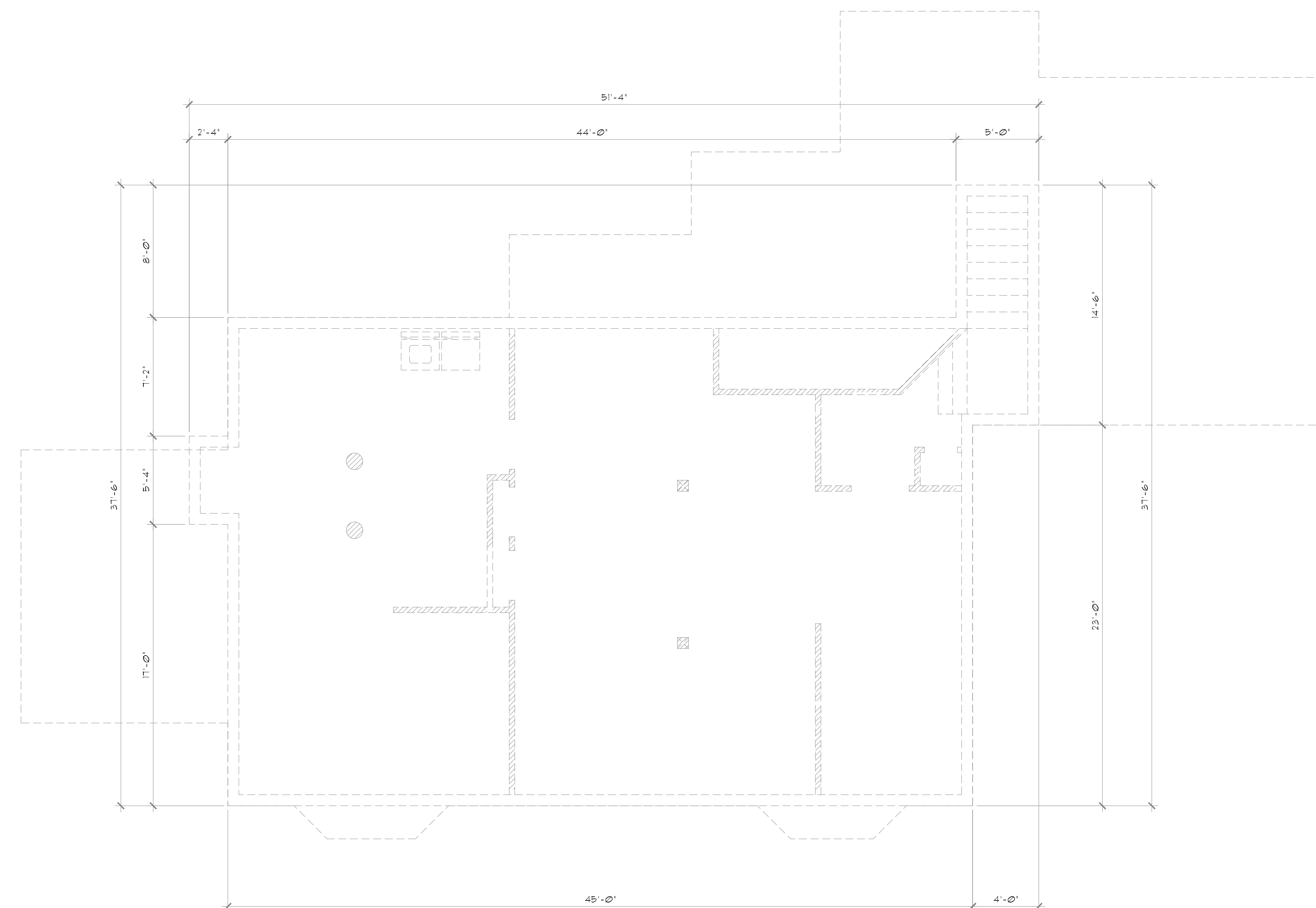
EXTERIOR ELEVATION

2.

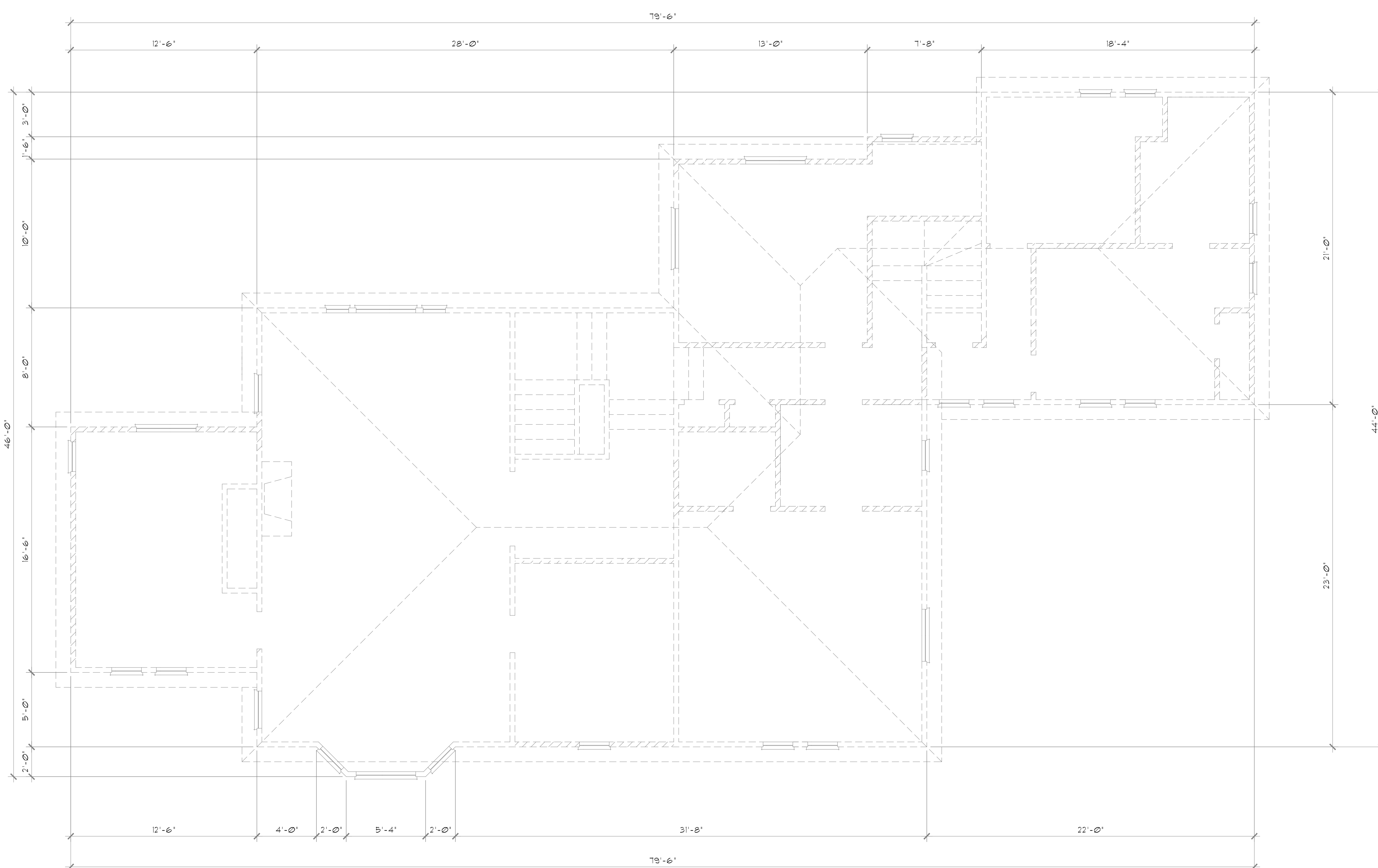
THESE PLANS AND DESIGNS
HEREIN ARE COPYRIGHTED
UNDER FEDERAL LAW BY
TROY FOWLER & FOWLER HOME
DESIGN LLC 2022



EXIST. MAIN FLOOR PLAN
1,956 SQ. FT. EXISTING 1/4"=1'-0"



EXIST. LOWER FLOOR PLAN
1,226 SQ. FT. EXISTING 1/4"=1'-0"



EXIST. UPPER FLOOR PLAN
2,054 SQ. FT. EXISTING 1/4"=1'-0"

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WALL LEGEND

	- NEW (N) 2x WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No: _____
DRAWN: _____ TF
DATE: 4/20/2024
SCALE: 1/4"=1'-0"
FILE: _____

EXISTING FLOOR PLANS

3

THESE PLANS AND DESIGNS HEREIN ARE COPYRIGHTED UNDER FEDERAL LAW BY TROY FOWLER & FOWLER HOME DESIGN LLC 2022

FLOOR PLAN FRAMING NOTES:

- ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE 4 X 10 DF-L NO. 1 UNLESS OTHERWISE NOTED. (UCN)
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS @ 16" O.C. AND INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" O.C. FOUNDATION FOOT WALLS SHALL BE FRAMED OF 2 X 6 STUDS.
- STANDARD STUD HEIGHT FOR UPPER FLOOR TO BE 9'-0" CEILING HEIGHT.
- STANDARD STUD HEIGHT FOR MAIN FLOOR TO BE 9'-0" CEILING HEIGHT.
- WINDOW AND DOOR HEADER HEIGHTS TO BE 8'-0" @ UPPER FLOOR AND 8'-0" @ LOWER FLOOR UNLESS OTHERWISE NOTED. DOOR OPENINGS AND OTHER OPENINGS TO BE ALLIGNED WITH WINDOW HEIGHTS UNLESS OTHERWISE NOTED.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 59# FELT MOISTURE BARRIER.
- PROVIDE POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES. OPENINGS IN FLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1/2" MIN. BEARING, U. ON.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER 2021 IBC SECTION 602.8.
- BLOCK ALL STUD WALLS AT SHEATHING SPLICES OR AS REQUIRED.
- INTERIOR PASSAGE DOORS TO HAVE A MINIMUM OF (2) 2 X TRIMMERS EACH SIDE OF DOOR AND TO BE CENTERED IN WALLS.
- ALL HOLDINGS, JOIST HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE "SIMPSON" OR EQUAL.
- ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF THE SAME DIMENSION AS THE WALL FRAMING. PLATES SHALL OVERLAP A MINIMUM OF 48" BETWEEN SPLICES WITH AT LEAST (8) 16D NAILS THROUGH BOTH PLATES OF SPLICE.
- DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLLUMS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IN ANY SUCH SITUATIONS ARISE.
- THIS STRUCTURE TO BE ADEQUATELY BRACED FOR WIND AND GRAVITY LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

LUMBER SPECIES AND GRADING:

- A. POSTS, BEAMS, HEADERS
 - B. FLOOR JOISTS, CEILING JOISTS, RAFTERS
 - C. SILL, PLATES, BLOCKING, BRIDGING
 - D. STUDS
 - E. STUDS OVER 12" HIGH
 - F. FLOOR DECKING
 - G. WALL, ROOF SHEATHING
 - H. GULI-LAM BEAMS
 - I. PATALLEL STRAND LUMBER (PSL) MATERIALS
 - J. LAMINATED VENEER LUMBER (LVL) MATERIALS
- DF-L NO. 1
DF-L NO. 2
DF-L NO. 3
DF-L STUD GRADE
DF-L NO. 1
DF-L UTILITY GRADE
CDX EXT. APA RATED PLY OR OSB 3/4" THICK
FB-2400 DRY ADH. INTERIOR (EXT. ADH. AT EXT. COND.)
FB-3000 E-1.0 FV-230
FB-2600 E-1.8 FV-285
UNLESS OTHERWISE NOTED.

NAILING SCHEDULE:

REFER TO IBC 2021 TABLE R6-03.3(1)

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	3/16X4/3 OVAL PK	2
△	3-2/16X6/10 PK MILLED	1
△	4-2/16X6/10 MILLED PK-CENT-CENT-PK	4
△	2/16X6/10 PK	3
△	2/16X6/10 CENT.	4
△	3-2/16X6/10 MILLED PK-CENT-PK	4
△	2/16X6/10 CENT.	5
△	3-2/16X6/10 MILLED PK-CENT-PK	2
△	2-2/16X6/10 CENT. MILLED	2
△	2/16X6/10 CENT.	1
△	2-2/16X6/10 CENT. MILLED	1
△	2/16X6/10 PK	6
△	2/16X2/16 PK	1
△	3-2/16X6/10 PK MILLED	1
△	2/16X2/16 PK	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNLESS OTHERWISE NOTED.

IMPORTANT DISCLOSURE - PLEASE READ:

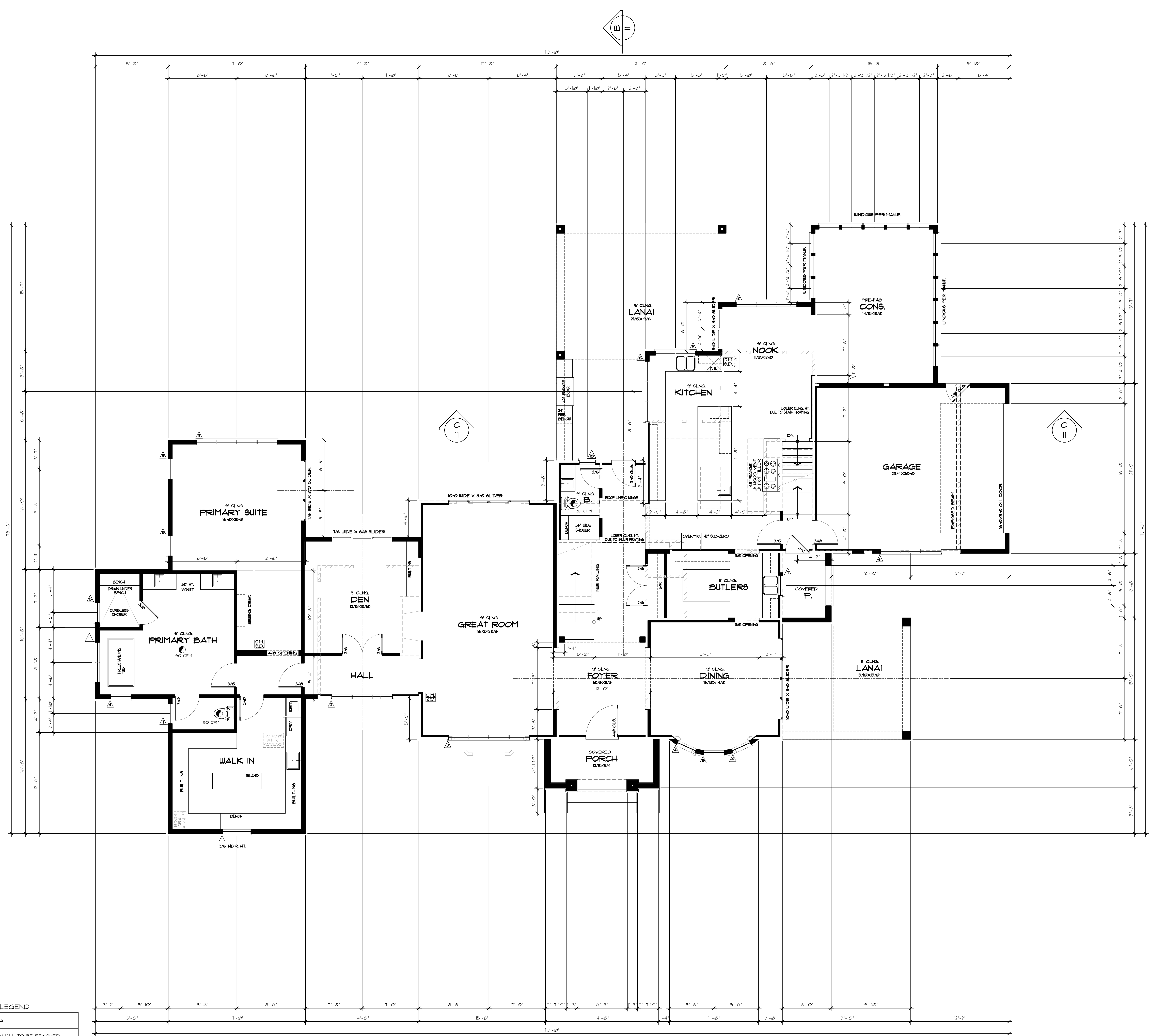
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WALL LEGEND

	- NEW (N) 2X WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.



MAIN FLOOR PLAN

1,956 SQ. FT. EXISTING
3,086 SQ. FT. LOWER TOTAL
306 SQ. FT. CONSERVATORY
1,130 SQ. FT. NEW ADDITION

1/4" = 1'-0"

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No:
DATE: 4/20/2024
SCALE: 1/4" = 1'-0"
FILE:

MAIN FLOOR

4

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FLOOR PLAN FRAMING NOTES CONT.:

INSULATION:

- USE PATH 1 OF 2021 IRC/IECC ENERGY CODE AND THE FOLLOWING INSULATION VALUES TABLE (NBD11)

ENERGY COMPLIANCE	PATH 1
WALL INSULATION	R-21/R-23
WALL INSULATION BELOW GRADE	R-15/R-21
FLAT CEILINGS	R-49
VAULTED CEILINGS	R-30
UNDERFLOORS	R-30
SLAB EDGE PERIMETER	R-15
HEATED SLAB INTERIOR	R-10
WINDOWS	U-0.27
WINDOW AREA LIMITATION	N/A
SKYLIGHTS	U-0.50
EXTERIOR DOORS	U-0.20
EXTERIOR DOORS W/ >2.5 FT. GLAZING	U-0.40
FORCED AIR DUCT	R - 8

- INSULATION:
 - R-49 ROOF (FLAT CEILING)
 - R-30 ROOF (VAULT CEILING)
 - R-30 FLOORS OVER UNHEATED SPACES
 - R-13 EXTERIOR WALLS
 - R-15/1 EXTERIOR WALLS (INTERIOR OR EXTERIOR)
 - R-5 (RIGID) CONCRETE FLOOR SLAB EDGES AT PERIMETER UNDER HEATED AREAS
 - R-5 EXPOSED FURNACE DUCTS IN UNHEATED AREAS
- GLAZING/DOORS:
 - NO LIMITS WINDOW AREA LIMIT
 - U-35 ENTRY DOOR CLASS (24 SQ. FT. MAX)
 - U-40 FULL LIGHT GLASS DOOR CLASS
 - U-20 OTHER DOORS (50% MAX. GLAZING)
 - U-60 SKYLIGHT CLASS (2% MAX. OF HEATED SPACE)
- ALL AIR INfiltrations IN THE EXTERIOR ENVELOPE SHALL BE SEALED INCLUDING WINDOW AND DOOR FRAMES, WALLS, FOUNDATIONS, VENTING AND UTILITY PENETRATIONS. ACCESS DOORS TO CRAWL SPACE AND ATTIC AREAS TO HAVE THE SAME EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.
- PROVIDE AN APPROVED INSULATION VAPOR BARRIER WITH A ONE PERM DRY CUP RATING OR LESS AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION.
- INSULATE ALL ACCESS DOOR/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 25. A SMOKE-DEVELOPED FACTOR NOT TO EXCEED 450 AND CRITICAL RADIANT FLUX NOT LESS THAN 0.02 WATTS PER SQUARE CENTIMETER.

MISCELLANEOUS:

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE WIDTH OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THAN 44 IN. ABOVE FINISHED FLOOR.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1" DEEP BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE PEEP HOLES # 3/4" X 1/4" ABOVE FINISHED EXT. DOOR FLOOR.
- WINDOW MUST MEET THE U-VALUE OR CLASS REQUIREMENT FOR THE APPROPRIATE ENERGY PATH AND BE LABELED ACCORDINGLY. SITE BUILT WINDOWS MAY BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN 2021 IRC/IECC SEC. W114.
- WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 8 INCHES OF THE FLOOR WITHIN A 24 INCH ARCH OF ANY DOOR IN A CLOSED POSITION. GLAZING USED IN RAILINGS, GLAZING IN FIXED OR SLIDING DOORS, WHERE THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHTUBS, WHIRLPOOLS, AND/OR SHOWER.
- SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE UNLESS FLEXIGLASS. GLASS TO HAVE A MAXIMUM CLEAR SPAN OF 35 INCHES. SKYLITE FRAME IS TO BE ATTACHED TO A 4 X 4 CURB AND TO BE 4 INCHES MINIMUM ABOVE ROOF PLANE. MIN 25 LBS. PSF SNOW LOAD ADDITIONAL.
- ALL TUB AND SHOWER ENCLOSURE DOORS TO BE GLAZED WITH SAFETY GLASS.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED DIRECTLY TO THE OUTSIDE VIA METAL DUCTING WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR (50 CFM MIN.). DRYER AND RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. VENTS TO BE PROVIDED WITH BACK-DRAFT DAMPERS.
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE THE IMMEDIATE VICINITY OF EACH BEDROOM AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED TO MAIN POWER SOURCE AS THE PRIMARY POWER AND BATTERY BACKUP AS SECONDARY POWER. ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL BEDROOMS.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE GFCI. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY INSULATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (I.C. LABEL) FOR DIRECT CONTACT WITH INSULATION.
- ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.
- USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILINGS AND UNDER STAIRS. USE 5/8" TYPE X GYPSUM BD. ON WALLS AND CEILINGS BETWEEN GARAGE AND LIVING AREAS. PROVIDE 1/2" WATERPROOF GYPSUM BD. ABOVE ALL SHOWER AND TUB-SHOWER AND TUB-SHOWER UNITS AND IN ANY WATER BASH AREAS.
- ALL FIREPLACE OPENINGS SHALL HAVE TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR VENTS WITH SCREENS AND BACK DAMPERS FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH OPEN FLAME.
- APPLIANCES PRODUCING A SPARK, GLOW OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL NOT BE INSTALLED IN A GARAGE UNLESS THE PILOTS, BURNERS, HEATING ELEMENTS OR SWITCHES ARE AT LEAST 18 INCHES ABOVE THE FLOOR.
- PROVIDE 80% MIN. EFFICIENT NATURAL GAS FURNACE WITH BACKDRAFT DAMPER AND NATURAL GAS HOT WATER HEATER WITH BACKDRAFT DAMPER. PROVIDE R-4 INSULATION AROUND HOT WATER LINES IN UNHEATED AREAS. ELEVATE FLAME IN UNITS 8" ABOVE FINISH FLOOR.
- ALL WINDOW HDRS TO BE 4 X 10 UNO.
- FRONT PORCH TO BE CONCRETE SLAB UNO.

IMPORTANT DISCLOSURE

PLEASE READ:
 THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONCE WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAW TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED RIGHTS. FURTHERMORE IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT WITH THE HOPE DESCRIBED HEREIN ON ANY PARTICULAR SITE AND WITHIN THE JURISDICTION OF THE GOVERNING AGENCIES. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE PERFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

WALL LEGEND

	NEW (N) 2x WALL
	EXISTING (E) WALL TO BE REMOVED
	(E) WALL TO REMAIN

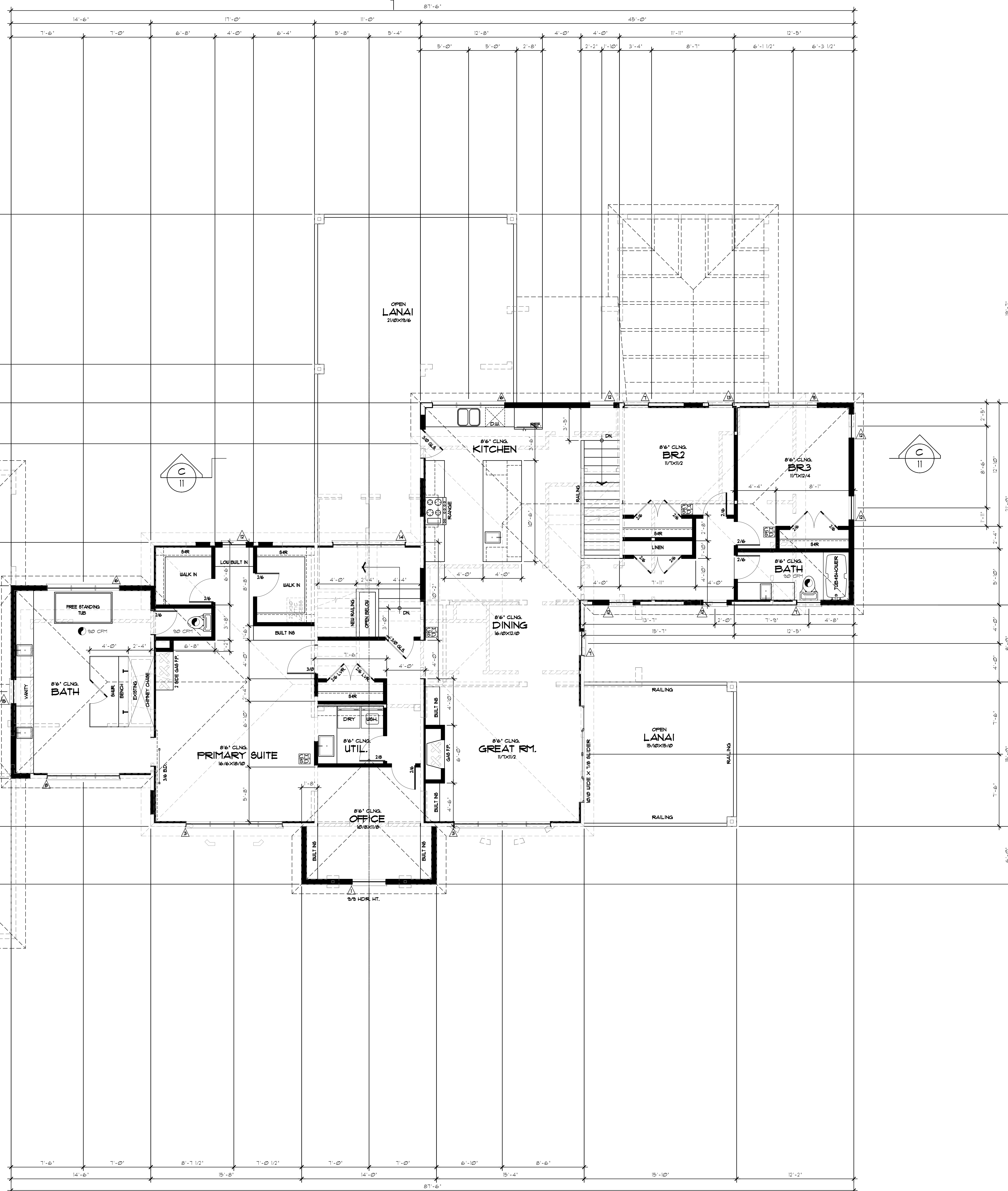
NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE LINE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	3/8x4 1/8 OVAL FX	2
△	3-2/8x6/8 FX MILLED	1
△	4-2/8x6/8 MILLED FX-CENT. CENT-FX	4
△	2/8x6/8 FX	3
△	2/8x6/8 CBMT.	4
△	3-2/8x6/8 MILLED FX-CENT-FX	4
△	2/8x6/8 CBMT.	5
△	3-2/8x6/8 MILLED FX-CENT-FX	2
△	2-2/8x6/8 CBMT. MILLED	2
△	2/8x6/8 CBMT.	1
△	2-2/8x6/8 CBMT. MILLED	1
△	2/8x6/8 FX	6
△	2/8x6/8 FX	1
△	3-2/8x6/8 FX MILLED	1
△	2/8x6/8 FX	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNO.



UPPER FLOOR PLAN

2,054 SQ. FT. EXISTING
 2,402 SQ. FT. UPPER TOTAL
 348 SQ. FT. NEW ADDITION

1/4" = 1'-0"

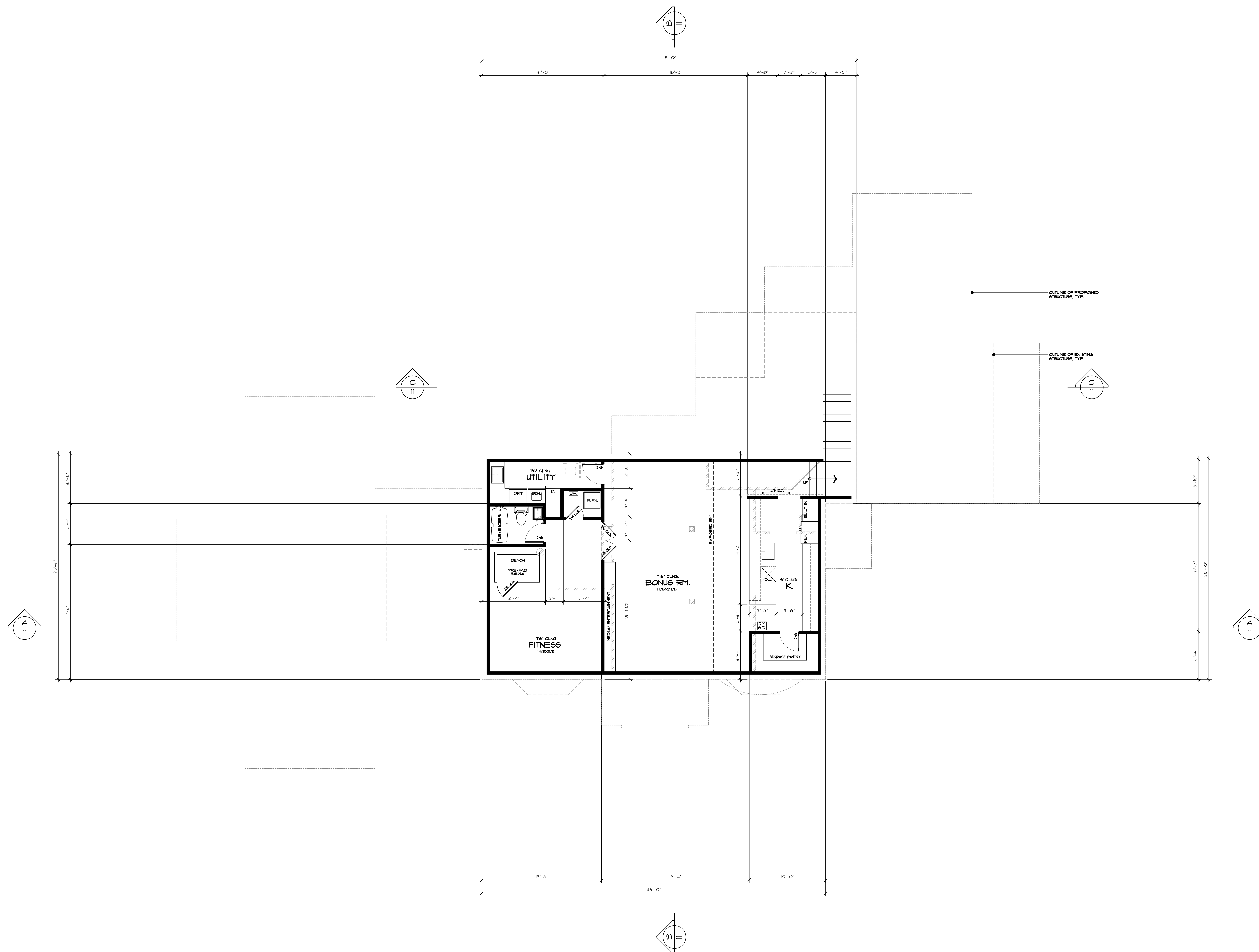


THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR 97122

PLAN No:
 DRAWN: TF
 DATE: 4/20/2024
 SCALE: 1/4" = 1'-0"
 FILE:

UPPER FLOOR

THESE PLANS AND DESIGNS
 HEREIN ARE COPYRIGHTED
 UNDER FEDERAL LAW BY
 TROY FOWLER & FOWLER HOME
 DESIGN LLC 2024



THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No:
DRAIN: TF
DATE: 4/20/2024
SCALE: 1/4" = 1'-0"
FILE:

LOWER FLOOR

6

THESE PLANS AND DESIGN ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

IMPORTANT DISCLOSURE
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WALL LEGEND

	• NEW (N) 2x WALL
	• EXISTING (E) WALL TO BE REMOVED
	• (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.
ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

LOWER FLOOR PLAN
1226 SQ. FT. EXISTING
1/4" = 1'-0"

FOUNDATION NOTES:

- FOUNDATION FOOTINGS, CONT. FOOTING UNDER PONTI WALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 18" BELOW FINAL GRADE. SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
- ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
- EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
- CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY WALLED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE:
 - BASEMENT AND FOUNDATIONS 6 SACK/YD. 4' MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4' MAX. SLUMP 3000 PSI ON GRADE
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4' MAX. SLUMP 3000 PSI ON GRADE
 - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER
 - PORCHES, STEPS, GARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINED.
- ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
- ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
- ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
- ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4"-#2) COMPACTED TO 95% MINIMUM.
- CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 8 FT. MAXIMUM INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. O.C. MINIMUM.
- PROVIDE (5) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 18" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 3/4" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL AREA REQUIRED).
- PROVIDE 1/2" DIA. X 10' ANCHOR BOLTS A307 GRADE # 6'-0" O.C. UNDO. ON PRESSURE TREATED DP NO. 5 MUD SILLS. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 12" MINIMUM FROM SILL SPLICES. PROVIDE FOAM INSUL. BTUN/SILL PL. 4 FOUND. WALL.
- REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLDDOWS.
- REBAR SCHEDULE:
 - REBAR TO BE LOCATED AT HOLDDOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
 - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED.
 - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS. 4' CLEAR BOTTOM.
 - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BARS.
- REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-63 GRADE 60. WELDED WIRE MESH TO BE A-18S.
- REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
- ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM UNDO.
- 'SITE' ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
- EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEY WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
- GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2' SLOPE (10' PER FT. MIN) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10FT. O.C. EA. WAY.
- PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER N. A. 1/2" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS). SEE DET. B/D).
- PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLENUM. VERIFY SIZE AND PLACEMENT WITH BUILDER/ AND OR SUBCONTRACTORS PRIOR TO INSTALL.
- PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/ SUBCONTRACTOR.
- PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL. BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORY DRAIN SYSTEM.
- COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MUD SILLS. LAP SEAMS 12" MIN.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 55# ASPHALT SHINGLE.
- ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE 'SIMPSON' OR EQUAL.
- PROVIDE A 24" X 30" CRAWL ACCESS (18"X24" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
- FLOOR CONSTRUCTION TO BE:
 - 1 1/8" DECKING OR EQUAL ON I-JOISTS PER MANUF.
 - ON 2x6 PONTI WALLS OVER 8x8 CONTINUOUS FOOTINGS

FOOTING SCHEDULE

FTNG.	LOAD LBS	FOOTING SIZE	REBAR
F1	3,300*	18"x18"x10"	(2) #4 E/W
F2	6,000*	24"x24"x10"	(2) #4 E/W
F3	9,300*	30"x30"x10"	(3) #4 E/W
F4	13,500*	36"x36"x12"	(3) #4 E/W
F5	18,300*	42"x42"x12"	(4) #4 E/W
F6	24,000*	48"x48"x12"	(4) #4 E/W
F7	28,000*	52"x52"x12"	(5) #4 E/W
F8	40,000*	64"x64"x14"	(5) #4 E/W
F9	50,000*	72"x72"x16"	(6) #4 E/W

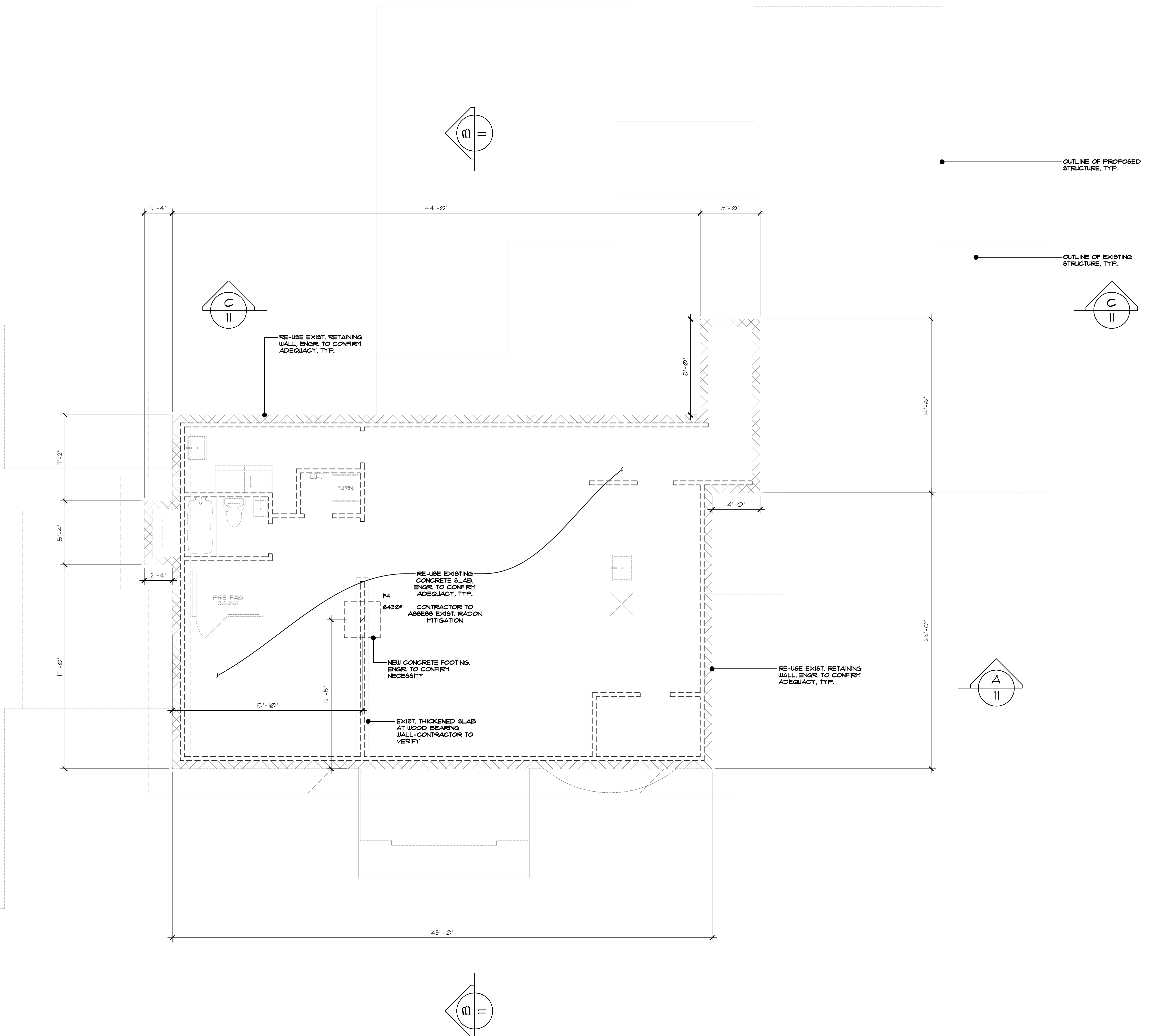
TOP OF ALL HOLD DOWN BOLTS MUST EXTEND ABOVE BRACKETS AND NUTS (APPROX. 8" ABOVE TOP OF INCH WALL)

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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97222

PLAN No.:
 DRAIN: TF
 DATE: 4/20/2024
 SCALE: 1/4"=1'-0"
 FILE:

FOUNDATION PLAN

THESE PLANS AND DESIGNS
 HEREIN ARE COPYRIGHTED
 UNDER FEDERAL LAW BY
 TROY FOWLER & FOWLER HOME
 DESIGN LLC 2022

FOUNDATION NOTES:

- FOUNDATION FOOTINGS, CONT. FOOTINGS UNDER FOOTING WALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 8" BELOW FINAL GRADE. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
 - ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
 - EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
 - CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
 - MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
 - DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY NAILED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE
 - BASEMENT AND FOUNDATIONS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER.
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE.
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE.
 - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER.
 - PORCHES, STEPS, CARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINED.
 - ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
 - ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
 - ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
 - ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4"-2") COMPACTED TO 95% MINIMUM.
 - CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 15 FT. MAXIMUM INTERVALS EACH WAY.
 - CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. O.C. MINIMUM.
 - PROVIDE (5) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 1/8" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 3/6" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 50 SQ. FT. OF CRAWL AREA REQUIRED.)
 - PROVIDE 1/2" DIA. X 10" ANCHOR BOLTS 4301 GRADE # 6 @ 4'-0" O.C. UNO. ON PRESSURE TREATED DF NO. 3 MID SILL. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 17" MINIMUM FROM SILL SPLICES. PROVIDE FOAM INSUL. STAINLESS PL. 4 FOUND. WALL.
 - REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLD-DOWNS.
 - REBAR SCHEDULE:
 - REBAR TO BE LOCATED AT HOLD-DOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
 - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED.
 - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS, 4" CLEAR BOTTOM.
 - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BAR.
 - REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-65 GRADE 60. WELDED WIRE MESH TO BE A-85.
 - REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL, OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
 - REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
 - ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM UNO.
 - "STB" ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
 - EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEM WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
 - GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2% SLOPE (1/8" PER FT. MIN.) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10 FT. O.C. EA. WAY.
 - PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN A 12" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS). SEE DET. 8-D)
 - PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLEURY. VERIFY SIZE AND PLACEMENT WITH BUILDER AND/OR SUBCONTRACTORS PRIOR TO INSTALL.
 - PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/SUBCONTRACTOR.
 - PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN SYSTEM.
 - COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MID SILL. LAP SEAMS 12" MIN.
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
 - ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 5# ASPHALT SHINGLE.
 - ALL HOLD-DOWNS, JOIST HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
 - PROVIDE A 24" X 36" CRAIL ACCESS (18"X14" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
 - FOUR CONSTRUCTION TO BE:
 - 1) 1/2" DECKING OR EQUAL, ON 1-JOISTS PER MANUF.
 - ON 2X6 FOOTINGS OVER 8X16 CONTINUOUS FOOTINGS

FDN VENTILATION CALCULATIONS:

LOCATION:	REQ. SQ. IN.	NO. OF VENTS:	VENT SIZE:	TOTAL SQ. IN.
FDN	910	5	126 sq.in.	912

TOP OF ALL HOLD DOWN BOLTS MUST BE BENT ABOVE BARS AND NITS (APPROX. 6" ABOVE TOP OF FDN WALL)

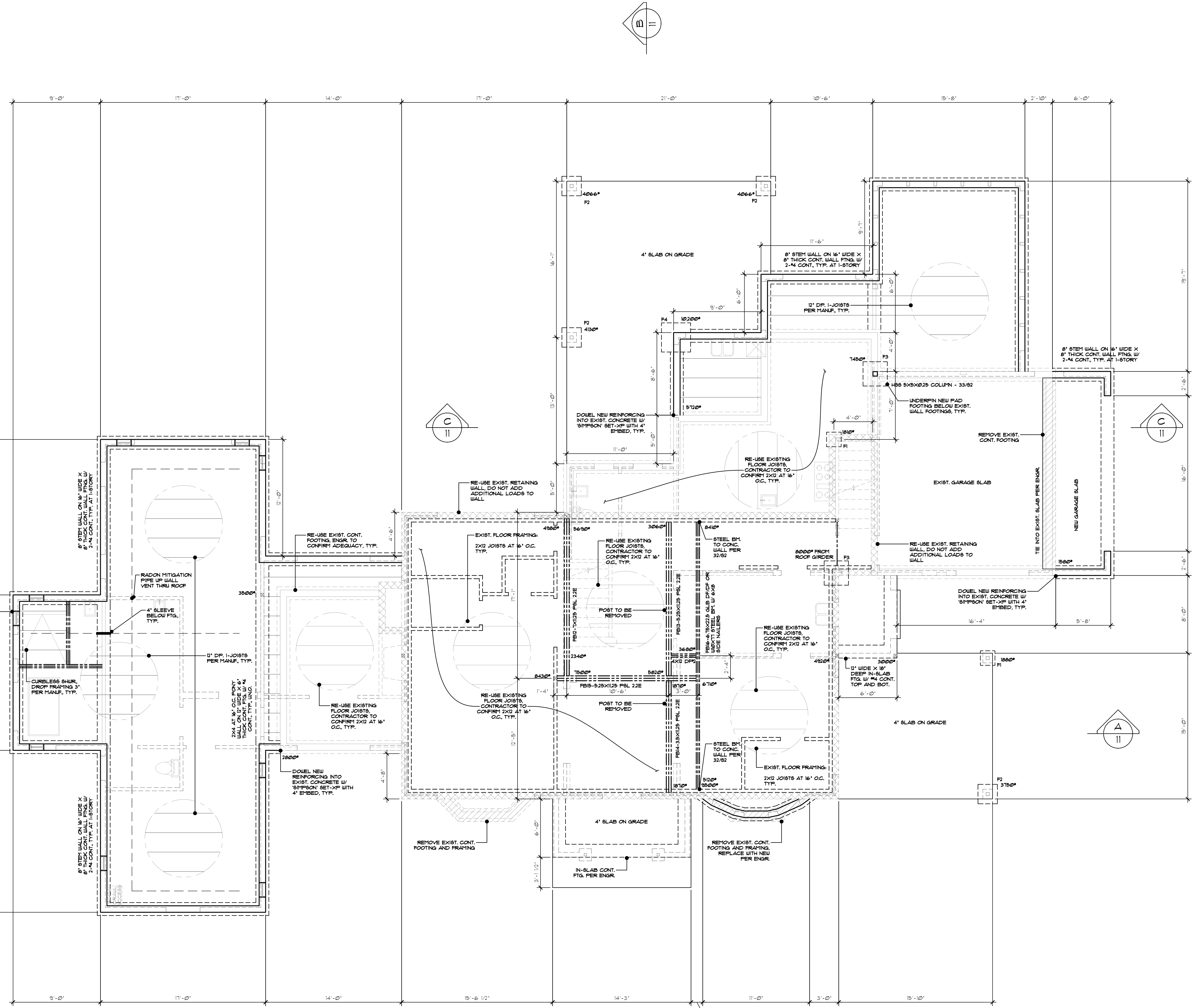
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SEE STRUC. ENGR. SHEETS

SEE JOIST ENGR. SHEETS FROM MANUF.

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

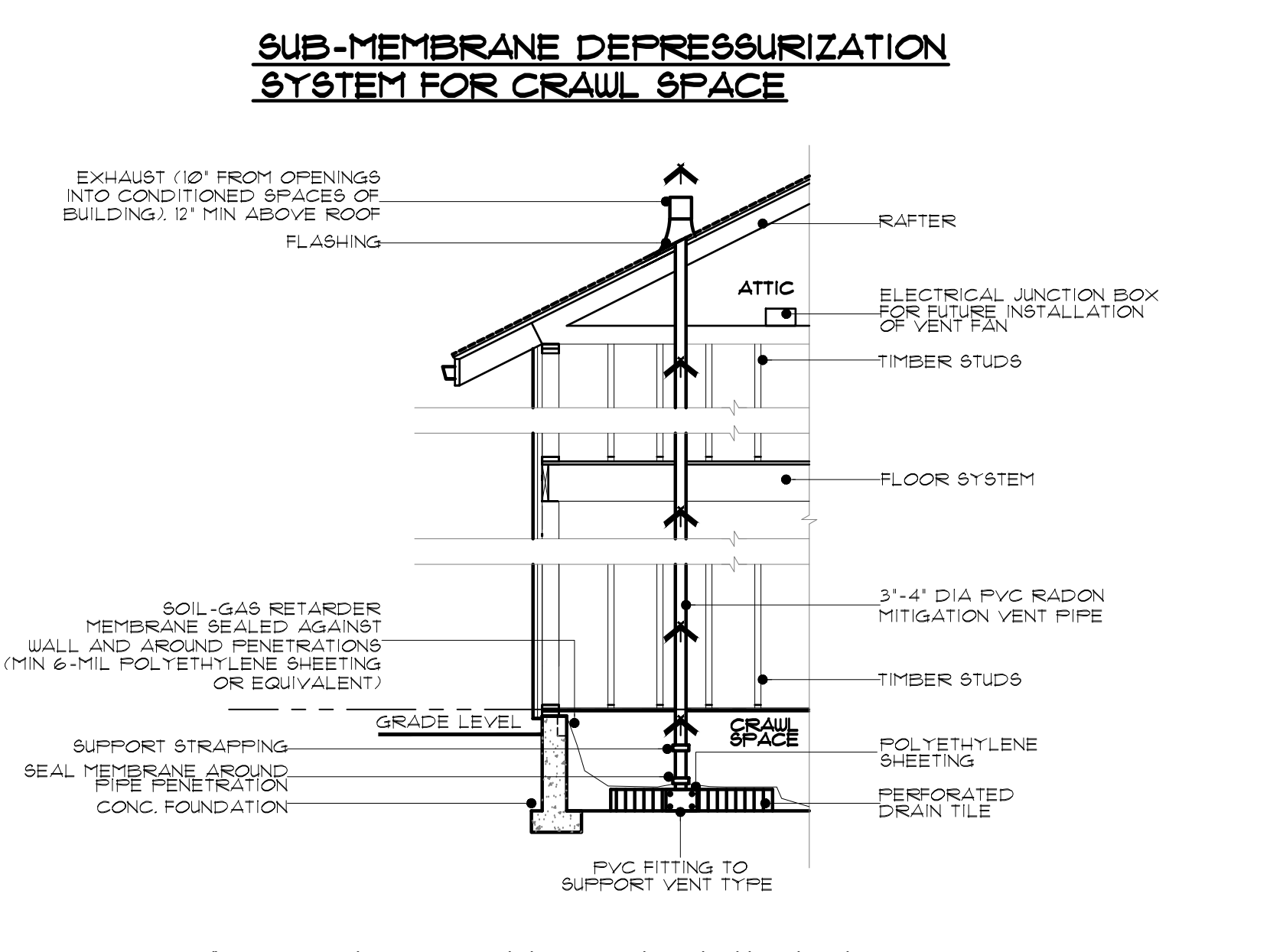


FOOTING SCHEDULE

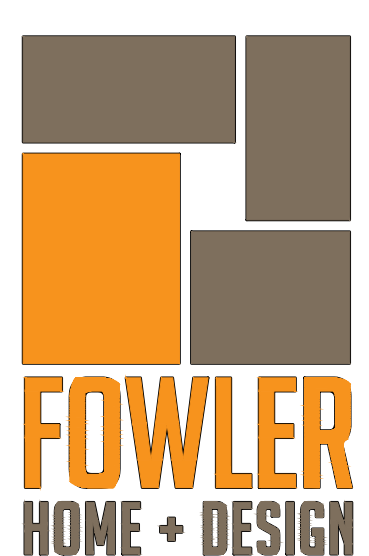
FTNG.	LOAD LBS	FOOTING SIZE	REBAR
F1	3,300*	18"x18"x10"	(2) #4 E/W
F2	6,000*	24"x24"x10"	(2) #4 E/W
F3	9,300*	30"x30"x10"	(3) #4 E/W
F4	13,500*	36"x36"x12"	(3) #4 E/W
F5	18,300*	42"x42"x12"	(4) #4 E/W
F6	24,000*	48"x48"x12"	(4) #4 E/W
F7	28,000*	52"x52"x12"	(5) #4 E/W
F8	40,000*	64"x64"x14"	(5) #4 E/W
F9	50,000*	72"x72"x16"	(6) #4 E/W

MAIN FLOOR FRAMING & FDN PLAN

1/4" = 1'-0"



RADON CONTROL METHOD C.



THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97122

PLAN No.:
 DRAIN: T.F.
 DATE: 4/20/2024
 SCALE: 1/4" = 1'-0"
 FILE:

MAIN FL. FRAMING & FDN PLAN






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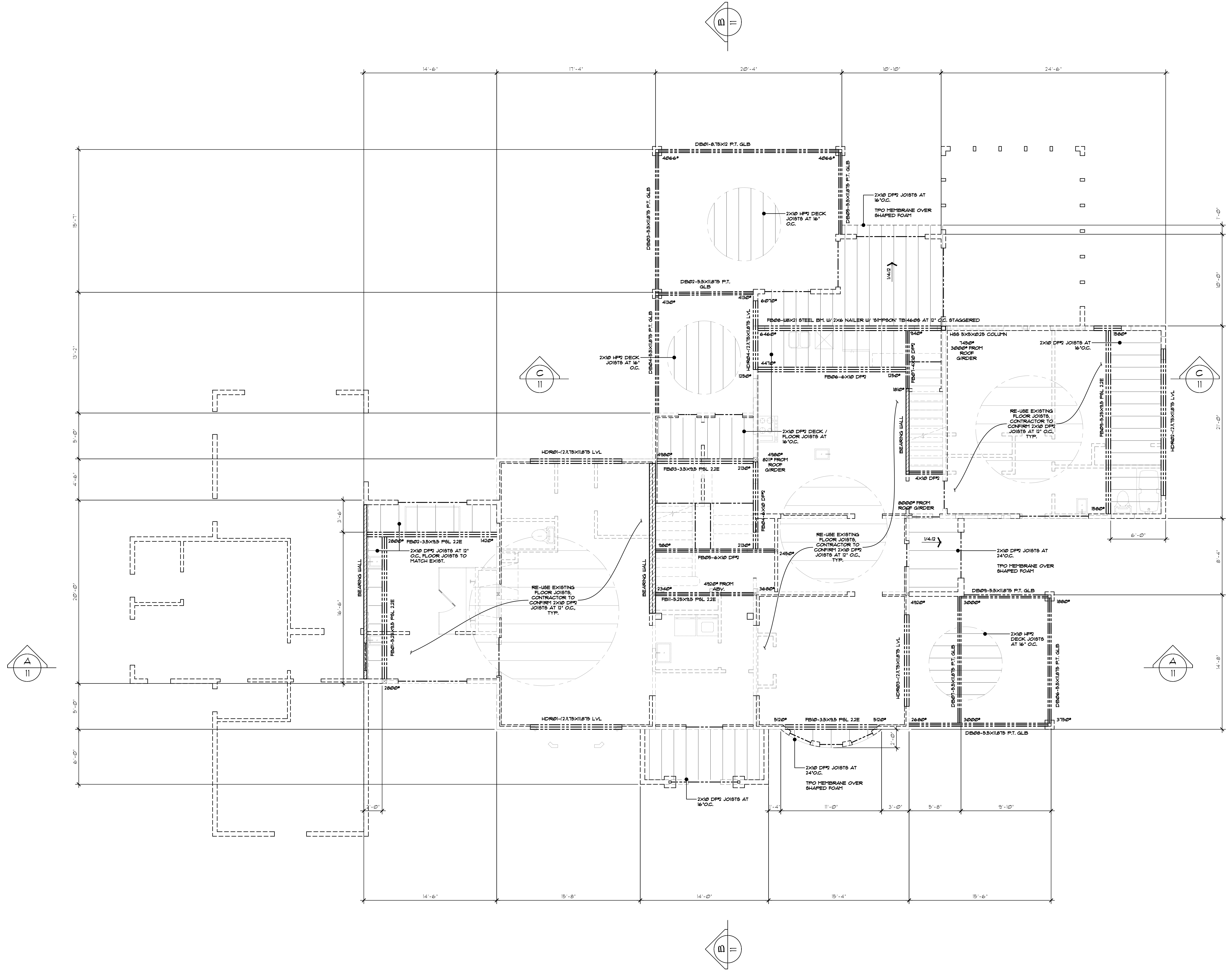
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FLOOR FRAMING NOTES:

- SEE FLOOR JOIST OR TRUSS MANUF. SHEETS.
- FLOOR JOIST SPANS ARE BASED ON A 40" LL + 1" D.L. + 55" TL DEFLECTION LIMITED
- PROVIDE BLOCK OUTS FOR DOWN DRAFT COOK TOPS, DRYER VENTS, HEAT FLUES, AND ACCESSES. VERIFY SIZE AND PLACEMENT WITH BUILDER/SUBCONTRACTORS PRIOR TO INSTALL.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- ALL GIRDERS IN CONCRETE BEAM PROCKETS TO HAVE A 1" AIR SPACE AT SIDES AND ENDS WITH A 3" MIN. BEARING ON CONCRETE PLACED ON A 55# FELT MOISTURE BARRIER.
- ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE 'SIMPSON' OR EQUAL.
- REFER TO BOISE CASCADE TECHNICAL SUPPORT FOR BEAMS + HEADER HANGERS.
- PROVIDE SOLID BLOCKING UNDER ALL UPPER LEVEL BEARING WALLS OR AS SHOWN ON PLAN.
- PROVIDE A CONTINUOUS RIM JOIST AROUND PERIMETER OF EXTERIOR WALLS. RIM JOIST TO BE OF THE SAME SIZE AND MATERIAL TYPE AS FLOOR JOISTS UNLESS OTHERWISE NOTED. FASTEN RIM JOISTS TO WALL BELOW WITH AT LEAST 16D TOE-NAILS AT 8" O.C.
- PROVIDE 1 1/2" T + G CDX (APA 3216) PLYWOOD OR APPROVED EQUAL SUB-FLOOR SHEATHING. GUE AND FASTEN SHEATHING WITH 10D COMMON NAILS AT 6" O.C. AT ALL EDGES AND 10D COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
- SUB-FLOOR SHEATHING TO EXTEND OUTWARD TO ALL PERIMETER EXTERIOR WALLS BELOW.
- VERIFY LOCATION OF ALL PLUMBING DRAINS AND OFFSET FLOOR JOISTS UP TO 3" O.C. MAXIMUM TO AVOID NOTCHING AND CUTTING OF JOISTS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1-1/2" MIN. BEARING.
- DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF QUESTIONS ARISE.
- PROVIDE DOUBLE RIM JOISTS AT ALL EXTERIOR WALLS PARALLEL TO JOISTS AND AS SHOWN ON PLAN.
- LAP FLOOR JOISTS A MINIMUM OF 6" EACH WAY AT ALL INTERIOR BEARING MEMBERS. NAIL LAPS WITH (3) 16D AND TO BEARING MEMBER WITH (3) 16D.
- JOISTS SHALL BE SUPPORTED LATERALLY BY BLOCKING OR BRIDGING AT JOIST MID-SPAN AT INTERVALS NOT EXCEEDING 10 FEET.

SYMBOLS LEGEND:

-  DENOTES (2) CRIPPLE STUDS (2x WIDTH OF WALL) UNO.
-  BEAM SCHEDULE CALLOUT.
-  BEARING WALL DETAIL.
-  DETAIL CALLOUT OVER SHEET 1.
-  4X10 HEADER (UNO.)



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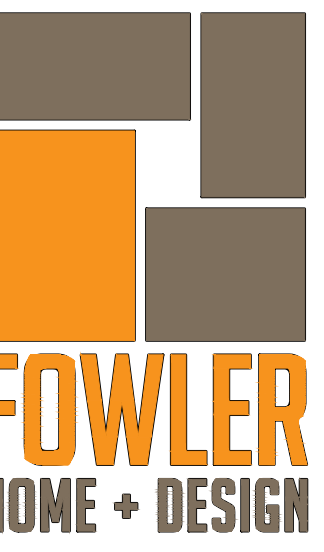
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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

UPPER FLOOR FRAMING PLAN

1/4" = 1'-0"



THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97122

PLAN No:
 DRAWN: TF
 DATE: 4/20/2024
 SCALE: 1/4"=1'-0"
 FILE:

UPPER FL.
 FRAMING
 PLAN

9

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 DESIGN LLC 2024

ROOF FRAMING NOTES:

1. ROOFING MATERIAL TO BE 1/2" STANDING SEAM METAL ROOF AND ARCHITECTURAL COMPOSITION ROOFING WITH RAIN AND ICE SHIELD NAILING PER MANUFACTURED INSTRUCTIONS FOR AN 80 MPH WIND AREA.
2. ROOF PITCH AS SHOWN ON PLAN.
3. ROOF DESIGN TO BE MANUFACTURED ROOF TRUSSES @ 24" O.C. UNO. MANUFACTURER TO SUPPLY DESIGN ENGINEERING SPECIFICATIONS AND LAYOUT.
4. MANUFACTURED TRUSSES SHALL BE LATERALLY BRACED ACCORDING TO APPROPRIATE MANUFACTURER'S ENGINEERED DESIGN.
5. TRUSS MEMBERS SHALL NOT BE NOTCHED, BORED, DRILLED THROUGH OR ALTERED UNLESS DESIGNED BY AND SHOWN ON MANUFACTURER'S SPECIFICATIONS.
6. ALL RAFTERS/CEILING JOISTS TO BE 2" X 10" D-F-L OR BETTER AS PER TABLE NOTED BELOW AND PER ROOF FRAMING PLAN. SPAN DISTANCE BASED ON SIMPLE UNIFORM LOADING AND PER O.R.S.C. 2021 TABLES 807.4(2) & 807.3(3).
7. ALL HIP, VALLEYS AND RIDGES TO BE NOT LESS IN DEPTH THAN THE CONNECTION END OF THE RAFTER UNO.
8. ALL FLANT-ON VALLEYS TO BE 2" X 10" WITH (2) 1/2" @ EACH RAFTER/TRUSS.
9. ALL EAVE OVERHANGS TO BE CLOSED TYPE AT 24". ALL CORNICE TO BE 12" UNO.
10. EAVES TO BE OPEN TYPE BOFFITS WITH A 3" K' GALVANIZED FACIA GUTTER ON A 2" X 10" FACIA BO UNO AND 3" GALVANIZED DOWNSPOUTS (D6) AS SHOWN ON PLAN.
11. ALL BARGE RAFTERS TO BE 2" X 10" WITH A 1 X 3 BRICK MOLD UNO.
12. ALL RAFTER HANGERS SHALL BE OF SIMPSON L55U OR LUS TYPE UNO.
13. PROVIDE (2) 61 SQ. IN. SCREENED ATTIC AIR VENTS AT RIDGE WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED AS SHOWN ON PLAN. PROVIDE (63) 20 SQ. IN. 7" X 10" SCREENED AIR VENTS AT EAVES WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED. A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 100 SQ. FT. OF ATTIC SPACE AREA REQUIRED. PROVIDE 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES. REFER TO ATTIC VENTILATION CALCULATION TABLE.
15. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER/TRUSS BAY AT VAULTED CEILING AREAS. INSTALL INSULATION Baffles AT EACH EAVE VENT BETWEEN BAYS. Baffles SHALL BE MADE RIGID HEATHER RESISTANT MATERIAL AND MAINTAIN 1" CLEAR AIR SPACE. VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE PLATES.
16. ROOF DIAPHRAGM TO BE CONSTRUCTED WITH 5/8" EXPOSURE (C-D (APA 2410 RATED) PLYWOOD OR 1/2" 2-THU OR 3/4" 3-OSB, OR BETTER SHEATHING. LONG DIMENSION SHALL BE PERPENDICULAR AND END JOINTS SHALL BE STAGGERED. FASTEN SHEATHING WITH 80 COMMON NAILS AT 6" O.C. AT GABLE ENDS AND ALL EDGES AND 80 COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
17. DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF ANY QUESTIONS ARISE.
18. PROVIDE A SIMPSON 14-25' HURRICANE CLIP AT EACH RAFTER CONNECTION TO EXTERIOR WALL TOP PLATES.
19. ATTICS WITH A CLEAR HEIGHT OF 30 INCHES OR MORE MUST BE PROVIDED WITH AN ACCESS. THE ACCESS OPENING SHALL 22" X 30" MINIMUM. OPENING TO HAVE 30" MINIMUM CLEARANCE FROM TOP OF OPENING TO BOTTOM OF ROOF ALL AROUND.
20. FLASHING SHALL BE INSTALLED AT JUNCTIONS OF CHIMNEYS AND ROOFS, IN ROOF VALLEYS AND AROUND ALL ROOF OPENINGS.
21. PROVIDE 4" X 4" OR (2) 2" X 4" LAMINATED WITH 1/2" @ 12" O.C. KING POSTS (KP) WHERE SHOWN ON PLAN.
22. PROVIDE PURLIN WALLS WHERE SHOWN ON ROOF PLAN. USE 2" X 4" S @ 24" O.C. AND/OR LINED-UP UNDER EACH RAFTER. EXTEND PURLIN WALL DOWN TO BEARING MEMBER BELOW.
23. ALL RAFTERS TO BE NOTCHED (SEAT CUT) TO PROVIDE FULL BEARING AT SUPPORT MEMBERS.
24. ALL UNDOU HDRS TO BE 4" X 10" UNO.

ATTIC VENTILATION CALCULATIONS:

LOCATION:	REQ. SQ. IN.	NO. OF VENTS:	VENT SIZE:	TOTAL SQ. IN.
AT RIDGE	1675	28	61 sq.in.	1708
AT EAVES	1675	84	20 sq.in.	1680
TOTAL:	3350	112	81 sq.in.	3388

SYMBOLS LEGEND:

- DENOTES (2) CRIPPLE STUDS (1x WIDTH OF WALL) UNO. 3-STUD ASSEMBLY MAY BE USED IN LIEU OF 4x4 POST. 4-STUD ASSEMBLY MAY BE USED IN LIEU OF 6x6 POST.
- BEAM SCHEDULE CALLOUT.
- BEARING WALL DETAIL.
- HOUSE WIRED SMOKE DETECTOR.
- FLOOR FRAMING DETAIL.
- DOWNSPOUT TO RAINDRAIN BELOW.
- INDICATES ROOF FRAMED OVER ROOF BELOW. USE 2x8 RAFTERS @ 24" O.C. W/ 2x10 RIDGES. 4" 2x10 VALLEY RAFTERS LAID FLAT ON TRUSSES BELOW.
- 4x4 KING POST (KP) FROM HIP VALLEY AND/OR RIDGE TO BEARING MEMBER BELOW. REFER TO DETAIL.
- DETAIL CALLOUT OVER SHEET.
- 4x10 HEADER (UNO).

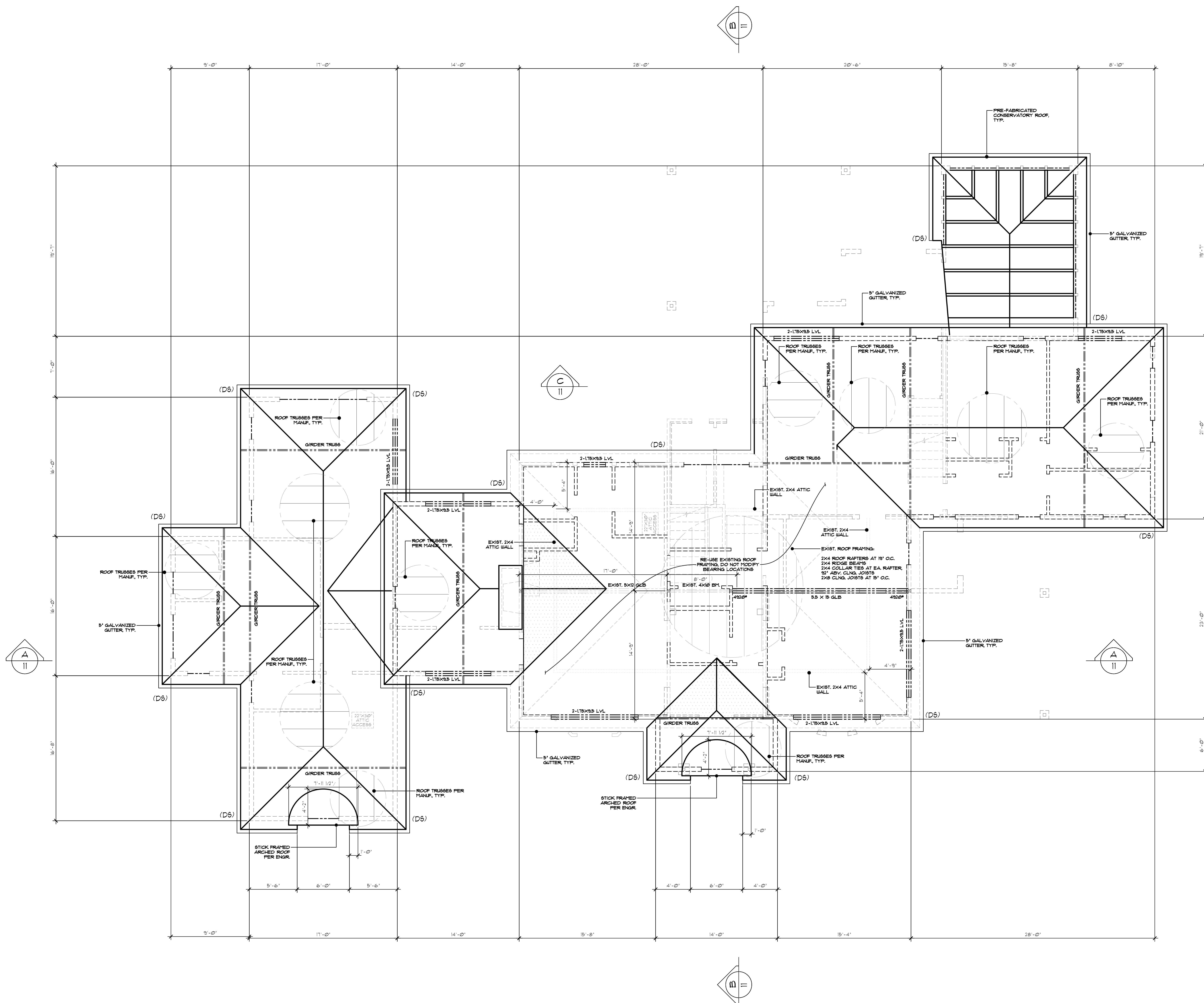
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SEE STRUC. ENGR. SHEETS

SEE TRUSS ENGR. SHEETS FROM MANUF.

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



ROOF FRAMING PLAN

1/4" = 1'-0"

ALL ROOF SLOPES TO BE 8:12 UNO.
ALL EAVES TO BE 1'-0" UNO.

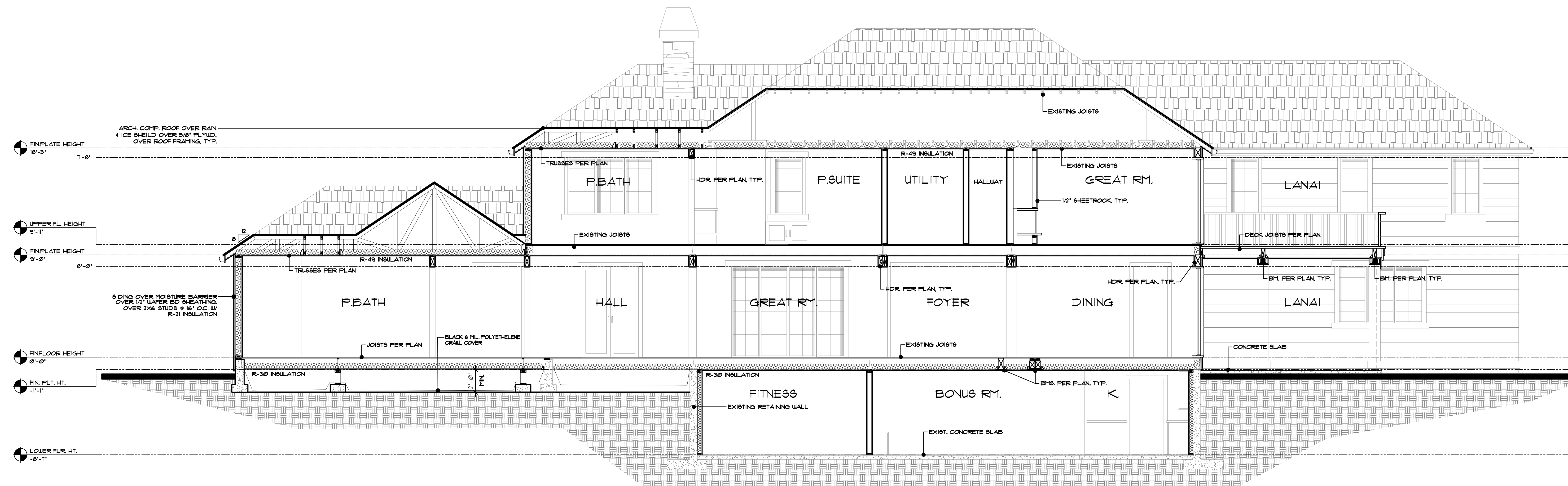
THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No.:
DRAWN: TF
DATE: 4/20/2024
SCALE: 1/4"=1'-0"
FILE:

ROOF FRAMING PLAN

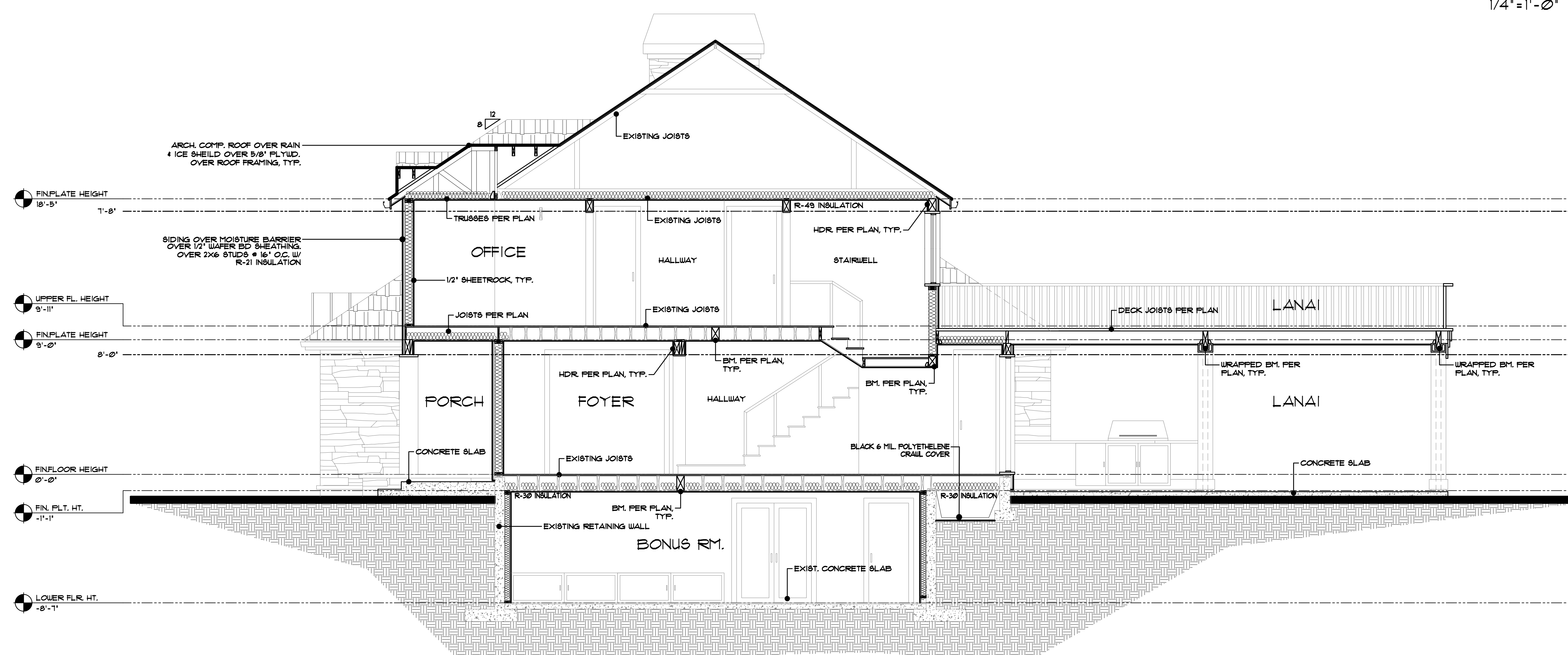
10

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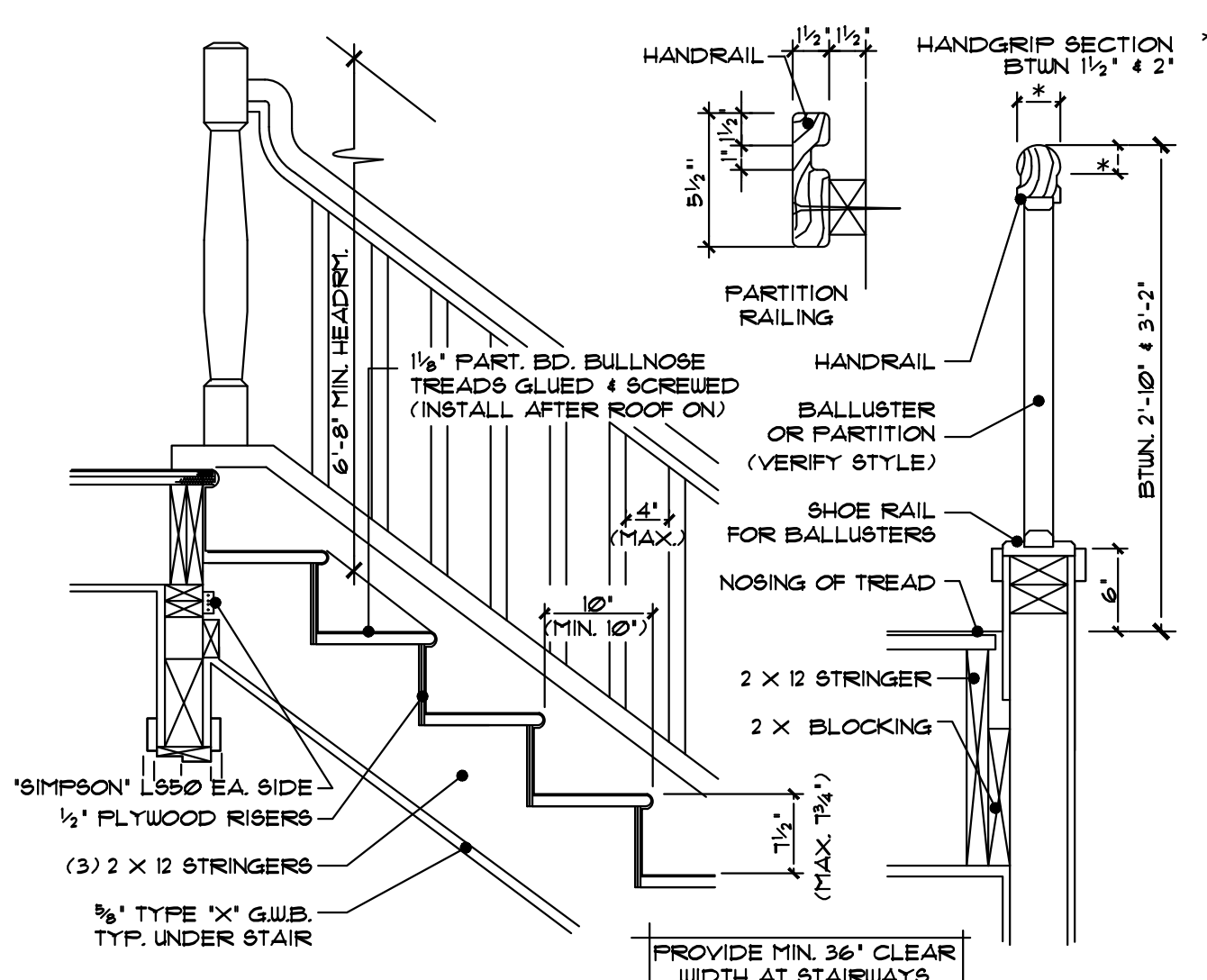
CROSS SECTION A.

1/4" = 1'-0"

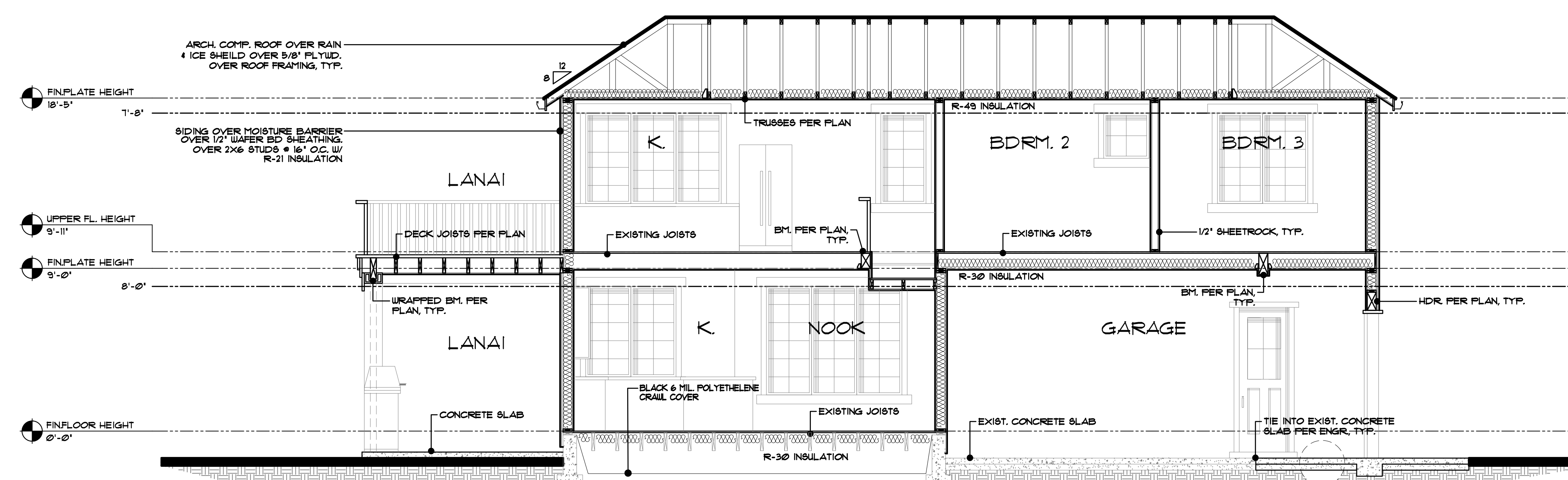


CROSS SECTION B.

1/4" = 1'-0"



STAIR DETAIL
SCALE : N.T.S.



CROSS SECTION C.

1/4" = 1'-0"

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SEE STRUC. ENGR. SHEETS

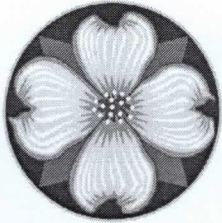
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THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No:
DRAWN: TF.
DATE: 4/20/2014
SCALE: 1/4"=1'-0"
FILE:

CROSS SECTIONS

11
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DESIGN LLC 2012



MILWAUKIE PLANNING
10501 SE Main St.
Milwaukie OR 97222
503-786-7630
planning@milwaukieoregon.gov

Submittal Requirements

**For all Land Use Applications
(except Annexations and Development Review)**

All land use applications must be accompanied by a signed copy of this form (see reverse for signature block) and the information listed below. The information submitted must be sufficiently detailed and specific to the proposal to allow for adequate review. Failure to submit this information may result in the application being deemed incomplete per the Milwaukie Municipal Code (MMC) and Oregon Revised Statutes.

Contact Milwaukie Planning staff at 503-786-7630 or planning@milwaukieoregon.gov for assistance with Milwaukie's land use application requirements.

1. **All required land use application forms and fees**, including any deposits.

Applications without the required application forms and fees will not be accepted.

2. **Proof of ownership or eligibility to initiate application** per MMC Subsection 19.1001.6.A.

Where written authorization is required, applications without written authorization will not be accepted.

3. **Detailed and comprehensive description** of all existing and proposed uses and structures, including a summary of all information contained in any site plans.

Depending upon the development being proposed, the description may need to include both a written and graphic component such as elevation drawings, 3-D models, photo simulations, etc. Where subjective aspects of the height and mass of the proposed development will be evaluated at a public hearing, temporary onsite "story pole" installations, and photographic representations thereof, may be required at the time of application submittal or prior to the public hearing.

4. **Detailed statement** that demonstrates how the proposal meets the following:

A. All applicable development standards (listed below):

1. **Base zone standards** in Chapter 19.300.
2. **Overlay zone standards** in Chapter 19.400.
3. **Supplementary development regulations** in Chapter 19.500.
4. **Off-street parking and loading standards and requirements** in Chapter 19.600.
5. **Public facility standards and requirements**, including any required street improvements, in Chapter 19.700.

B. All applicable application-specific approval criteria (check with staff).

C. Compliance with the Tree Code (MMC 16.32): www.milwaukieoregon.gov/trees

These standards can be found in the MMC, here: www.qcode.us/codes/milwaukie/

5. **Site plan(s), preliminary plat, or final plat** as appropriate.

See Site Plan, Preliminary Plat, and Final Plat Requirements for guidance.

6. **Copy of valid preapplication conference report**, when a conference was required.

G:\Planning\Internal\Administrative - General Info\Applications & Handouts\Submittal Rqmts_Form_revised.docx—Rev. 6/22

APPLICATION PREPARATION REQUIREMENTS:

- Electronic copies of all application materials are required at the time of submittal.

ADDITIONAL INFORMATION:

- Neighborhood District Associations (NDAs) and their associated Land Use Committees (LUCs) are important parts of Milwaukie's land use process. The City will provide a review copy of your application to the LUC for the subject property. They may contact you or you may wish to contact them. Applicants are strongly encouraged to present their proposal to all applicable NDAs prior to the submittal of a land use application and, where presented, to submit minutes from all such meetings. NDA information: www.milwaukieoregon.gov/citymanager/what-neighborhood-district-association.
- By submitting the application, the applicant agrees that City of Milwaukie employees, and appointed or elected City Officials, have authority to enter the project site for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

As the authorized applicant I, (print name) MARK EKLUND, attest that all required application materials have been submitted in accordance with City of Milwaukie requirements. I understand that any omission of required items or lack of sufficient detail may constitute grounds for a determination that the application is incomplete per MMC Subsection 19.1003.3 and Oregon Revised Statutes 227.178. I understand that review of the application may be delayed if it is deemed incomplete.

Furthermore, I understand that, if the application triggers the City's sign-posting requirements, I will be required to post signs on the site for a specified period of time. I also understand that I will be required to provide the City with an affidavit of posting prior to issuance of any decision on this application.

Applicant Signature: Mark Eklund

Date: 9/3/2024

Official Use Only

Date Received (date stamp below):

9/3/2024

Received by: Ryan Dyar, Associate Planner



**Historic Resource Land Use Review – Approval Criteria, Findings, and Recommendations
1620 SE Waverly Drive, Milwaukie, Oregon**

Prepared for:
City of Milwaukie, Oregon
October 1, 2024

Description of the Historic Resource Land Use Review Application

The proposed work includes the addition of a primary wing located on the east side of the residence, the addition of a 306 sq. ft. prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6 feet, and extending the south kitchen and nook walls 8.5 feet and 6 feet respectively. The total first floor additions including the conservatory is 1,436 sq. ft. A lanai and porch are proposed for the northwest corner of the house. The two-story bay window to the east of the primary entrance will be eliminated.

On the second floor, wall extensions are proposed on the north, front elevation, wall above the porch; the east wall at the existing bath, the south wall, and west wall. These extensions amount to a total of 348 sq. ft. of additional area. Other additions to the second floor include a deck to the northwest and south. The roofs of the main body of the house and the west wing will remain the same height as they exist today. A hip roof is proposed for the east wing. The pedimented dormers on the west wing will be eliminated. Other proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The existing north, primary elevation, is proposed to be redesigned to include an arched keystone entryway with full entablature and doric pilasters, curved molding around an oval window above the entrance, an arched entry door, gridded windows throughout, two curved copper roofs with oval windows below, an exposed stone chimney with a copper chimney cap, a tile clad curved bay with a full entablature off the dining room, colonial wooden balusters, and usage of other Colonial Revival style such as brick, stone, copper, and painted cedar siding. All windows and doors will be replaced with either similar or a new design, including the Palladian window on the primary elevation. On the primary elevation, the heightened windows will eliminate the existing belt course.

Description of the Historic Context and Significance of the Property

Owned by William MacMaster, this home was constructed in 1922 by the Drake-Voss Construction Company as the family's second estate within Waverly. William moved to Oregon in 1883 from Scotland as a financial representative of the Dundee Land Company. He later formed a real estate investment firm with A.H. Birrell in 1890, buying out Birrell in 1903. William co-owned the firm with his son in law beginning in 1922, renaming it to MacMaster and Ireland until William's death. During his lifetime, William was president of the Arlington Club, president of Waverly twice, and president of the Portland Chamber of Commerce twice. Annie MacMaster was the head for all of the YMCA's Pacific Northwest women's war work during World War I.

Character-defining features of this Colonial Revival home as mentioned in the 1988 Cultural Resource Inventory are as follows:

- Primary entrance with paired paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters.
- Stucco exterior cladding
- Quoining, also made of stucco
- Polygonal bays
- End wall chimney
- Palladian window
- Full-height polygonal bay window with tent roof and spandrel
- Belt course above heads of second story windows
- Rectangular plan flanked by two smaller wings on side elevations

As defined by the National Park Service, a Character Defining Feature is a prominent or distinctive aspect, quality, physical feature, or characteristic that contributes significantly to the visual character of a resource. Character Defining Features are character-defining elements that include the overall shape of the building or resource, the materials used in building the resource, the craftsmanship of the resource, the resource's decorative details, the interior spaces and architectural features, and the site and environment of a resource, also known as its context. There are four zones in regards to character-defining features: High, Medium, and Low Preservation Priority, and Non-Historic.

High Preservation Priority features are the most character-defining features of the building that best convey the significant themes associated with the building. These features are to be maintained and preserved. Alterations to finishes may be acceptable, although the form and overall design should be retained. Work to high priority features will be closely reviewed. High Preservation Priority spaces can be public or private with a high level of integrity and history of architectural finishes and features that include original materials or details of highly skilled craftsmanship. Architectural finishes and features should be preserved. Regarding 1620 SE Waverly Drive, the highest priority features are ones visible from the public right of way, including all features comprising original and proposed north elevations, and other elevations that are visible from the public right of way.

Medium Preservation Priority features help to convey the significance of the building, but are not crucial character-defining features. If a Medium Preservation Priority feature were to be removed, the building would still retain its significance, although some unique aspects may be lost. Often, the overall design aspect of the feature is of medium priority, while the finishes or materials may be of a lower priority. Work to medium priority features require design review and may elicit some commentary although contemporary methods, materials, and designs may be sensitively incorporated. The overall project should reach a balance of retaining some Medium Preservation Priority features to allow for alterations to other medium priority features. Alterations should be compatible with the overall historic character of the building. Medium Preservation Priority spaces can be public or private with a moderate level of integrity and history of architectural finishes and features that include original materials or details but are less ornate than High Preservation Priority spaces in overall character. Architectural finishes and features should be preserved. Regarding 1620 SE Waverly Drive, medium priority features are ones not

visible from the public right of way, including all features comprising original and proposed south elevations, and other elevations that are not visible from the public right of way.

Low Preservation Priority features are part of the building design, but have little historic character or contribution to the historic significance of the building. Low priority features include service spaces, heavily-altered features, or additions not associated with the period of significance. Alterations to Low Preservation Priority features, while sympathetic to the historic qualities and character of the building, may incorporate extensive changes or total replacement through the introduction of contemporary methods, materials, and designs. Proposed work to Low Preservation Priority features will still be reviewed in order to monitor the impact to the overall character and significance of the building. Low Preservation Priority spaces are often not public areas but can be private spaces with minimal integrity and history of architectural finishes and features that contain few or no architectural features that need to be preserved or restored as part of a rehabilitation project. Regarding 1620 SE Waverly Drive, there are no low priority features on the exterior of the building. Since the 1988 Cultural Resource Inventory, no significant exterior changes that have required Historic Resource Land Use Review have been made to the building and, to the best of our knowledge, the building retains all of its significant historic character-defining features.

Non-historic features include architectural features or finishes that are not original to the historic building. Non-historic features primarily include walls and doors that are not considered historic, as well as other features that have been changed or added to the building after initial construction. These elements can be removed and altered with minimal care given to minimize impact. Within the City of Milwaukie, certain alterations to historic buildings do not need to be reviewed through the Historic Resource Land Use Review system. These alterations include the repair or replacement of roof materials either in kind or with similar materials, the application of storm windows, etc. While these changes may have been added to 1620 SE Waverly Drive, there are no other non-historic features of finishes present on the building.

Approval Criteria

Milwaukie Zoning Ordinance Title 19, Chapter 19.400 Overlay Zones and Special Areas governs the “identification, protection, enhancement, perpetuation, and use of site, structures, districts, objects, and buildings within the City that reflect the City’s unique architectural, archaeological, and historical heritage, and to facilitate preservation of such properties.” Any exterior alteration of a “significant” landmark is reviewed under the provisions of Subsection 19.403.5, Alterations and Development, and application is submitted to the City of Milwaukie Planning Commission. The criteria are listed with a response and findings for each, below.

Findings

Findings of the review are based on analyzing and comparing the materials submitted as part of the Historic Resource Land Use Review Application, the historic context and significance of the property, and the approval criteria.



1. Retention of Original Construction

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

This project proposes to redesign the front elevation of the building, which includes the removal of high preservation priority character-defining features and distinguishing original qualities that define the resource's character as described in the 1988 Cultural Resource Inventory documentation. These features include the primary entrance with paired paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters; stucco quoining; stucco cladding; Palladian window; full-height polygonal bay window; bay window with tent roof and spandrel; and belt course above heads of second story windows. This criterion is therefore not met.

In order to meet this criterion, per the approval criteria, the removal of high preservation priority character-defining features should be avoided when possible. Changes to character defining features as listed in the 1988 Cultural Resource Inventory documentation on primary, north elevations and elevations visible from the public right of way should be avoided. Removal or manipulation of these features will create a home that is near unrecognizable compared to the original and will therefore become an inaccurate representation of the historic building. On the primary, north elevations, replace as needed due to deterioration. Other historic materials or distinctive architectural features that are medium preservation priority features not on the north elevations or not visible from the public right of way and are not mentioned as part of the 1988 Cultural Resource Inventory documentation may be removed or altered, as long as the alterations reflect a simplified style or simplified Colonial Revival style in order to distinguish the new changes from the original.

2. Building Height

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

The proposal shows the addition of a hip roof on the east wing of the home, with other roof alterations on the main portion and west wing of the home. The roof height of the main core of the home and the west wing will be maintained. The building's permanent elevation will remain as is and no new foundation under the existing home will be built. This criterion has not been fully addressed and is not yet met.

In order to meet this criterion, the following should be maintained:

- Retention of the flat roof on the existing east wing of the home;
- Retention of the two existing pediments above windows on the west wing of the home;
- Retention of the flat roof above the two-story bay window on the north elevation;
- Retention of the pediment above the front entry design sequence;
- Ensure that the proposed addition and extension of walls at the garage, kitchen and kitchen nook, and east wing will not alter the pitch of the roof to which they are attached; and
- Ensure that no new roof height will be taller than the existing tallest roof height of the building.

3. Horizontal Additions

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

The proposed additions and extensions on the west, east, and south elevations are visually compatible with the traditional architectural character and scale of the historic building. No extensions or additions on the north elevations are permitted due to Approval Criteria 1 *Retention of Original Construction*. Although contemporary in design, the design of these additions and alterations, including the overall scale and design of windows and doors respects the building's original design and are compatible with the original scale and window and door-opening proportions of the building. In order to meet this criterion, ensure that the materials of the east addition be visually compatible and respect the original stucco cladding and the Colonial Revival style architecture. Additionally, ensure the materials of the room extensions are visually compatible with that of the historic stucco cladding in order to be visually compatible with the traditional architectural character of the historic building. This criterion is met.

4. Windows

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if nonwood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.

This application proposes to replace or redesign all windows on every elevation. The new windows do not match the visual qualities of the original. Therefore, this criterion is not met.

In order to meet this criterion, window redesigns and replacements shall match the visual qualities and design of the original as closely as possible.

5. Restoration Possible

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

As the new alterations are wood frame construction, in theory this criterion is met. The exterior carport, conservatory, lanais, patio, and porch shall be built in such a manner that can be removed in the future. The architect and build team shall ensure that the extensions and additions on the east and south elevations and garage are built in such a way that they can be removed and the original form and integrity of the original building can be restored.

6. Signs and Lighting

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

There is no proposed signage. No lighting was indicated on the exterior primary façade. No elevation or renderings of appurtenances were submitted. Based on no sign, lighting, and other appurtenances submitted, this criterion is met.

7. Time Period Consistency

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

The proposed alterations that are allowable based on other approval criteria are proposed to align with the visual qualities of the original house and Colonial Revival style architecture. No proposed alterations create a false historical basis or create an earlier appearance. This criterion is met.

8. Visual Integrity/Style

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

The proposed changes to the north elevations and elevations visible to the public right of way do not meet Criterion 1 *Retention of Original Construction*. Therefore, this criterion is not met. In order to meet this criterion, distinctive stylistic features on the high preservation priority areas of the home, including the north elevations and elevations visible from the public right of way, shall be maintained or restored if showing signs of deterioration.

9. Replacement or Additional Materials

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

New materials in the proposed additions and extensions, including windows, doors, roofing, cladding, and others, are different than those of the original building in composition, design, color, texture, and other visual qualities. Additionally, because the original building does not feature stone, brick, or wood cladding, adding these features will not match those of the original building in the above listed visual qualities. Therefore, this criterion is not met. This criterion could be met with materials that more readily match existing materials.

10. Buffering

An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

There is no new commercial or industrial improvement or use proposed on or adjacent to this home, therefore no buffer or screen is required. This criterion is not applicable.

Detailed Statement

Proposed Alterations at 1620 SE Waverly Dr.

11/7/2024

Prepared For: City of Milwaukie, Oregon

Prepared By: Fowler Home + Design

The summary of proposed alterations to the existing residence on the main floor include the addition of a primary wing located on the far east side of the residence that houses a bedroom, bath, and walk-in closet, the addition of a 306 s.f. prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6', and extending the south kitchen and nook walls 8.5' and 6' respectively. The total main floor additions including the conservatory amounts to 1,436 s.f.

On the upper floor, slight wall extensions are made on the north wall above the porch, the east wall at the existing bath, the south wall, and west wall which amounts to a total of 348 s.f. additional area. The upper floor also includes the additions of a deck on the northwest and the south. All existing roofs are kept as existing as much as possible, such as the tallest roof form over the primary mass of the existing residence and the flat roof over the primary suite bath. The proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The two most critical elements outlined in the 1988 historic resource survey are the PERSON and STYLE categories. The STYLE category states the residence as Colonial Revival style with elements of interest centered primarily around the entrance of the residence such as the paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters. Additional noted elements of interest include quoining at the entrance, an endwall chimney, a palladian window, the polygonal bay window with tent roof and spandrel, and the belt course over the second story windows.

The proposed alterations have little to no impact on the PERSON category as the overall character and layout of the existing residence is maintained. For the STYLE category, the key historic features are to remain and the proposed minor alterations add to the existing style such as the colonial wooden balusters.

The alterations will also create a more efficient and safe residence through better insulation, higher performance windows, and seismic fortification of the structure.

The proposed alterations adhere to all relevant zoning and development standards. Refer to the plans and elevations for further information.

Approval Criteria:

1. *Retention of Original Construction*

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

Response: The majority of the existing walls and the primary and tallest portion of the roof will remain. The key design elements are to remain which includes the paneled doors, Swan's neck pediment, full entablature, Ionic pilasters, quoining at the entrance, an endwall chimney, a palladian window, the polygonal bay window with tent roof and spandrel, and the belt course over the second story windows. The criterion is met.

2. *Building Height*

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

Response: The tallest roof form will remain, thus maintaining the existing buildings highest elevation. All proposed roofs match the existing roof pitches. The flat roof of the existing east wing of the home, the pediments above windows on the west wing of the home, the flat roof above the two story bay window, and the pediment above the front entry will all be maintained. The criterion is met.

3. *Horizontal Additions*

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

Response: All proposed alterations, including the relationship of windows to walls, remain compatible with the original architectural character, scale, materials, and proportions of the historic residence. The criterion is met.

4. Windows

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.

Response: The window replacements will match the frames and grids of the original windows as closely as possible. The criterion is met.

5. Restoration Possible

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

Response: The proposed alterations and additions shall be constructed in such a manner that the additions and alterations could be removed and restored to its existing condition, thus preserving the essential form and integrity of the original building. The criterion is met.

6. Signs and Lighting

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

Response: There is no proposed signage. The proposed lighting and other appurtenances will be visually compatible with the original character of the building. The criterion is met.

7. Time Period Consistency

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

Response: All proposed alterations and additions are deeply based in the Colonial Revival style. The criterion is met.

8. *Visual Integrity/Style*

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

Response: The distinctive stylistic features on the high preservation priority areas of the home are to be maintained. Any proposed features are of the Colonial Revival Style. The criterion is met.

9. *Replacement or Additional Materials*

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

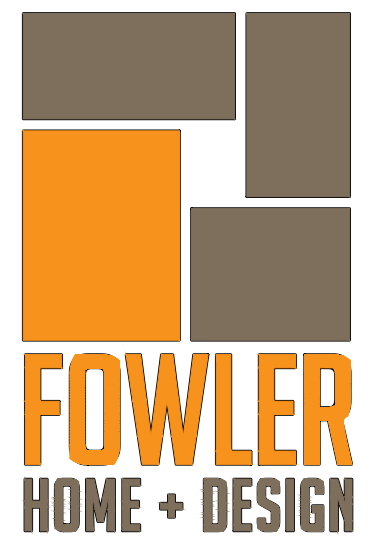
Response: The proposed alterations and additions match the existing materials of the historic residence, such as stucco siding. The criterion is met.

10. *Buffering*

An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

Response: Our current proposal does not include any buffering or screening. However, if required, the buffering or screening will be consistent with requirements from NPS. The criterion is not applicable.

1620 SE WAVERLY DRIVE MILWAUKIE, OR. 97222



- ALL EXCESS GRADING MATERIAL TO BE EXPORTED TO AN APPROVED DISPOSAL LOCATION.
- ALL FILL AREAS 16" UNDER GARAGE FLOORS, SIDEWALKS, DRIVEWAYS, ETC. TO BE COMPACTED GRANULAR FILL.
- THERE WILL BE A SLIGHT OVER EXCAVATION TO PROVIDE CONCRETE FORMING ALL AROUND NEW STRUCTURE.
- PROVIDE COUNTY/CITY APPROVED SEDIMENT FENCING AROUND EXCAVATED AREA PRIOR TO EXCAVATION AND CONSTRUCTION.
- PROVIDE COUNTY/CITY APPROVED STABILIZED GRAVELED CONSTRUCTION ENTRANCE PRIOR TO EXCAVATION AND CONSTRUCTION.
- STOCKPILES MUST BE COVERED WITH MULCH OR PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30.
- CONTRACTOR/SUB-CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO FOWLER HOME DESIGN INC. FOWLER HOME DESIGN INC. WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY ALL SITE CONDITIONS INCLUDING FILL PLACED ON SITE.

- ELEVATION LEGEND:**
- SE+ EXISTING GRADE ELEVATION
 - FE+ FINAL GRADE ELEVATION
 - FE+ FINISHED FLOOR ELEVATION
- PROVIDE A MINIMUM GRAVEL BASE UNDER ALL DRIVEWAY AREAS.
 - PROVIDE A 4" MINIMUM GRAVEL BASE UNDER ALL SIDEWALK AND PATIO AREAS.
 - PIPE ALL STORM DRAINAGE FROM THE BUILDING TO A COUNTY/CITY DISPOSAL POINT/CONNECTION.
 - MAXIMIZE SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
 - PROVIDE AND MAINTAIN FINISH GRADE WITH POSITIVE DRAINAGE AWAY FROM STRUCTURE ON ALL SIDES WITH A SLOPE OF 6" MINIMUM IN 10'-0".

EROSION CONTROL PLAN

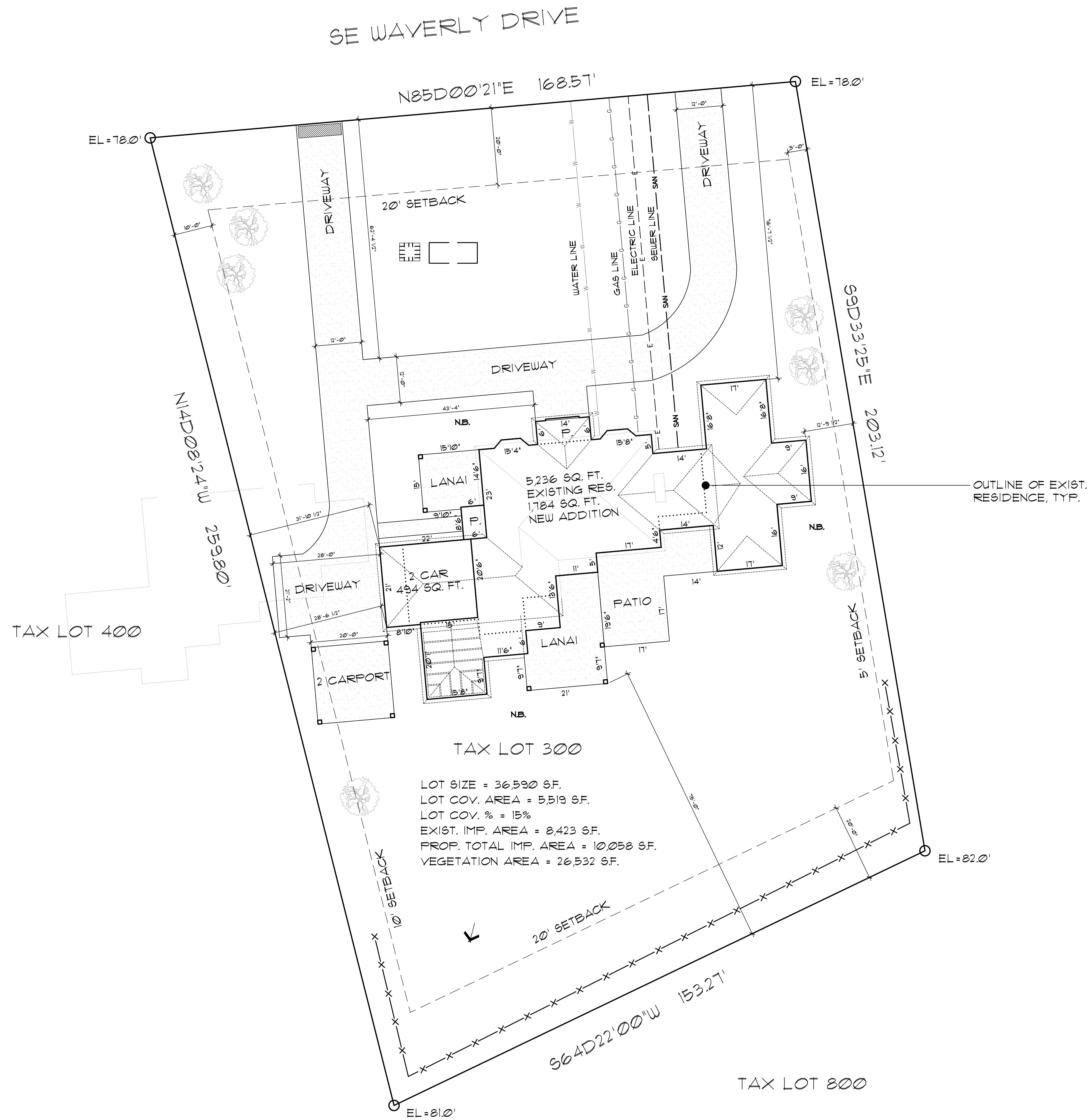
- COVERED STOCKPILES - COVER WITH PLASTIC OCT. 1 - MAY 31.
- SEDIMENT FENCE
- CONSTRUCTION ENTRANCE (ACCESS POINT)
- WORK STAGING/MATERIAL STORAGE
- N.B.** 3" APPROVED COVER ON ALL AREAS OF BARE SOIL, UNTIL PERMANENT LANDSCAPE IS IN PLACE
- NON-WOVEN INLET PROTECTION AT THE FIRST DOWNSTREAM CATCH BASIN
- WOODEN CURB RAMP
- DIRECTION OF STORM-WATER FLOW ON SITE
- NO STOCKPILES ARE TO BE LOCATED IN THE SIDE SETBACK AREAS.



IMPORTANT DISCLOSURE - PLEASE READ:

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD MORE THAN ONE HOME. YOU MUST READ THE WRITTEN CONSENT FROM THE DESIGNER. THIS FOWLER HOME DESIGN INC. COMPROMISED AND A SOLUTION PLAN. FOWLER HOME DESIGN INC. WILL PROSECUTE AND VIOLATION OF ITS COMPROMISED DESIGN AND PLANS. FUNDERSHIP IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE HOME DESCRIBED HEREIN ON ANY APPLICABLE SITE AND WITHIN THE COMPASS OF HIS/HER PROFESSIONAL JUDGMENT. FOWLER HOME DESIGN INC. HAS NO RESPONSIBILITY FOR THE COMPLIANCE OF THIS PLAN TO ANY CODE OR ANY REGULATORY AGENCY.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND UTILITIES, TYP.



TAX LOT 300

LOT SIZE = 36,590 SF.
 LOT COV. AREA = 5,519 SF.
 LOT COV. % = 15%
 EXIST. IMP. AREA = 8,423 SF.
 PROP. TOTAL IMP. AREA = 10,058 SF.
 VEGETATION AREA = 26,532 SF.

THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97222

PLAN No.:
 DRAIN: TF
 DATE: 11/7/2024
 SCALE: 1"=10'-0"
 FILE:

PLOT PLAN

THESE PLANS AND DESIGNS
 HEREIN ARE COPYRIGHTED
 UNDER FEDERAL LAW BY
 TROY FOWLER & FOWLER HOME
 DESIGN LLC 2022

ELEVATION NOTES:

- ROOFING MATERIAL TO BE ARCHITECTURAL COMPOSITION MATERIALS AND 5" STANDING SEAM METAL ROOFING SEE ELEVATION PAGE. ROOF SHINGLES TO BE NAILED PER MANUFACTURED INSTRUCTIONS FOR 80 MPH MINIMUM WIND AREAS.
- ROOF PITCH TO BE SHOWN ON PLANS
- ALL EAVES TO BE NOTED ON PLANS WITH A 5" GALVANIZED FACIA GUTTER ON SPECIFIED FACIA BD. PROVIDE 3" GALVANIZED DOWNGUTS (DS) AS SHOWN ON ROOF FRAMING PLAN.
- SIDING NOTED ON PLANS.
- ALL WINDOW & DOOR TRIM TO BE 5/4 X 4 AT SIDES AND 5/4 X 6 CROWN & SILL.
- SIDING TO BE SPECIFIED ON PLAN. CALK ALL CORNER BOARDS, JOINTS, WINDOWS, DOORS AND SURROUNDS.
- ALL CORNER BOARD TRIM TO BE 2 X 4 PRIMED BD. AS SHOWN ON PLAN.
- COVERED PORCHES AND EAVE SOFFITS TO BE 1/2" EXT. FLYWOOD OR EQUAL TOOL. CALK ALL JOINTS.
- MASONRY VENEER TO BE CULTURED STONE OR EQUAL AS SHOWN ON PLAN. PROVIDE GALVANIZED FLASHING ON A MASONRY SILL CAP OVER VENEER. VERIFY LOCATION AND TYPE OF MASONRY WITH BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE 2 X 10 ROUGH SAWN CEDAR OR EQUAL AT ALL BELLY BANDS WITH A GALVANIZED "Z" FLASHING AT EXPOSED TOP. LOCATIONS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED.
- PROVIDE VENTS AS SHOWN, SHUTTERS AND TRIMS ON ELEVATIONS AS SHOWN ON PLAN.
- PROVIDE VNTL. WINDOWS AS SHOWN ON PLAN.
- EXPOSED CONCRETE WALKS TO BE BROOCHED FINISH AS SHOWN ON PLAN.
- MAXIMUM FOUNDATION EXPOSURE TO BE 18" FROM FINISHED GRADE.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- FINISH GRADE TO BE 1" MAXIMUM SLOPE WITH A 6" MINIMUM IN 10'-0" MINIMUM SLOPE AWAY FROM STRUCTURE ALL AROUND.
- SEE ELEVATIONS FOR ANY ADDITIONAL NOTATIONS THAT MAY BE OF IMPORTANCE.
- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE, UNIFORM BUILDING CODE OF ANY APPLICABLE STATE, COUNTY OR LOCAL JURISDICTION.
- PRIOR TO BEGINNING CONSTRUCTION, THE PLANS AND SPECIFICATIONS SHALL BE APPROVED BY THE LOCAL BUILDING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START AND/OR DURING CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
- BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR IS RESPONSIBLE TO REVIEW SPECIFIC SITE CONDITIONS WITH THE DESIGNER BEFORE CONSTRUCTION.
- VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH, PLUMBING, ELECTRICAL, AND/OR OTHER SUBCONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
- PLUMBING, ELECTRICAL, AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
- ENGINEERED PRODUCTS (ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB.
- SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DEVIATIONS FROM THE ORIGINAL PLANS WITHOUT WRITTEN CONFIRMATION FROM THE DESIGNER.
- ALL DIMENSIONS AND SQUARE FOOTAGE MAY VARY.
- THE TYPE OF EXTERIOR FINISH, THE INSTALLATION, AND THE WATERPROOFING DETAILS ARE TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY OF THE BUILDING ENVELOPE.

DESIGN LOADS:

WIND	100 MPH OR LESS
SEISMIC DESIGN CATEGORY	D2
FROST DEPTH	38 INCHES
ROOF DEAD LOAD	11 PSF
ROOF LIVE LOAD	20 PSF
ROOF SNOW LOAD	25 PSF
FLOOR DEAD LOAD	5 PSF
FLOOR LIVE LOAD	40 PSF
STAIRS	40 PSF
EXTERIOR BALCONIES	60 PSF
DECKS	60 PSF

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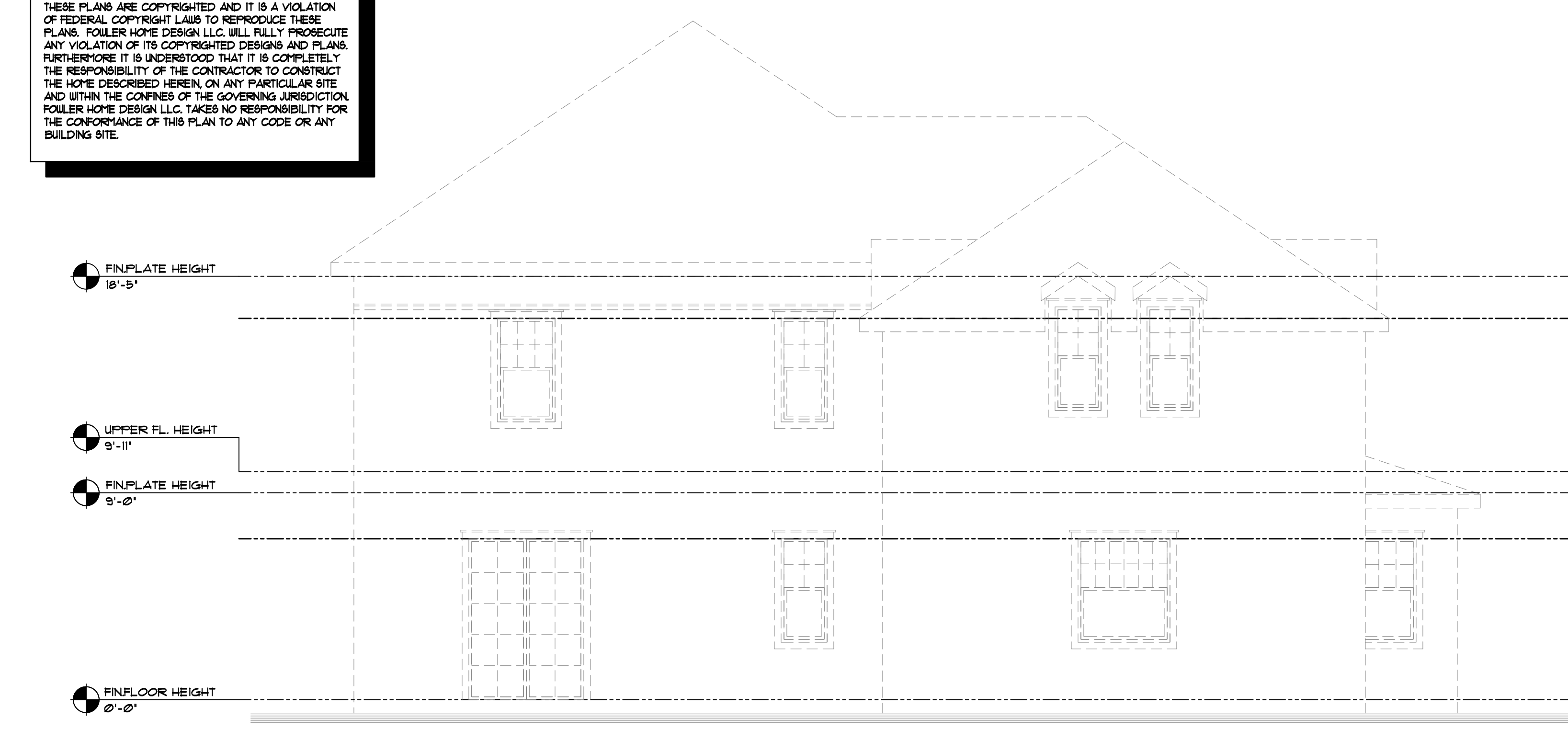
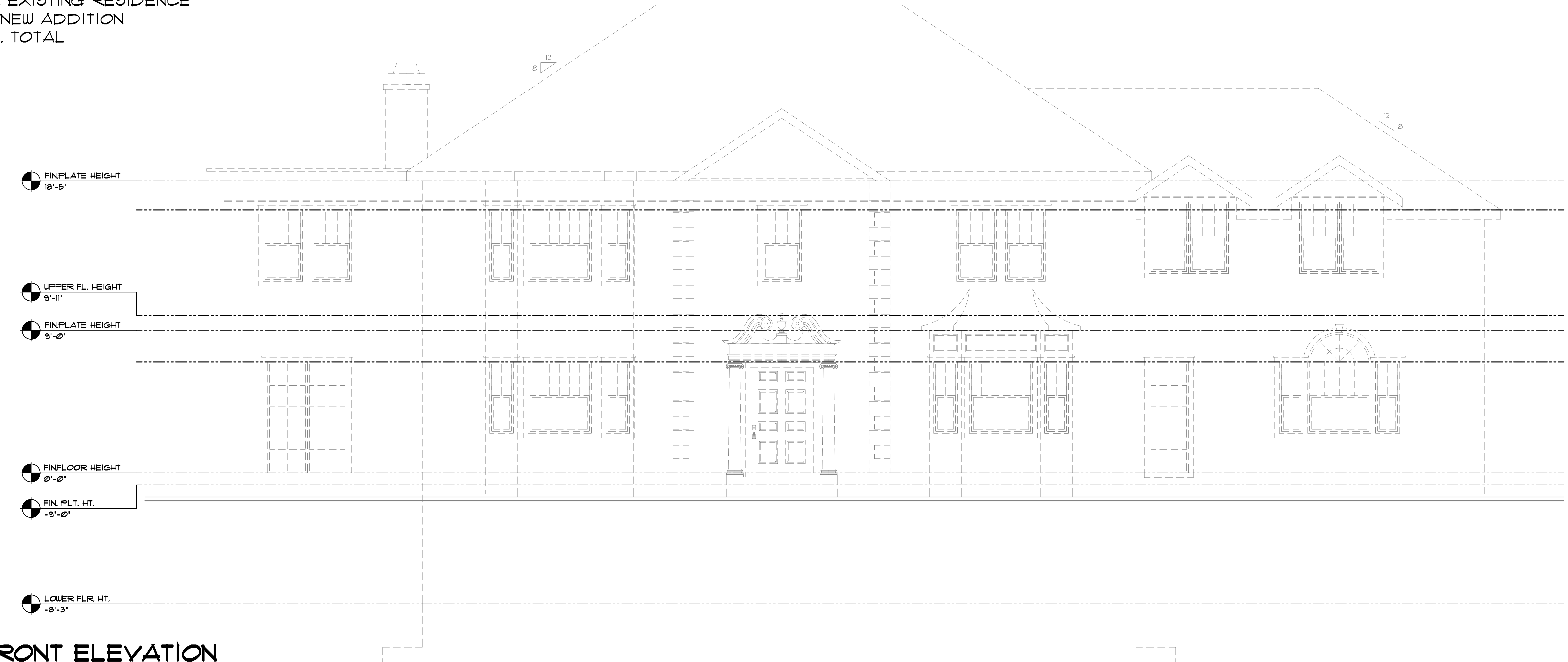
FRONT ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE
1,184 SQ. FT. NEW ADDITION
1,020 SQ. FT. TOTAL

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	NOT USED	-
△	3'-2 1/8"X8'0" PK. MULLED	1
△	4'-2 1/8"X6'0" MULLED PK.-CBMT.-PK.	1
△	2'6"X4'0" CBMT.	1
△	2'6"X6'0" CBMT.	3
△	3'-2 1/8"X8'0" MULLED PK.-CBMT.-PK.	1
△	2'6"X8'0" CBMT.	5
△	3'-2 1/8"X6'0" MULLED PK.-CBMT.-PK.	1
△	2'-2 1/8"X8'0" CBMT. MULLED	1
△	2'6"X6'0" CBMT.	7
△	2'-2 1/8"X6'0" CBMT. MULLED	1
△	2'6"X8'0" PK.	8
△	3'-2 1/8"X3'4" MULLED PK.-CBMT.-PK.	1
△	2'-2 1/8"X3'8" CBMT. MULLED	1
△	3'-2 1/8"X3'8" MULLED PK.-CBMT.-PK.	1
△	4'0"X3'0" PK.	3
△	4'-2 1/8"X4'0" MULLED PK.-CBMT.-CBMT.-PK.	1

NOTES:
- ALL WINDOWS TO HAVE GRIDS UNO.
- CONTRACTOR TO CONFIRM ALL WINDOW SIZES AND QUANTITIES

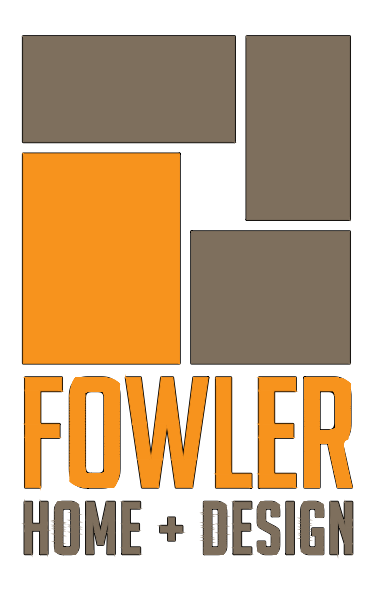
EXIST. FRONT ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE



EXIST. RIGHT SIDE ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE



RIGHT SIDE ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE
1,184 SQ. FT. NEW ADDITION
1,020 SQ. FT. TOTAL



THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No.:
DRAWN: TF
DATE: 11/6/2024
SCALE: 1/4"=1'-0"
FILE:

EXTERIOR ELEVATION

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CONTRACTOR TO SELECT 1 OPTION

(ORIG. 2021 TABLE NUMBER)

1	HIGH EFFICIENCY HVAC SYSTEM: GAS-FIRED FURNACE OR BOILER WITH MINIMUM ARIE OF 94% OR AIR-SOURCE HEAT PUMP (AHP) OF 10.0 TO 14.0 SEER COOLING, OR GROUND-SOURCE HEAT PUMP COP OF 3.5, OR ENERGY STAR RATED.
2	HIGH EFFICIENCY WATER HEATING SYSTEM: NATURAL GAS PROPANE WATER HEATER WITH MIN. UEF OF 0.95 OR ELECTRIC HEAT PUMP WATER HEATER WITH MIN. COP OF 3.0 OR NATURAL GAS PROPANE TANKLESS INSTANTANEOUS WATER HEATER WITH MIN. UEF OF 0.95 AND ENERGY STAR RATED WATER HEAT RECOVERY UNIT INSTALLED ON MIN. OF ONE BATH/2.5-BATH.
3	WALL INSULATION UPGRADE: EXTERIOR WALLS U-0.045/R-21 CONVENTIONAL FRAMING WITH R-9.0 CONTINUOUS INSULATION.
4	ADVANCED ENVELOPE: CEILING U-0.055 (AREA WEIGHTED AVERAGE) AND FLAT CEILING U-0.051/R-4.6 AND FINISHED FLOORS U-0.026/R-3.0 OR SLAB EDGE INSULATION TO R-24.0 OR LESS (R-10 FOR 4" R-10 FOR 3" OR R-9 FULLY INSULATED SLAB).
5	DUCTLESS HEAT PUMP: FOR DWELLING UNITS WITH ALL-ELECTRIC HEAT PROVIDE DUCTLESS HEAT PUMP OF FIN. EFF. IN PRIMARY ZONE REPLACES ZONAL ELECTRIC HEAT SOURCES, AND PROGRAMMABLE THERMOSTAT FOR ALL HEATERS IN BEDROOMS.
6	HIGH EFFICIENCY THERMAL ENVELOPE UA: PROPOSED UA IS 8% LOWER THAN THE CODE UA.
7	GLAZING AREA: GLAZING AREA, TREATED AS THE TOTAL OF FRAMED OPENINGS IS LESS THAN 2% OF CONDITIONED FLOOR AREA.
8	3 ACH AIR LEAKAGE CONTROL, 4 EFFICIENT VENTILATION: ACHIEVE A MAX. OF 30 ACH50 SHOWER-HOUSE AIR LEAKAGE WHEN THIRD-PARTY TESTED AND PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM INCLUDING HEAT RECOVERY WITH A TYPICAL REMOTE HEAT RECOVERY EFFICIENCY OF NOT LESS THAN 66%.

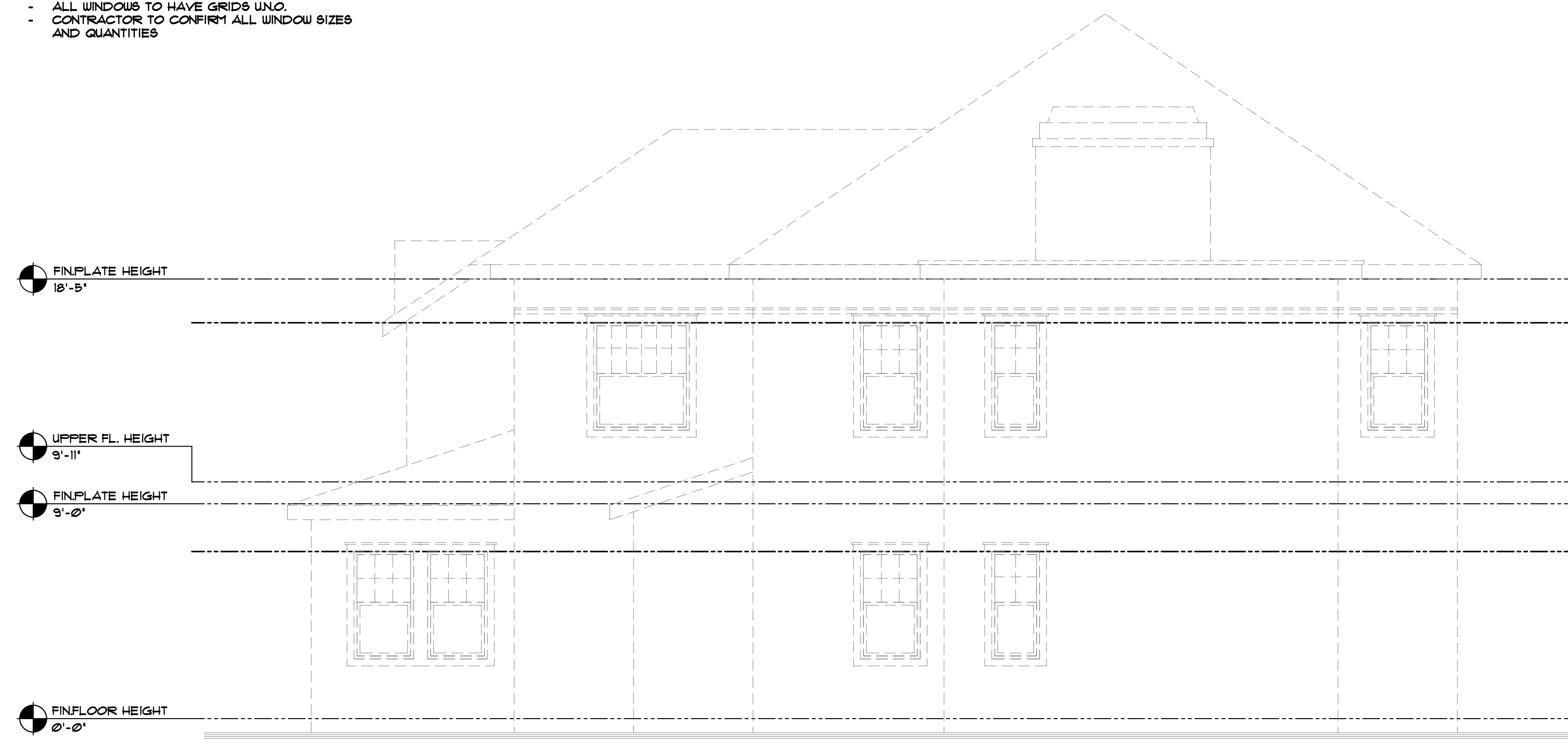
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THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONCE WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER TROY FOWLER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAW TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL FULLY PROTECT ANY VIOLATION OF ITS COPYRIGHTED DESIGNS AND PLANS. FURTHERMORE IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE HOME DESCRIBED HEREIN ON ANY PARTICULAR SITE AND WITHIN THE CONVEY OF THE GOVERNING JURISDICTION. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE PERFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	NOT USED	-
△	3'-2 1/8"X6'0" FX. MULLED	1
△	4'-2 1/8"X6'0" MULLED FX-C8MT-C8MT-FX	1
△	2'6"X4'0" C8MT.	1
△	2'6"X6'0" C8MT.	3
△	3'-2 1/8"X6'0" MULLED FX-C8MT-FX	1
△	2'6"X6'0" C8MT.	5
△	3'-2 1/8"X6'0" MULLED FX-C8MT-FX	1
△	2'-2 1/8"X6'0" C8MT. MULLED	1
△	2'6"X6'0" C8MT.	7
△	2'-2 1/8"X6'0" C8MT. MULLED	1
△	2'6"X6'0" FX	8
△	3'-2 1/8"X3'4" MULLED FX-C8MT-FX	1
△	2'-2 1/8"X3'6" C8MT. MULLED	1
△	3'-2 1/8"X3'6" MULLED FX-C8MT-FX	1
△	4'0"X5'0" FX	3
△	4'-2 1/8"X4'0" MULLED FX-C8MT-C8MT-FX	1

NOTES:
1. ALL WINDOWS TO HAVE GRIDS UNL.
2. CONTRACTOR TO CONFIRM ALL WINDOW SIZES AND QUANTITIES.



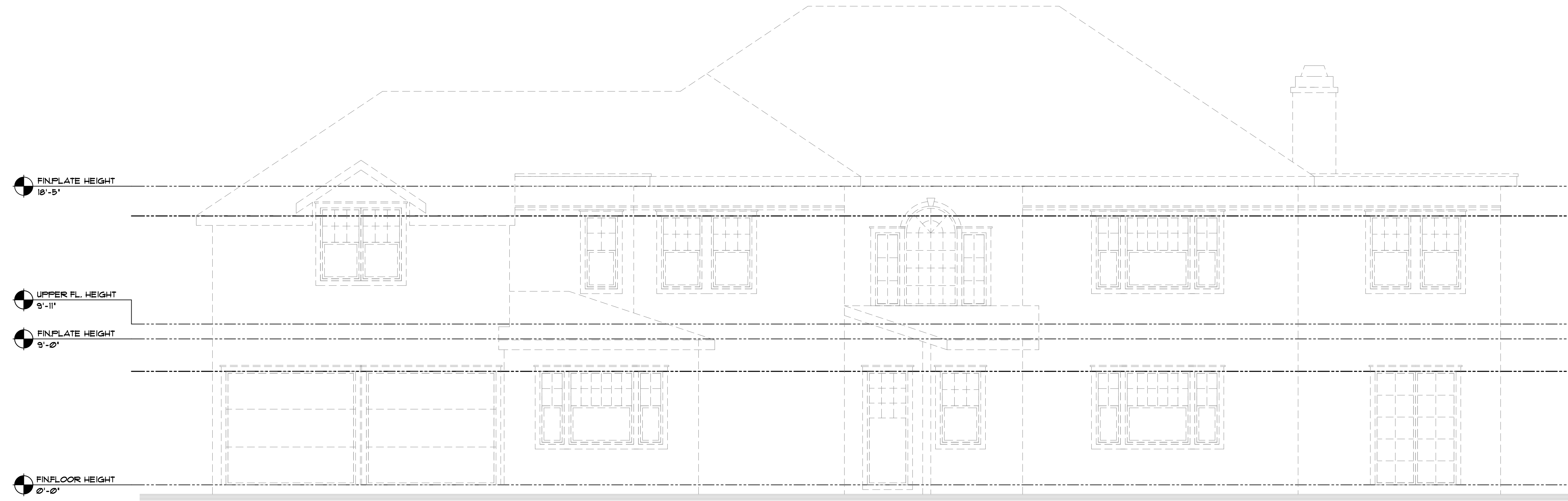
EXIST. LEFT SIDE ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE



REAR ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL



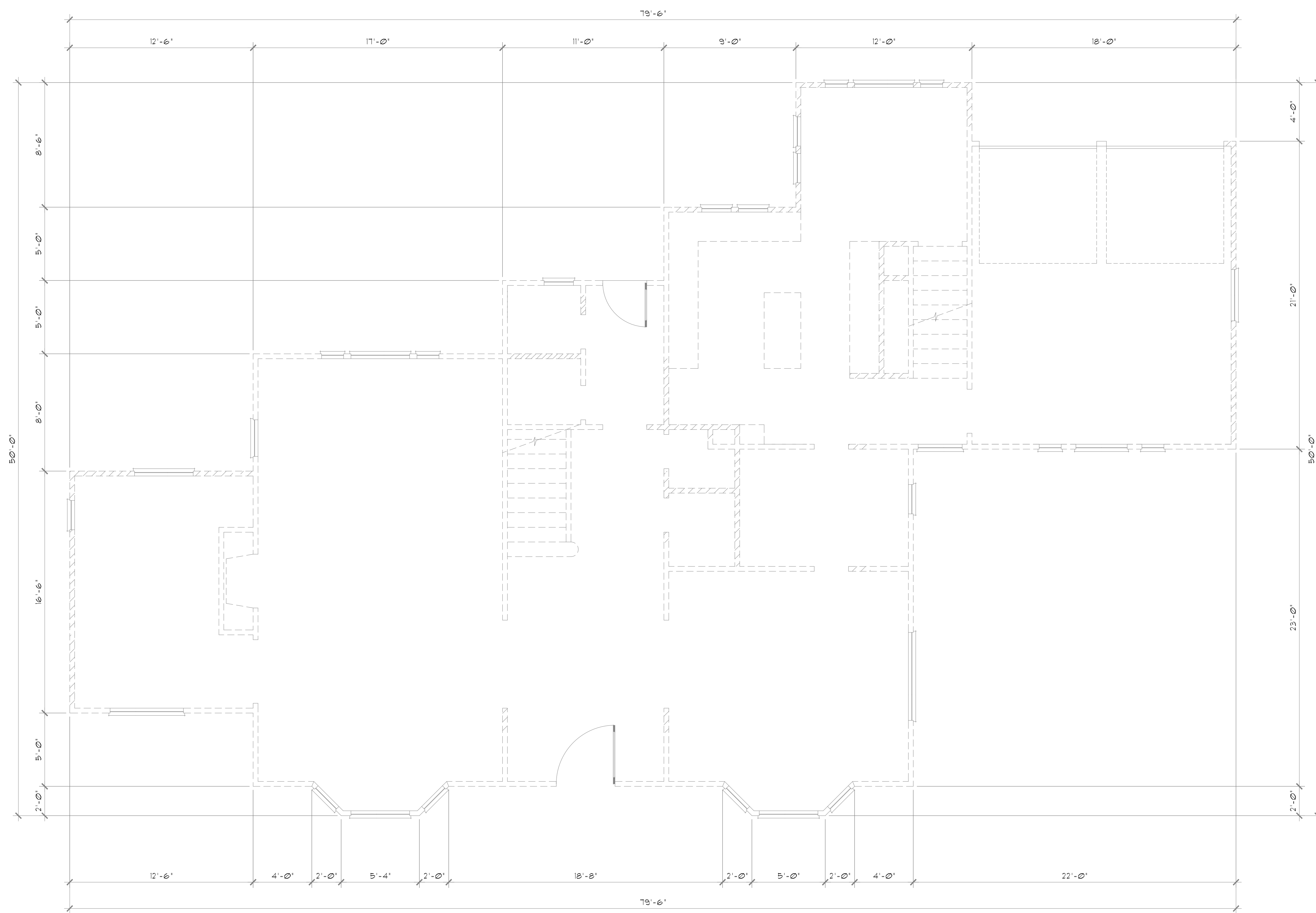
EXIST. REAR ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE

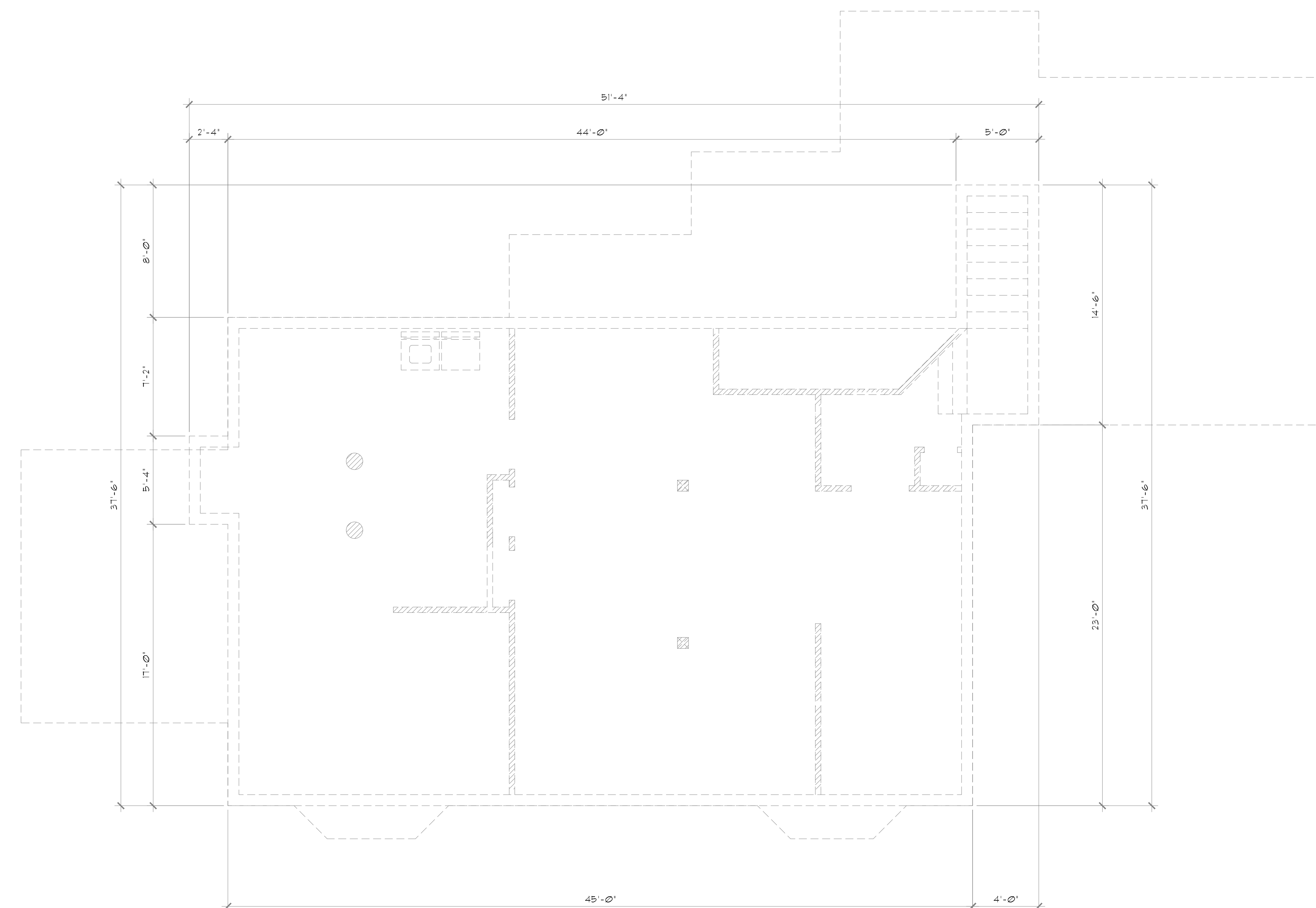


LEFT SIDE ELEVATION

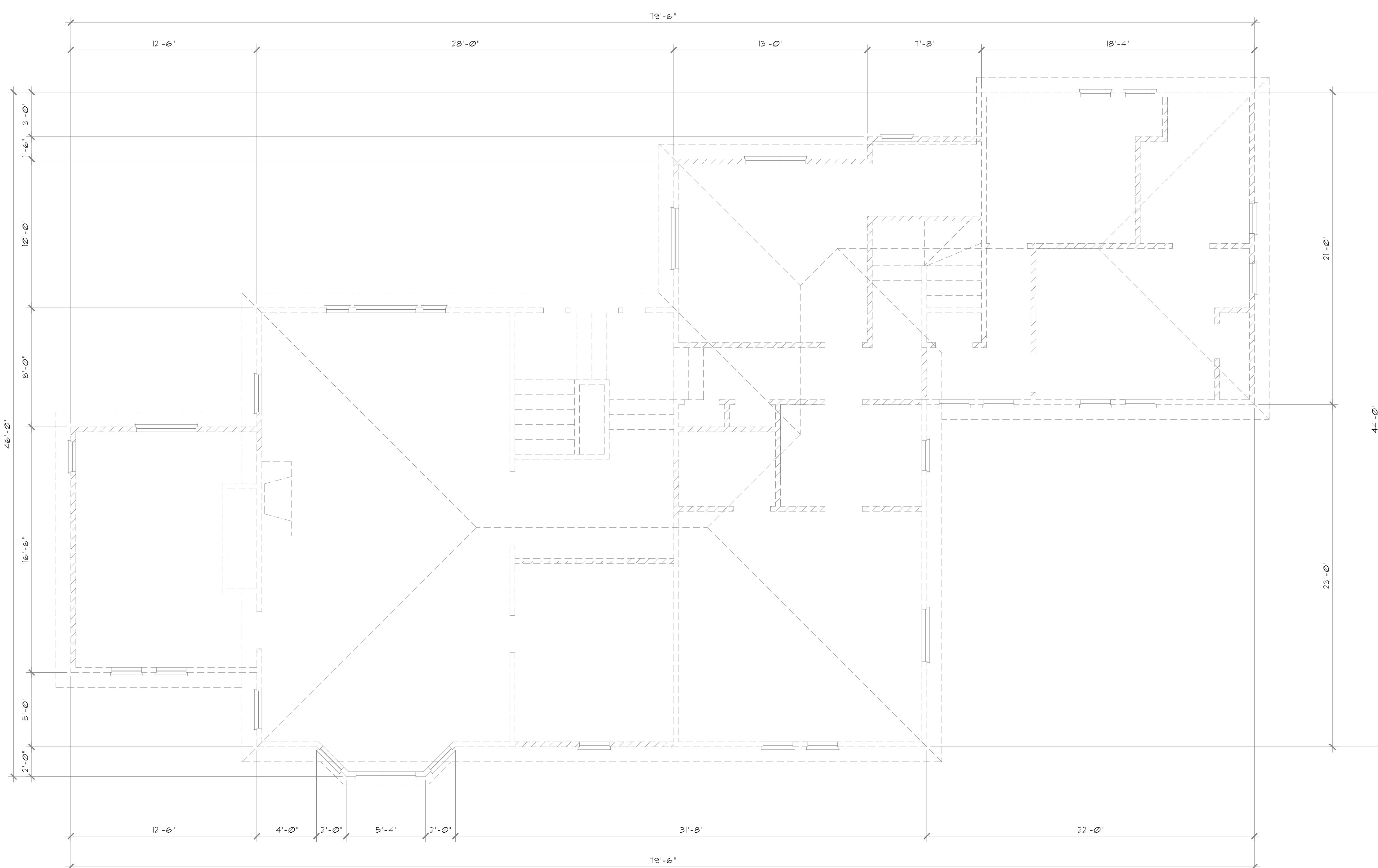
5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL



EXIST. MAIN FLOOR PLAN
1,956 SQ. FT. EXISTING 1/4"=1'-0"



EXIST. LOWER FLOOR PLAN
1,226 SQ. FT. EXISTING 1/4"=1'-0"



EXIST. UPPER FLOOR PLAN
2,054 SQ. FT. EXISTING 1/4"=1'-0"

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WALL LEGEND

	- NEW (N) 2x WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97222

PLAN No: _____
DRAWN: _____ TF
DATE: 4/20/2024
SCALE: 1/4"=1'-0"
FILE: _____

EXISTING FLOOR PLANS

3

THESE PLANS AND DESIGNS HEREIN ARE COPYRIGHTED UNDER FEDERAL LAW BY TROY FOWLER & FOWLER HOME DESIGN LLC 2022

FLOOR PLAN FRAMING NOTES:

- ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE 4 X 10 DF-L NO. 2 UNLESS OTHERWISE NOTED. (UCON)
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS @ 16" O.C. AND INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" O.C. FOUNDATION FOOT WALLS SHALL BE FRAMED OF 2 X 6 STUDS.
- STANDARD STUD HEIGHT FOR UPPER FLOOR TO BE 9'-0" CEILING HEIGHT.
- STANDARD STUD HEIGHT FOR MAIN FLOOR TO BE 9'-0" CEILING HEIGHT.
- WINDOW AND DOOR HEADER HEIGHTS TO BE 8'-0" @ UPPER FLOOR AND 8'-0" @ LOWER FLOOR UNLESS OTHERWISE NOTED. DOOR OPENINGS AND OTHER OPENING TO BE ALIGNED WITH WINDOW HEIGHTS UNLESS OTHERWISE NOTED.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- PROVIDE POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES. OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1/2 MIN. BEARING, U. ON.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER 2021 IBC SECTION 602.8.
- BLOCK ALL STUD WALLS AT SHEATHING SPLICES OR AS REQUIRED.
- INTERIOR PASSAGE DOORS TO HAVE A MINIMUM OF (2) 2 X TRIMMERS EACH SIDE OF DOOR AND TO BE CENTERED IN WALLS.
- ALL HOLDINGS, JOIST HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE SIMPSON OR EQUAL.
- ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF THE SAME DIMENSION AS THE WALL FRAMING. PLATES SHALL OVERLAP A MINIMUM OF 48" BETWEEN SPLICES WITH AT LEAST (8) 16D NAILS THROUGH BOTH PLATES OF SPLICE.
- DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLLUMS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IN ANY SUCH SITUATIONS ARISE.
- THIS STRUCTURE TO BE ADEQUATELY BRACED FOR WIND AND GRAVITY LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

LUMBER SPECIES AND GRADING:

- A. POSTS, BEAMS, HEADERS
 - B. FLOOR JOISTS, CEILING JOISTS, RAFTERS
 - C. SILL, PLATES, BLOCKING, BRIDGING
 - D. STUDS
 - E. STUDS OVER 12" HIGH
 - F. FLOOR DECKING
 - G. WALL, ROOF SHEATHING
 - H. GULI-LAM BEAMS
 - I. PATALLEL STRAND LUMBER (PSL) MATERIALS
 - J. LAMINATED VENEER LUMBER (LVL) MATERIALS
- DF-L NO. 2
DF-L NO. 3
DF-L STUD GRADE
DF-L NO. 1
DF-L UTILITY GRADE
CDX EXT. APA RATED PLY OR OSB 3/4" THICK
FB-2400 DRY ADH. INTERIOR (EXT. ADH. AT EXT. COND.)
FB-3000 E-10 FV-230 UNLESS OTHERWISE NOTED.
FB-2600 E-10 FV-205 UNLESS OTHERWISE NOTED.

NAILING SCHEDULE:

REFER TO IBC 2021 TABLE R6-03.3(1)

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	NOT USED	-
△	3'-2 1/8" x 6' 0" PK. MULLED	1
△	4'-2 1/8" x 6' 0" MULLED PK-CBMT-CBMT-PK	1
△	2'-6" x 6' 0" CBMT.	3
△	3'-2 1/8" x 6' 0" MULLED PK-CBMT-PK	1
△	2'-6" x 6' 0" CBMT.	5
△	3'-2 1/8" x 6' 0" MULLED PK-CBMT-PK	1
△	2'-6" x 6' 0" CBMT. MULLED	1
△	2'-6" x 6' 0" CBMT.	7
△	2'-2 1/8" x 6' 0" CBMT. MULLED	1
△	2'-6" x 6' 0" PK.	8
△	3'-2 1/8" x 3/4" MULLED PK-CBMT-PK	1
△	2'-2 1/8" x 3/8" CBMT. MULLED	1
△	3'-2 1/8" x 3/8" MULLED PK-CBMT-PK	1
△	4'-0" x 6' 0" PK.	3
△	4'-2 1/8" x 6' 0" MULLED PK-CBMT-CBMT-PK	1

NOTES:
- ALL WINDOWS TO HAVE GRID LINES.
- CONTRACTOR TO CONFIRM ALL WINDOW SIZES AND QUANTITIES.

IMPORTANT DISCLOSURE - PLEASE READ:

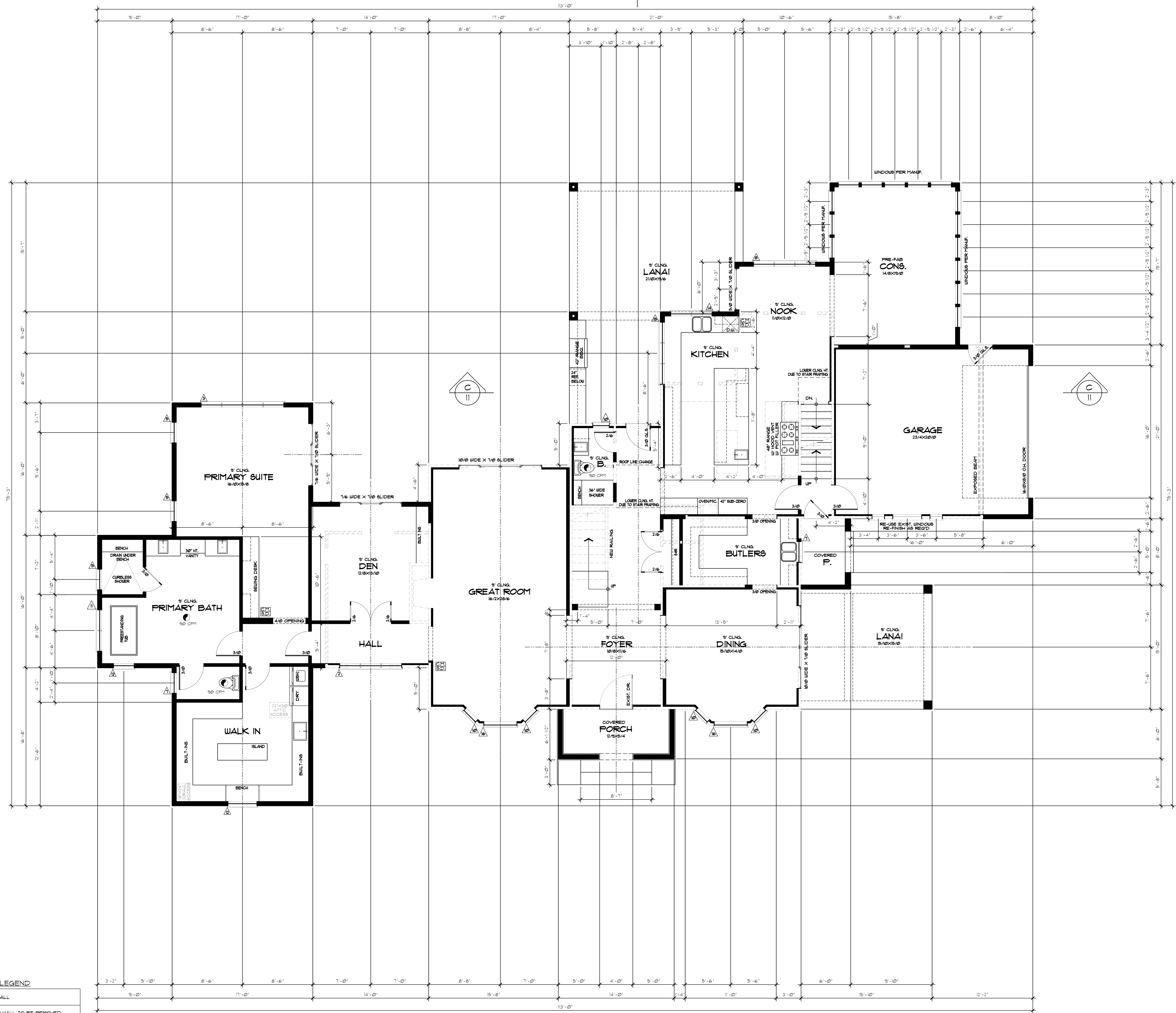
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WALL LEGEND

	- NEW (N) 2x WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

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MAIN FLOOR PLAN
1,956 SQ. FT. EXISTING
3,086 SQ. FT. LOWER TOTAL
306 SQ. FT. CONSERVATORY
1,130 SQ. FT. NEW ADDITION

1/4" = 1'-0"

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No:
DATE: 11/6/2024
SCALE: 1/4" = 1'-0"
FILE:

MAIN FLOOR

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FLOOR PLAN FRAMING NOTES CONT.:

INSULATION:

1. USE PATH 1 OF 2021 OR 2015 ENERGY CODE AND THE FOLLOWING INSULATION VALUES TABLE N100(1)

ENERGY COMPLIANCE	PATH 1
WALL INSULATION	R-21/R-23
WALL INSULATION BELOW GRADE	R-15/R-21
FLAT CEILINGS	R-49
VAULTED CEILINGS	R-30
UNDERFLOORS	R-30
SLAB EDGE PERIMETER	R-15
HEATED SLAB INTERIOR	R-10
WINDOWS	U-0.27
WINDOW AREA LIMITATION	N/A
SKYLIGHTS	U-0.50
EXTERIOR DOORS	U-0.20
EXTERIOR DOORS W/ >2.5 FT. GLAZING	U-0.40
FORCED AIR DUCT	R - 8

2. INSULATION:
 R-49 ROOF (FLAT CEILING)
 R-30 ROOF (VAULT CEILING)
 R-30 FLOORS OVER UNHEATED SPACES
 R-23 EXTERIOR WALLS
 R-5/GI BASEMENT WALLS (INTERIOR OR EXTERIOR)
 R-5 (RIGID) CONCRETE FLOOR SLAB EDGES AT PERIMETER UNDER HEATED AREAS
 R-8 EXPOSED FURNACE DUCTS IN UNHEATED AREAS

3. GLAZING/DOORS:
 NO LIMITS WINDOW AREA LIMIT
 U-35 WINDOW GLASS
 U-54 ENTRY DOOR GLASS (24 SQ. FT. MAX.)
 U-40 FULL LIGHT GLASS DOOR GLASS
 U-10 OTHER DOORS (50% MAX. GLAZING)
 U-60 SKYLIGHT GLASS (2% MAX. OF HEATED SPACE)

4. ALL AIR INFILTRATIONS IN THE EXTERIOR ENVELOPE SHALL BE SEALED INCLUDING WINDOW AND DOOR FRAMES, WALLS, FOUNDATIONS, VENTING AND UTILITY PENETRATIONS. ACCESS DOORS TO CRAWL SPACE AND ATTIC AREAS TO HAVE THE SAME EQUIVALENT RATINGS OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.

5. PROVIDE AN APPROVED INSULATION VAPOR BARRIER WITH A ONE PERY DRY CUP RATINGS OR LESS AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION.

6. INSULATE ALL ACCESS DOOR/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATINGS OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.

7. ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATINGS NOT TO EXCEED 25. A SMOKE-DEVELOPED FACTOR NOT TO EXCEED 450 AND CRITICAL RADIANT FLUX NOT LESS THAN 0.2 WATTS PER SQUARE CENTIMETER.

MISCELLANEOUS:

1. EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE WIDTH OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THAN 44 IN. ABOVE FINISHED FLOOR.

2. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH LEATHER STRIPPING. PROVIDE 1/2" DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE PEEP HOLES # 54-64" ABOVE FINISHED EXT. DOOR FLOOR.

3. WINDOW MUST MEET THE U-VALUE OR CLASS REQUIREMENT FOR THE APPROPRIATE ENERGY PATH AND BE LABELED ACCORDINGLY. SITE BUILT WINDOWS MAY BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN 2021 ORSC, SEC N104.

4. WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 18 INCHES OF THE FLOOR, WITHIN A 24 INCH ARCH OF ANY DOOR IN A CLOSED POSITION. GLAZING USED IN RAILINGS, GLAZING IN FIXED OR SLIDING DOORS, WHERE THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHTUBS, WHIRLPOOLS, AND/OR SHOWERS.

5. SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE UNLESS PLEXIGLASS. GLASS TO HAVE A MAXIMUM CLEAR SPAN OF 25 INCHES. SKYLITE FRAME IS TO BE ATTACHED TO A 2 X CURB AND TO BE 4 INCHES MINIMUM ABOVE ROOF PLANE. MIN 25.55 PSF SNOW LOAD ADDITIONAL.

6. ALL TUB AND SHOWER ENCLOSURE DOORS TO BE GLAZED WITH SAFETY GLASS.

7. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED DIRECTLY TO THE OUTSIDE VIA METAL DUCTING WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR (90 CFM MIN). DRYER AND RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. VENTS TO BE PROVIDED WITH BACK-DRAFT DAMPERS.

8. SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE THE IMMEDIATE VICINITY OF EACH BEDROOM AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED TO MAIN POWER SOURCE AS THE PRIMARY POWER AND BATTERY BACKUP AS SECONDARY POWER. ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL BEDROOMS.

9. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE GFCI PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

10. RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY INSULATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (IC LABEL) FOR DIRECT CONTACT WITH INSULATION.

11. ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.

12. USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILINGS AND UNDER STAIRS. USE 5/8" TYPE X GYPSUM BD. ON WALLS AND CEILINGS BETWEEN GARAGE AND LIVING AREAS. PROVIDE 1/2" WATERPROOF GYPSUM BD. ABOVE ALL SHOWER AND TUB/SHOWER AND TUB/SHOWER UNITS AND IN ANY WATER SPLASH AREAS.

13. ALL FIREPLACE OPENINGS SHALL HAVE TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR VENTS (WITH SCREENS AND BACK DAMPERS) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH OPEN FLAME.

14. APPLIANCES PRODUCING A SPARK, GLOW OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL NOT BE INSTALLED IN A GARAGE UNLESS THE PILOTS, BURNERS, HEATING ELEMENTS OR SWITCHES ARE AT LEAST 18 INCHES ABOVE THE FLOOR.

15. PROVIDE 80% MIN EFFICIENT NATURAL GAS FURNACE WITH BACKDRAFT DAMPER AND NATURAL GAS HOT WATER HEATER WITH BACKDRAFT DAMPER. PROVIDE R-4 INSULATION AROUND HOT WATER LINES IN UNHEATED AREAS. ELEVATE FLAME IN UNITS 8" ABOVE FINISH FLOOR.

16. ALL WINDOW HDRS TO BE 4 X 10 UNO.

17. FRONT PORCH TO BE CONCRETE SLAB, UNO.

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WALL LEGEND

	NEW (N) WALL
	EXISTING (E) WALL TO BE REMOVED
	(E) WALL TO REMAIN

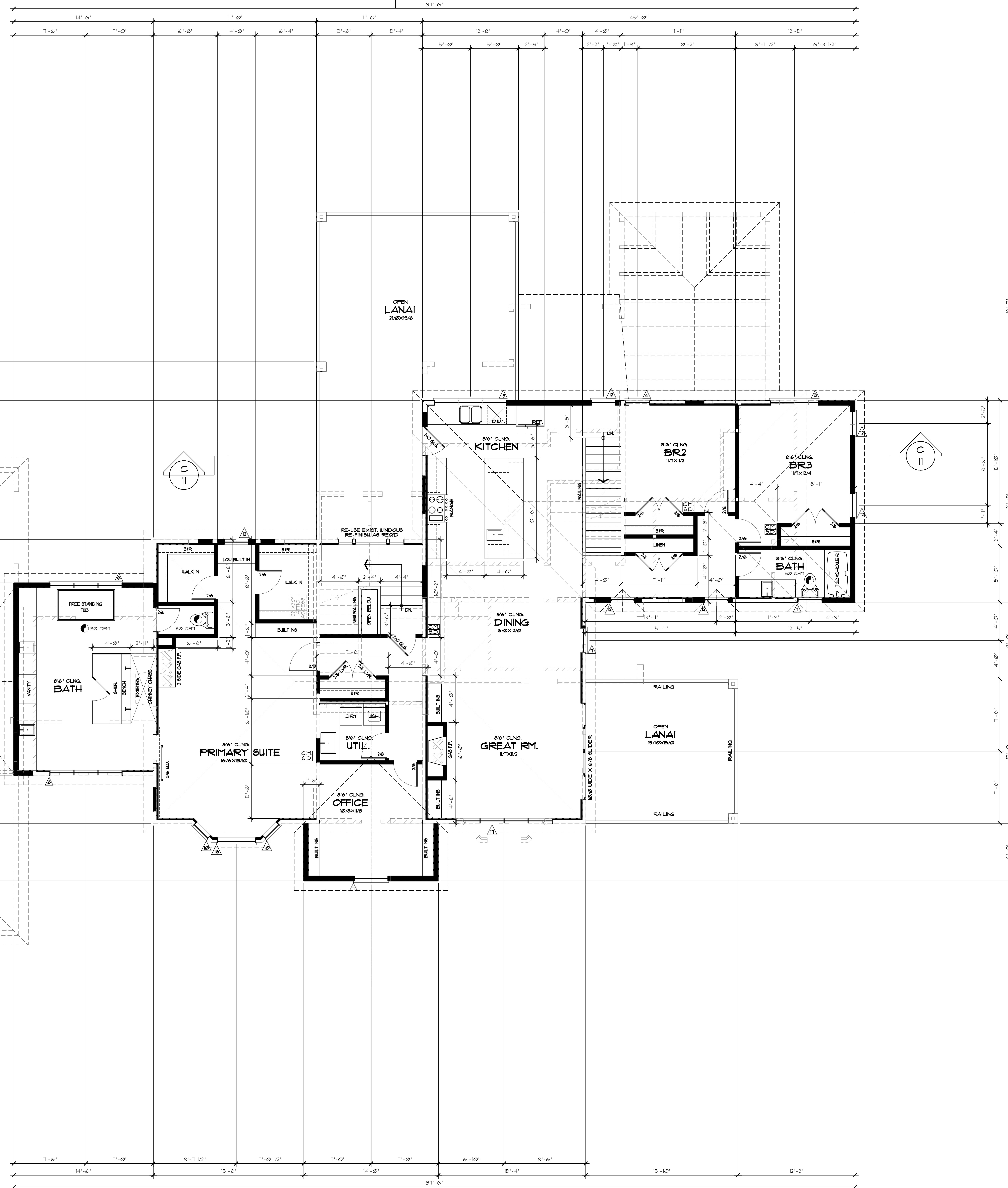
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WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	NOT USED	-
△	3-2/8x8/0 PXL MILLED	1
△	4-2/8x8/0 MILLED FX-CBMT-FX	1
△	2/8x4/0 CBMT.	1
△	2/8x8/0 CBMT.	3
△	3-2/8x8/0 MILLED FX-CBMT-FX	1
△	2/8x8/0 CBMT.	5
△	3-2/8x8/0 MILLED FX-CBMT-FX	1
△	2-2/8x8/0 CBMT. MILLED	1
△	2/8x8/0 CBMT.	1
△	2-2/8x8/0 CBMT. MILLED	1
△	2/8x8/0 FX	8
△	3-2/8x8/0 MILLED FX-CBMT-FX	1
△	2-2/8x8/0 CBMT. MILLED	1
△	3-2/8x8/0 MILLED FX-CBMT-FX	1
△	4/8x8/0 FX	3
△	4-2/8x8/0 MILLED FX-CBMT-FX	1

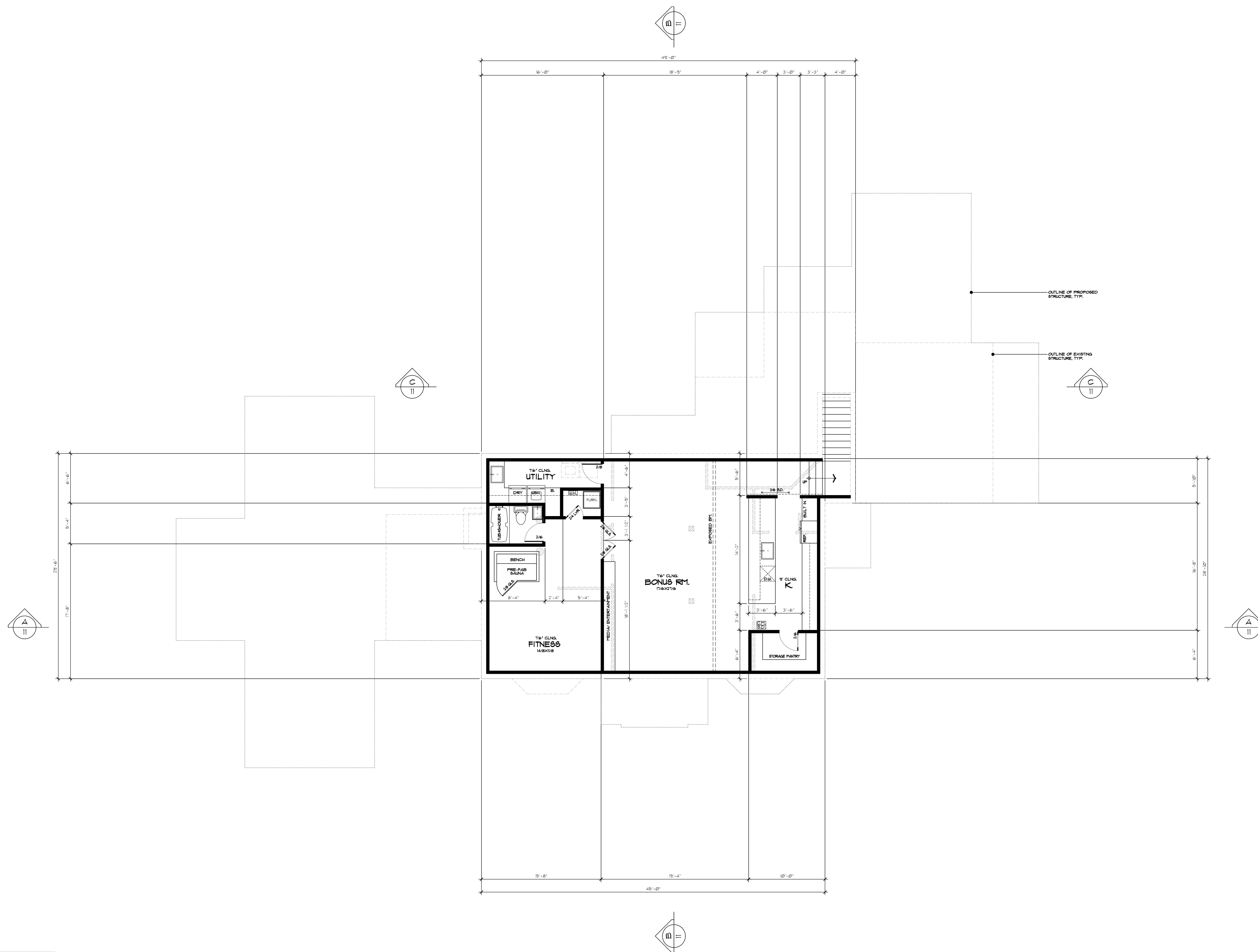
NOTES:
 ALL WINDOWS TO HAVE GRIDS UNO.
 CONTRACTOR TO CONFIRM ALL WINDOW SIZES AND PLACEMENTS.



UPPER FLOOR PLAN

2,054 SQ. FT. EXISTING
 2,402 SQ. FT. UPPER TOTAL
 348 SQ. FT. NEW ADDITION

1/4" = 1'-0"



THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No:
DATE: 11/6/2024
SCALE: 1/4" = 1'-0"
FILE:

LOWER FLOOR

6

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HEREIN ARE COPYRIGHTED
UNDER FEDERAL LAW BY
TROY FOWLER & FOWLER HOME
DESIGN LLC 2024

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- PLEASE READ:
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WALL LEGEND

	• NEW (N) 2x WALL
	• EXISTING (E) WALL TO BE REMOVED
	• (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

LOWER FLOOR PLAN
1226 SQ. FT. EXISTING

1/4" = 1'-0"

FOUNDATION NOTES:

- FOUNDATION FOOTINGS, CONT. FOOTING UNDER PONYWALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 18" BELOW FINAL GRADE. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
- ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
- EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
- CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY WALLED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE:
 - BASEMENT AND FOUNDATIONS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE
 - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER
 - PORCHES, STEPS, GARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINED.
- ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
- ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
- ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
- ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4" #2) COMPACTED TO 95% MINIMUM.
- CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 8 FT. MAXIMUM INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. O.C. MINIMUM.
- PROVIDE (5) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 18" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 3/4" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL AREA REQUIRED).
- PROVIDE 1/2" DIA. X 10' ANCHOR BOLTS A307 GRADE # 6 - 10' O.C. UNDO. ON PRESSURE TREATED DP NO. 5 MUD SILLS. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 12" MINIMUM FROM SILL SPLICES. PROVIDE FOAM INSUL. BTUNBULL FL. 4 FOUND. WALL.
- REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLDDOWS.
- REBAR SCHEDULE:
 - REBAR TO BE LOCATED AT HOLDDOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
 - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED:
 - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS 4' CLEAR BOTTOM.
 - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BARS.
- REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-615 GRADE 60. WELDED WIRE MESH TO BE A-188.
- REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
- ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM UNDO.
- 'SITE' ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
- EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEY WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
- GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2' SLOPE (10' PER FT. MIN) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10FT. O.C. EA. WAY.
- PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER N. 4" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS). SEE DET. B/D).
- PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLENUM. VERIFY SIZE AND PLACEMENT WITH BUILDER/ AND OR SUBCONTRACTORS PRIOR TO INSTALL.
- PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/ SUBCONTRACTOR.
- PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL. BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN SYSTEM.
- COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MUD SILLS. LAP SEAMS 12" MIN.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 55# ASPHALT SHINGLE.
- ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE 'SIMPSON' OR EQUAL.
- PROVIDE A 24" X 30" CRAWL ACCESS (18"x24" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
- FLOOR CONSTRUCTION TO BE:
 - 1 1/8" DECKING OR EQUAL ON I-JOISTS PER MANUF.
 - ON 2x6 PONYWALLS OVER 8x8 CONTINUOUS FOOTINGS

FOOTING SCHEDULE

FTNG.	LOAD LBS	FOOTING SIZE	REBAR
F1	3,300*	18"x18"x10"	(2) #4 E/W
F2	6,000*	24"x24"x10"	(2) #4 E/W
F3	9,300*	30"x30"x10"	(3) #4 E/W
F4	13,500*	36"x36"x12"	(3) #4 E/W
F5	18,300*	42"x42"x12"	(4) #4 E/W
F6	24,000*	48"x48"x12"	(4) #4 E/W
F7	28,000*	52"x52"x12"	(5) #4 E/W
F8	40,000*	64"x64"x14"	(5) #4 E/W
F9	50,000*	72"x72"x16"	(6) #4 E/W

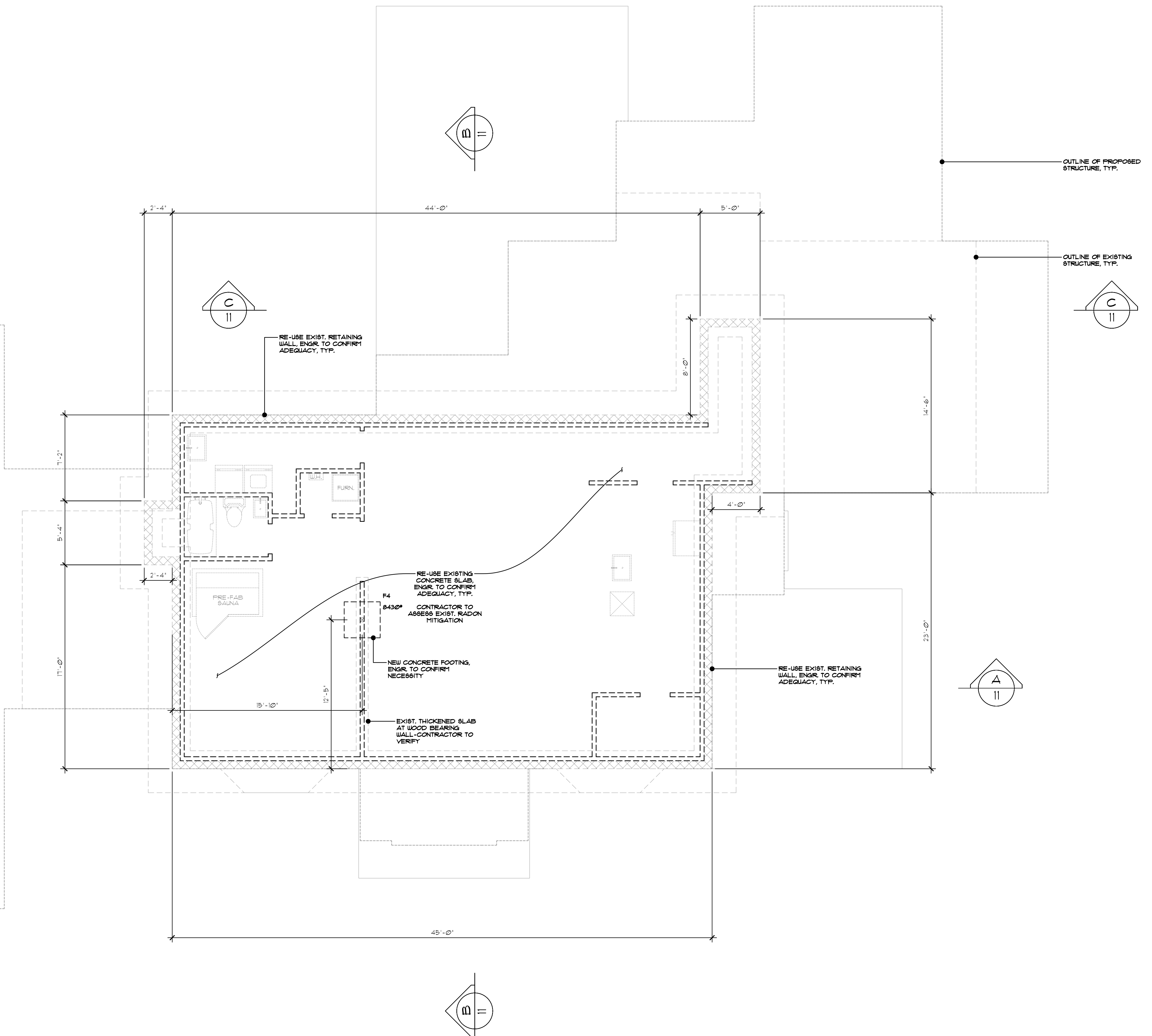
TOP OF ALL HOLD DOWN BOLTS MUST EXTEND ABOVE BRACKETS AND NUTS (APPROX. 8" ABOVE TOP OF INCH WALL)

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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97122

PLAN No.:
 DRAIN: TF
 DATE: 11/7/2024
 SCALE: 1/4" = 1'-0"
 FILE:

FOUNDATION PLAN

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 HEREIN ARE COPYRIGHTED
 UNDER FEDERAL LAW BY
 TROY FOWLER & FOWLER HOME
 DESIGN LLC 2022

FOUNDATION NOTES:

- FOUNDATION FOOTINGS, CONT. FOOTINGS UNDER FOOTING WALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 8" BELOW FINAL GRADE. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
- ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
- EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
- CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY NAILED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE:
 - BASEMENT AND FOUNDATIONS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER.
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE.
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE.
 - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER.
 - PORCHES, STEPS, CARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINED.
- ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
- ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
- ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
- ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4"-2") COMPACTED TO 95% MINIMUM.
- CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 15 FT. MAXIMUM INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. O.C. MINIMUM.
- PROVIDE (5) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 1/8" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 3/6" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 50 SQ. FT. OF CRAWL AREA REQUIRED.
- PROVIDE 1/2" DIA. X 10" ANCHOR BOLTS 4301 GRADE # 6 @ 4'-0" O.C. UNO. ON PRESSURE TREATED DF NO. 3 MID SILL. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 17" MINIMUM FROM SILL SPLICES. PROVIDE FOAM INSUL. STAINLESS PL. 4 FOUND. WALL.
- REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLD-DOWNS.
- REBAR SCHEDULE:
 - REBAR TO BE LOCATED AT HOLD-DOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
 - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED:
 - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS, 4" CLEAR BOTTOM.
 - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BAR.
- REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-65 GRADE 60. WELDED WIRE MESH TO BE A-85.
- REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL, OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
- ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM UNO.
- "STB" ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
- EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEM WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
- GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2% SLOPE (1/8" PER FT. MIN.) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10 FT. O.C. EA. WAY.
- PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN A 12" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS). SEE DET. 8-D)
- PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLEURY. VERIFY SIZE AND PLACEMENT WITH BUILDER AND/OR SUBCONTRACTORS PRIOR TO INSTALL.
- PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/SUBCONTRACTOR.
- PROVIDE A 4" DIA. FVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN SYSTEM.
- COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MID SILLS. LAP SEAMS 12" MIN.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 5# ASPHALT SHINGLE.
- ALL HOLD-DOWNS, JOIST HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
- PROVIDE A 24" X 36" CRAWL ACCESS (18"X14" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
- FLOOR CONSTRUCTION TO BE:
 - 1/2" DECKING OR EQUAL, ON 1-1/2" JOISTS PER MANUF.
 - ON 2X6 FOOTINGS OVER 8X16 CONTINUOUS FOOTINGS

FDN VENTILATION CALCULATIONS:

LOCATION:	REQ. SQ. IN.	NO. OF VENTS:	VENT SIZE:	TOTAL SQ. IN.
FDN	910	5	18" eq. in.	912

TOP OF ALL HOLD DOWN BOLTS MUST EXTEND ABOVE BASHERS AND NUTS APPROX. 6" ABOVE TOP OF FDN WALL.

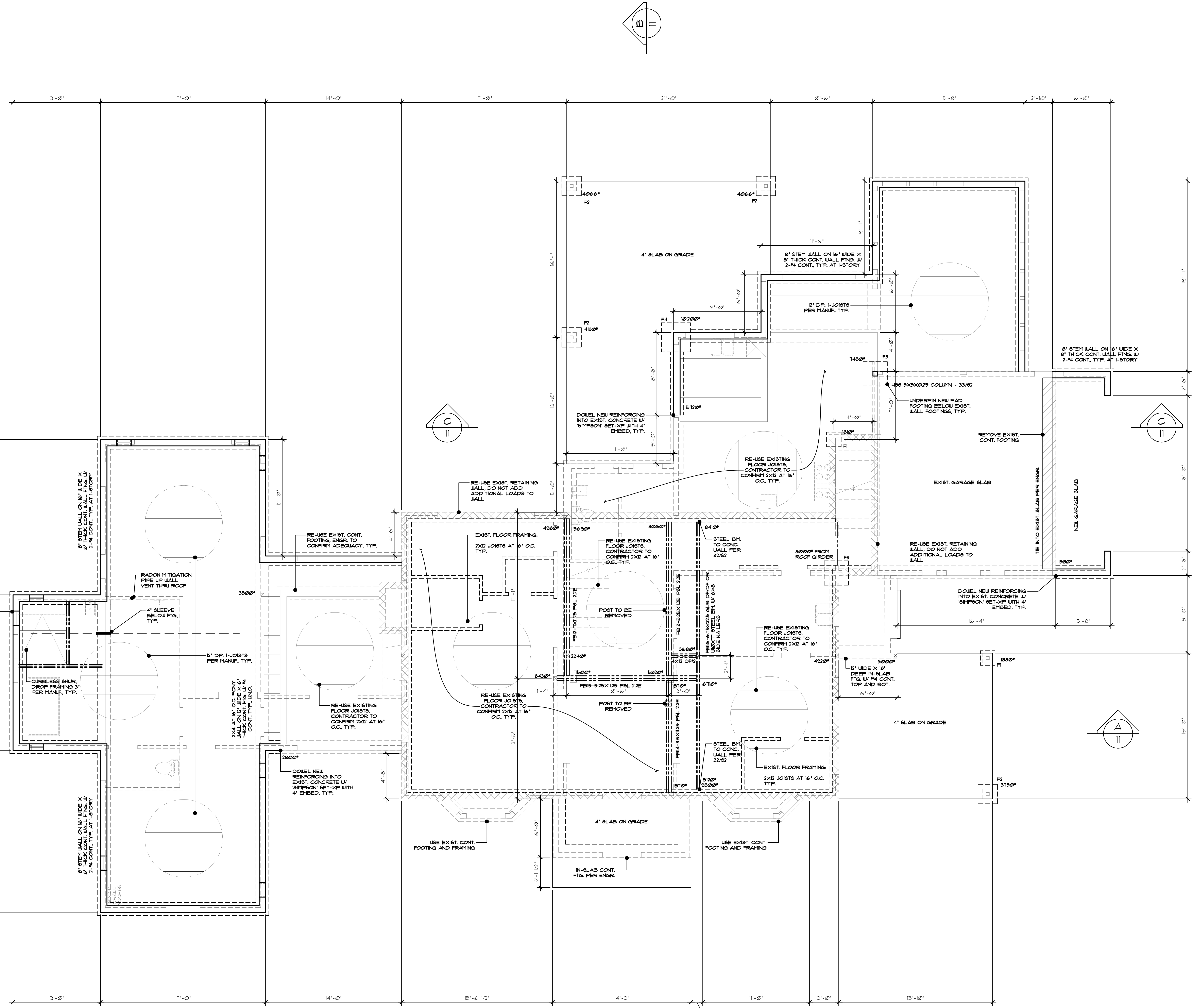
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SEE STRUC. ENGR. SHEETS

SEE JOIST ENGR. SHEETS FROM MANUF.

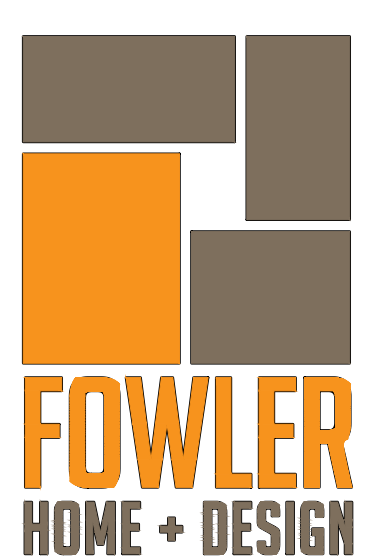
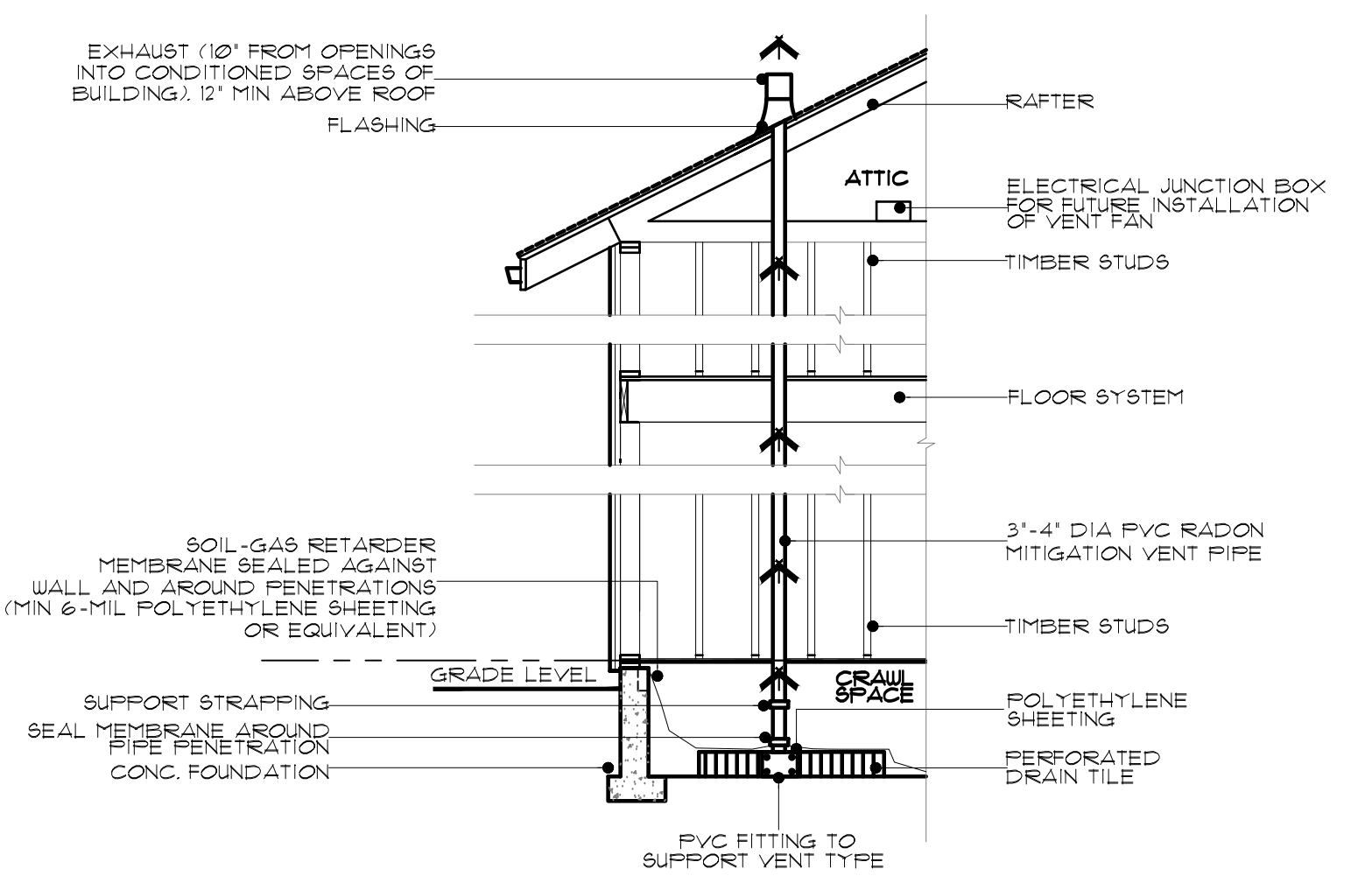
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FOOTING SCHEDULE

FTNG.	LOAD LBS	FOOTING SIZE	REBAR
F1	3,300*	18"x18"x10"	(2) #4 E/W
F2	6,000*	24"x24"x10"	(2) #4 E/W
F3	9,300*	30"x30"x10"	(3) #4 E/W
F4	13,500*	36"x36"x12"	(3) #4 E/W
F5	18,300*	42"x42"x12"	(4) #4 E/W
F6	24,000*	48"x48"x12"	(4) #4 E/W
F7	28,000*	52"x52"x12"	(5) #4 E/W
F8	40,000*	64"x64"x14"	(5) #4 E/W
F9	50,000*	72"x72"x16"	(6) #4 E/W

SUB-MEMBRANE DEPRESSURIZATION SYSTEM FOR CRAWL SPACE



THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97122

PLAN No.:
 DRAIN: T.F.
 DATE: 11/7/2024
 SCALE: 1/4"=1'-0"
 FILE:

MAIN FL. FRAMING & FDN PLAN

8

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MAIN FLOOR FRAMING & FDN PLAN






1/4" = 1'-0"

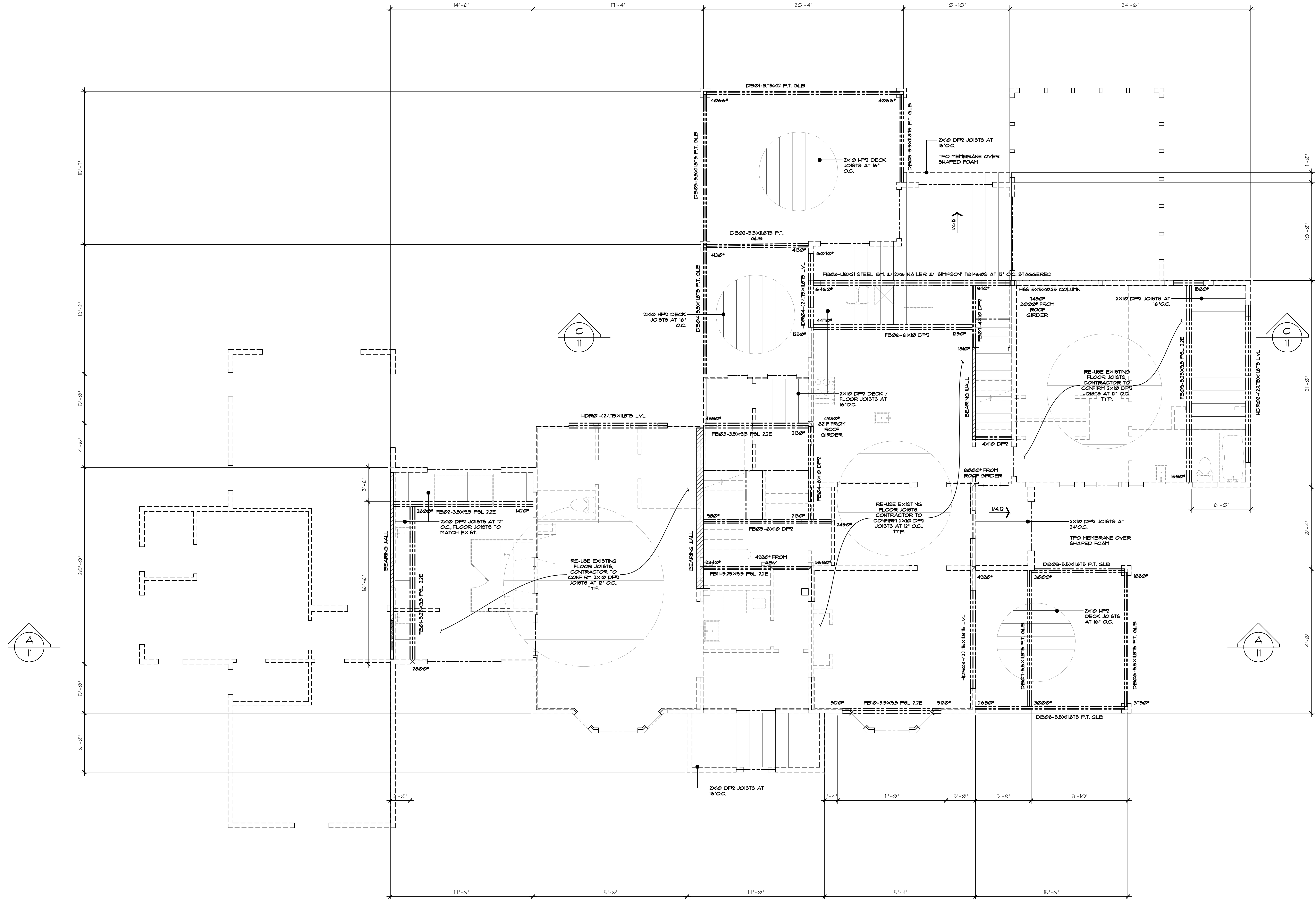
RADON CONTROL METHOD C.

FLOOR FRAMING NOTES:

- SEE FLOOR JOIST OR TRUSS MANUF. SHEETS.
- FLOOR JOIST SPANS ARE BASED ON A 40' LL + 1" D.L. + 55' TL DEFLECTION LIMITED
- PROVIDE BLOCK OUTS FOR DOWN DRAFT COOK TOPS, DRYER VENTS, HEAT FLUES AND ACCESSES. VERIFY SIZE AND PLACEMENT WITH BUILDER/ SUBCONTRACTORS PRIOR TO INSTALL.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 5/8" FELT MOISTURE BARRIER.
- ALL GIRDERS IN CONCRETE BEAM PROCKETS TO HAVE A 1" AIR SPACE AT SIDES AND ENDS WITH A 3" MIN. BEARING ON CONCRETE PLACED ON A 5/8" FELT MOISTURE BARRIER.
- ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
- REFER TO BOISE CASCADE TECHNICAL SUPPORT FOR BEAMS + HEADER HANGERS.
- PROVIDE SOLID BLOCKING UNDER ALL UPPER LEVEL BEARING WALLS OR AS SHOWN ON PLAN.
- PROVIDE A CONTINUOUS RIM JOIST AROUND PERIMETER OF EXTERIOR WALLS. RIM JOIST TO BE OF THE SAME SIZE AND MATERIAL TYPE AS FLOOR JOISTS UNLESS OTHERWISE NOTED. FASTEN RIM JOISTS TO WALL BELOW WITH AT LEAST 16D TOE-NAILS AT 8" O.C.
- PROVIDE 1 1/2" T + G CDX (APA 3216) PLYWOOD OR APPROVED EQUAL SUB-FLOOR SHEATHING. GUE AND FASTEN SHEATHING WITH 10D COMMON NAILS AT 6" O.C. AT ALL EDGES AND 10D COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
- SUB-FLOOR SHEATHING TO EXTEND OUTWARD TO ALL PERIMETER EXTERIOR WALLS BELOW.
- VERIFY LOCATION OF ALL PLUMBING DRAINS AND OFFSET FLOOR JOISTS UP TO 3" O.C. MAXIMUM TO AVOID NOTCHING AND CUTTING OF JOISTS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1-1/2" MIN. BEARING.
- DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF QUESTIONS ARISE.
- PROVIDE DOUBLE RIM JOISTS AT ALL EXTERIOR WALLS PARALLEL TO JOISTS AND AS SHOWN ON PLAN.
- LAP FLOOR JOISTS A MINIMUM OF 6" EACH WAY AT ALL INTERIOR BEARING MEMBERS. NAIL LAPS WITH (3) 16D AND TO BEARING MEMBER WITH (3) 16D.
- JOISTS SHALL BE SUPPORTED LATERALLY BY BLOCKING OR BRIDGING AT JOIST MID-SPAN AT INTERVALS NOT EXCEEDING 10 FEET.

SYMBOLS LEGEND:

-  DENOTES (2) CRIPPLE STUDS (2x WIDTH OF WALL) UNO.
-  BEAM SCHEDULE CALLOUT.
-  BEARING WALL DETAIL.
-  DETAIL CALLOUT OVER SHEET 1.
-  4X10 HEADER (UNO).



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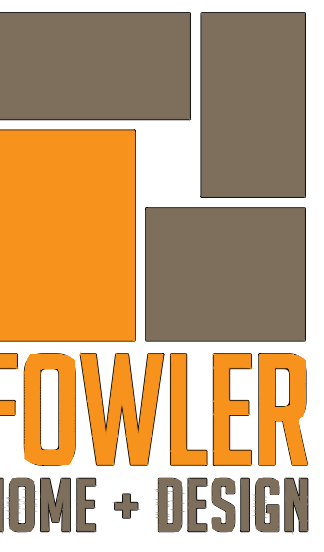
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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

UPPER FLOOR FRAMING PLAN

1/4" = 1'-0"



THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97122

PLAN No.:
 DRAWN: TF
 DATE: 11/7/2024
 SCALE: 1/4"=1'-0"
 FILE:

UPPER FL. FRAMING PLAN

9

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ROOF FRAMING NOTES:

1. ROOFING MATERIAL TO BE 1/2" STANDING SEAM METAL ROOF AND ARCHITECTURAL COMPOSITION ROOFING WITH RAIN AND ICE SHIELD. NAILING PER MANUFACTURER'S INSTRUCTIONS FOR AN 80 MPH WIND AREA.
2. ROOF PITCH AS SHOWN ON PLAN.
3. ROOF DESIGN TO BE MANUFACTURED ROOF TRUSSES @ 24" O.C. UNO. MANUFACTURER TO SUPPLY DESIGN ENGINEERING SPECIFICATIONS AND LAYOUT.
4. MANUFACTURED TRUSSES SHALL BE Laterally BRACED ACCORDING TO APPROPRIATE MANUFACTURER'S ENGINEERED DESIGN.
5. TRUSS MEMBERS SHALL NOT BE NOTCHED, BORED, DRILLED THROUGH OR ALTERED UNLESS DESIGNED BY AND SHOWN ON MANUFACTURER'S SPECIFICATIONS.
6. ALL RAFTERS/CEILING JOISTS TO BE 2" X 10" D-F-L OR BETTER AS PER TABLE NOTED BELOW AND PER ROOF FRAMING PLAN. SPAN DISTANCE BASED ON SIMPLE UNIFORM LOADING AND PER O.C.S.C. 2021 TABLES 807.4(2) & 807.3(3).
7. ALL HIP, VALLEYS AND RIDGES TO BE NOT LESS IN DEPTH THAN THE CONNECTION END OF THE RAFTER UNO.
8. ALL FLANT-ON VALLEYS TO BE 2" X 10" WITH (2) 1/4" @ EACH RAFTER/TRUSS.
9. ALL EAVE OVERHANGS TO BE CLOSED TYPE AT 24". ALL CORNICE TO BE 12" UNO.
10. EAVES TO BE OPEN TYPE BOFFITS WITH A 3" K' GALVANIZED FACIA GUTTER ON A 2" X 10" FACIA BO UNO AND 3" GALVANIZED DOWNSPOUTS (D6) AS SHOWN ON PLAN.
11. ALL BARGE RAFTERS TO BE 2" X 10" WITH A 1 X 3 BRICK MOLD UNO.
12. ALL RAFTER HANGERS SHALL BE OF SIMPSON L550 OR LUS TYPE UNO.
13. PROVIDE (2) 61 SQ. IN. SCREENED ATTIC AIR VENTS AT RIDGE WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED AS SHOWN ON PLAN. PROVIDE (63) 20 SQ. IN. 7" X 10" SCREENED AIR VENTS AT EAVES WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED. A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 100 SQ. FT. OF ATTIC SPACE AREA REQUIRED. PROVIDE 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES. REFER TO ATTIC VENTILATION CALCULATION TABLE.
15. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER/TRUSS BAY AT VAULTED CEILING AREAS. INSTALL INSULATION Baffles AT EACH EAVE VENT BETWEEN BAYS. Baffles SHALL BE MADE RIGID HEATHER RESISTANT MATERIAL AND MAINTAIN 1" CLEAR AIR SPACE. VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE PLATES.
16. ROOF DIAPHRAGM TO BE CONSTRUCTED WITH 5/8" EXPOSURE (C-D (APA 2440 RATED) PLYWOOD OR (2) 2" X 4" OR 2" X 3" OSB, OR BETTER SHEATHING. LONG DIMENSION SHALL BE PERPENDICULAR AND END JOINTS SHALL BE STAGGERED. FASTEN SHEATHING WITH 80 COMMON NAILS AT 6" O.C. AT GABLE ENDS AND ALL EDGES AND 80 COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
17. DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF ANY QUESTIONS ARISE.
18. PROVIDE A SIMPSON 14-25' HURRICANE CLIP AT EACH RAFTER CONNECTION TO EXTERIOR WALL TOP PLATES.
19. ATTICS WITH A CLEAR HEIGHT OF 30 INCHES OR MORE MUST BE PROVIDED WITH AN ACCESS. THE ACCESS OPENING SHALL 22" X 30" MINIMUM. OPENING TO HAVE 30" MINIMUM CLEARANCE FROM TOP OF OPENING TO BOTTOM OF ROOF ALL AROUND.
20. FLASHING SHALL BE INSTALLED AT JUNCTIONS OF CHIMNEYS AND ROOFS, IN ROOF VALLEYS AND AROUND ALL ROOF OPENINGS.
21. PROVIDE 4" X 4" OR (2) 2" X 4" LAMINATED WITH 1/2" O.C. KING POSTS (KP) WHERE SHOWN ON PLAN.
22. PROVIDE PURLIN WALLS WHERE SHOWN ON ROOF PLAN. USE 2" X 4" S @ 24" O.C. AND/OR LINED-UP UNDER EACH RAFTER. EXTEND PURLIN WALL DOWN TO BEARING MEMBER BELOW.
23. ALL RAFTERS TO BE NOTCHED (SEAT CUT) TO PROVIDE FULL BEARING AT SUPPORT MEMBERS.
24. ALL WINDOW HDRS TO BE 4" X 10" UNO.

ATTIC VENTILATION CALCULATIONS:

LOCATION	REQ. SQ. IN.	NO. OF VENTS	VENT SIZE	TOTAL SQ. IN.
AT RIDGE	1675	28	61 sq.in.	1708
AT EAVES	1675	84	20 sq.in.	1680
TOTAL:	3350	112	81 sq.in.	3388

SYMBOLS LEGEND:

- DENOTES (2) CRIPPLE STUDS (1x WIDTH OF WALL) UNO. 3-STD ASSEMBLY MAY BE USED IN LIEU OF 4x4 POST. 4-STD ASSEMBLY MAY BE USED IN LIEU OF 6x6 POST.
- BEAM SCHEDULE CALLOUT.
- BEARING WALL DETAIL.
- HOUSE WIRED SMOKE DETECTOR.
- FLOOR FRAMING DETAIL.
- DOWNSPOUT TO RAINDRAIN BELOW.
- INDICATES ROOF FRAMED OVER ROOF BELOW. USE 2x8 RAFTERS @ 24" O.C. W/ 2x10 RIDGES. 1-2x10 VALLEY RAFTERS LAID FLAT ON TRUSSES BELOW.
- 4x4 KING POST (KP) FROM HIP VALLEY AND/OR RIDGE TO BEARING MEMBER BELOW. REFER TO DETAIL.
- DETAIL CALLOUT OVER SHEET.
- 4x10 HEADER (UNO).

IMPORTANT DISCLOSURE - PLEASE READ:

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SEE STRUC. ENGR. SHEETS

SEE TRUSS ENGR. SHEETS FROM MANUF.

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

ROOF FRAMING PLAN

1/4" = 1'-0"

ALL ROOF SLOPES TO BE 8:12 UNO.
ALL EAVES TO BE 1'-0" UNO.

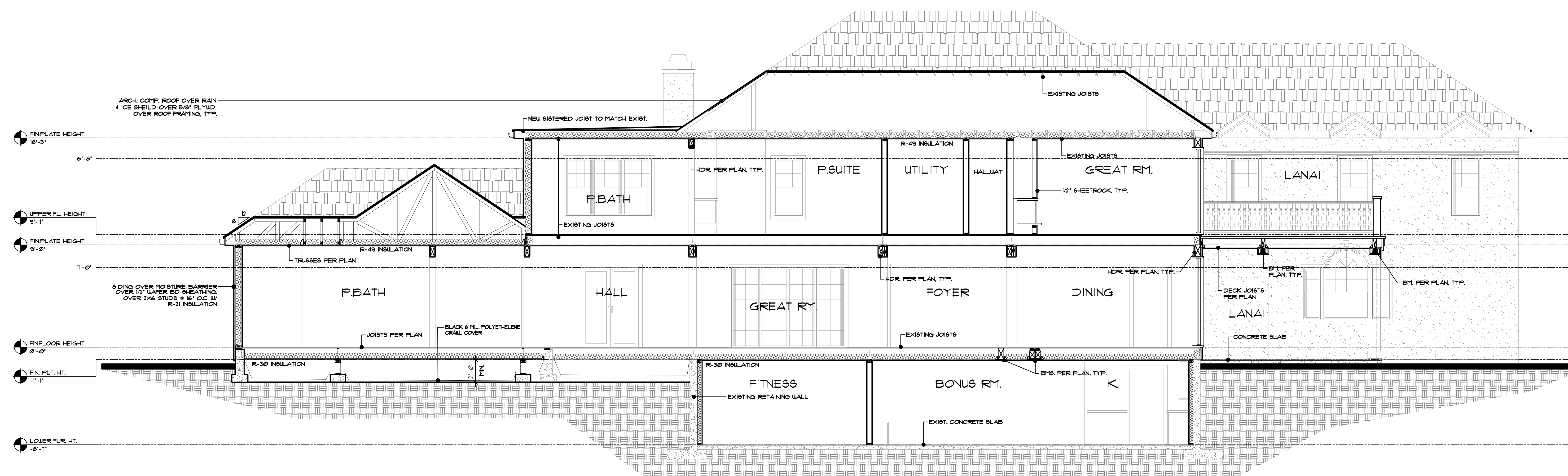
THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No.:
DATE: 11/7/2024
SCALE: 1/4" = 1'-0"
FILE:

ROOF FRAMING PLAN

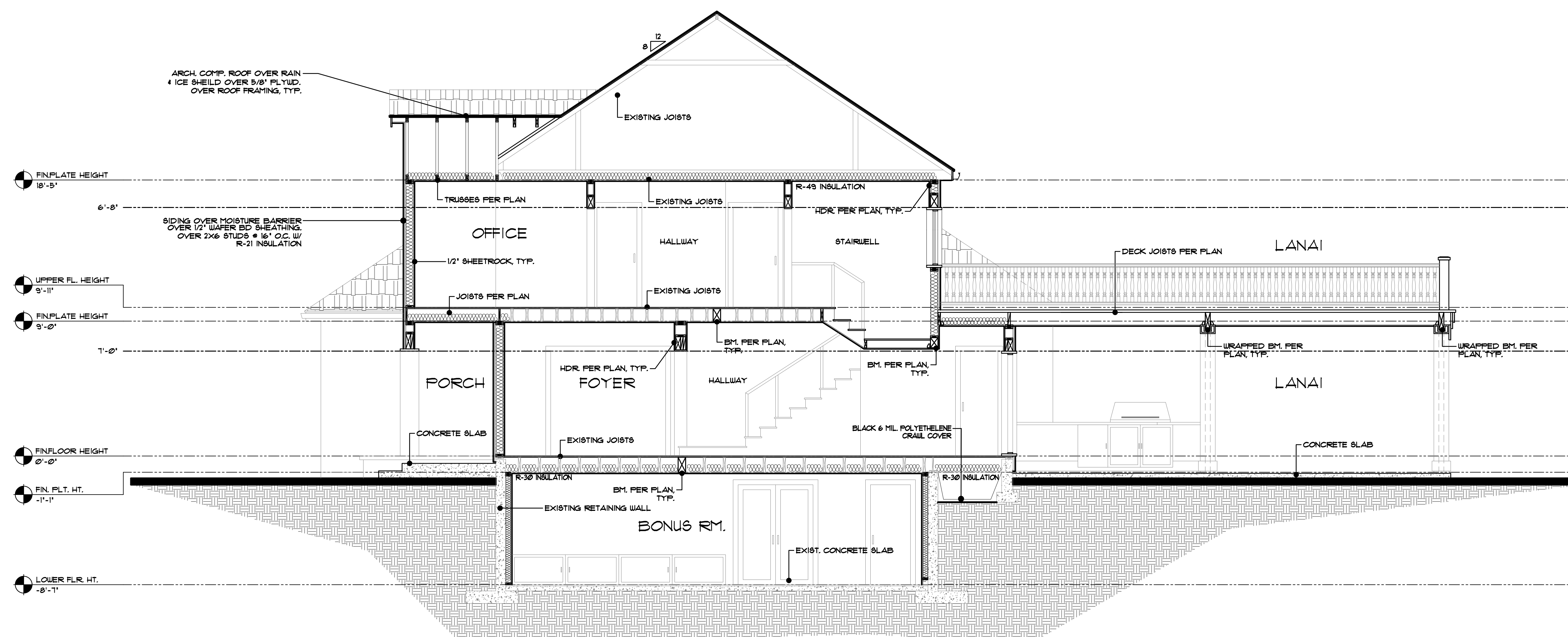
10

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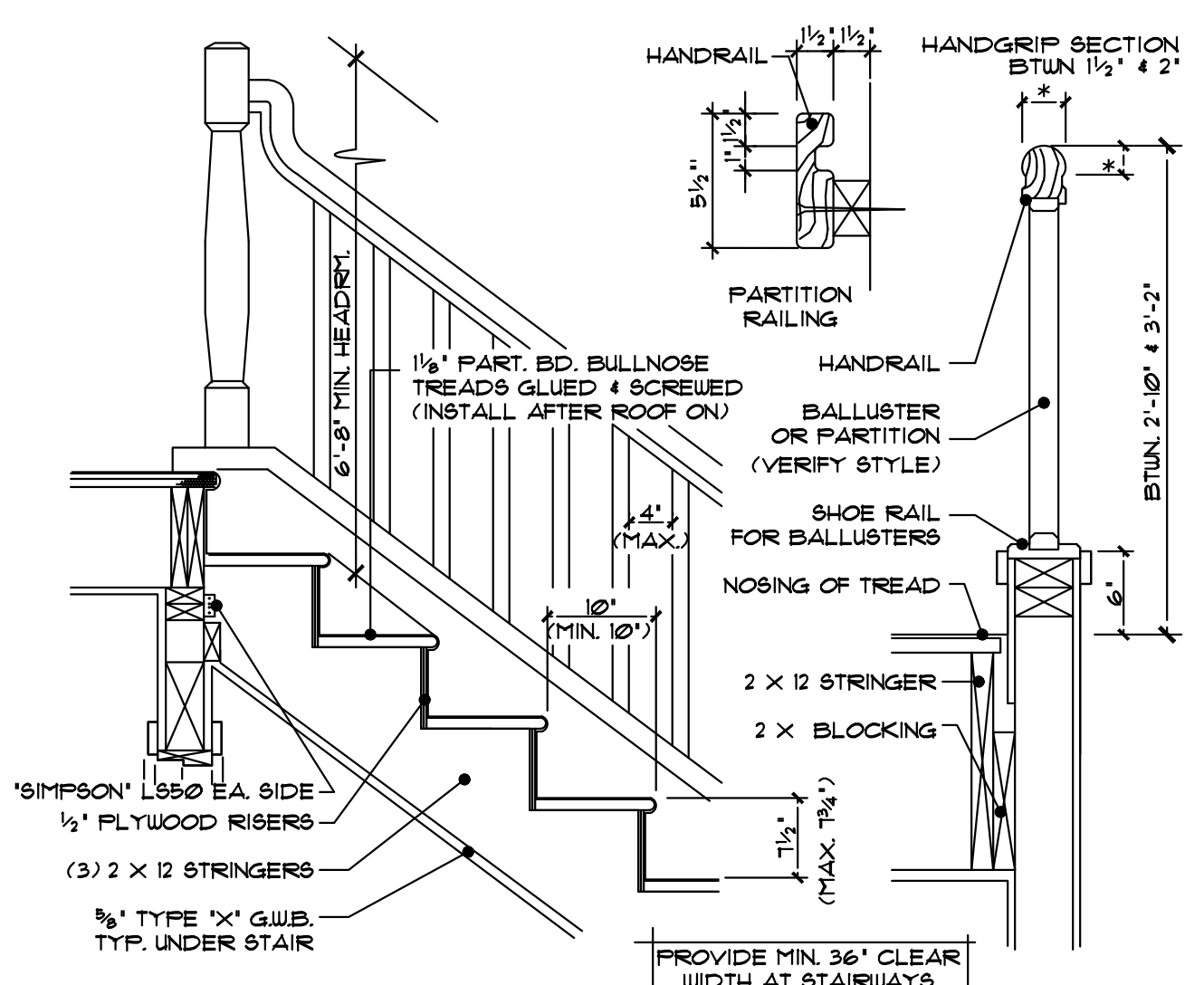
CROSS SECTION A.

1/4" = 1'-0"

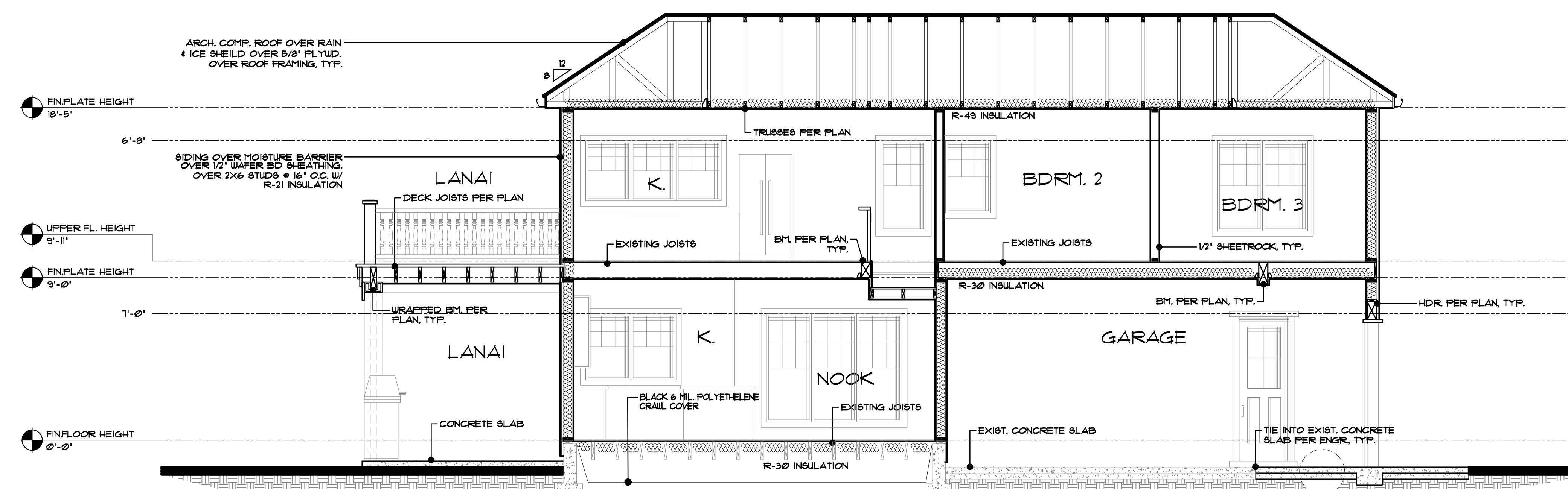


CROSS SECTION B.

1/4" = 1'-0"



STAIR DETAIL
SCALE : N.T.S.



CROSS SECTION C.

1/4" = 1'-0"

IMPORTANT DISCLOSURE - PLEASE READ:

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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN NO.:
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FILE:

CROSS SECTIONS

11
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DESIGN LLC 2022



**Historic Resource Land Use Review – Approval Criteria, Findings, and Recommendations
1620 SE Waverly Drive, Milwaukie, Oregon**

Prepared for:
City of Milwaukie, Oregon
November 14, 2024

Description of the Historic Resource Land Use Review Application

The updated proposed work includes the addition of a primary wing located on the east side of the residence, the addition of a 306 sq. ft. prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6 feet, and extending the south kitchen and nook walls 8.5 feet and 6 feet respectively. The total first floor additions including the conservatory is 1,436 sq. ft. A lanai and porch are proposed for the northwest corner of the house. The primary entrance column on the north elevation is proposed to extend outward just over six feet.

On the second floor, the updated proposed work includes wall extensions proposed on the east wall at the existing bath, the south wall, and west wall. Other additions to the second floor include a deck to the northwest and south. The roof of the main body of the house will remain the same height as it exists today. A hip roof is proposed for the east wing addition. Other proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The existing north, primary elevation, is proposed to retain some of the original building design. Changes include the design and visual qualities of some replacement windows; the design of the pediments above the second-floor windows on the west wing and the addition of a belt course; and the extension of the primary entrance column.

Description of the Historic Context and Significance of the Property

Owned by William MacMaster, this home was constructed in 1922 by the Drake-Voss Construction Company as the family's second estate within Waverly. William moved to Oregon in 1883 from Scotland as a financial representative of the Dundee Land Company. He later formed a real estate investment firm with A.H. Birrell in 1890, buying out Birrell in 1903. William co-owned the firm with his son in law beginning in 1922, renaming it to MacMaster and Ireland until William's death. During his lifetime, William was president of the Arlington Club, president of Waverly twice, and president of the Portland Chamber of Commerce twice. Annie MacMaster was the head for all of the YMCA's Pacific Northwest women's war work during World War I.

Character-defining features of this Colonial Revival home as mentioned in the 1988 Cultural Resource Inventory are as follows:

- Primary entrance with paired paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters.
- Stucco exterior cladding
- Quoining, also made of stucco

- Polygonal bays
- End wall chimney
- Palladian window
- Full-height polygonal bay window with tent roof and spandrel
- Belt course above heads of second story windows
- Rectangular plan flanked by two smaller wings on side elevations

As defined by the National Park Service, a Character Defining Feature is a prominent or distinctive aspect, quality, physical feature, or characteristic that contributes significantly to the visual character of a resource. Character Defining Features are character-defining elements that include the overall shape of the building or resource, the materials used in building the resource, the craftsmanship of the resource, the resource's decorative details, the interior spaces and architectural features, and the site and environment of a resource, also known as its context. There are four zones in regards to character-defining features: High, Medium, and Low Preservation Priority, and Non-Historic.

High Preservation Priority features are the most character-defining features of the building that best convey the significant themes associated with the building. These features are to be maintained and preserved. Alterations to finishes may be acceptable, although the form and overall design should be retained. Work to high priority features will be closely reviewed. High Preservation Priority spaces can be public or private with a high level of integrity and history of architectural finishes and features that include original materials or details of highly skilled craftsmanship. Architectural finishes and features should be preserved. Regarding 1620 SE Waverly Drive, the highest priority features are ones visible from the public right of way, including all features comprising original and proposed north elevations, and other elevations that are visible from the public right of way.

Medium Preservation Priority features help to convey the significance of the building, but are not crucial character-defining features. If a Medium Preservation Priority feature were to be removed, the building would still retain its significance, although some unique aspects may be lost. Often, the overall design aspect of the feature is of medium priority, while the finishes or materials may be of a lower priority. Work to medium priority features require design review and may elicit some commentary although contemporary methods, materials, and designs may be sensitively incorporated. The overall project should reach a balance of retaining some Medium Preservation Priority features to allow for alterations to other medium priority features. Alterations should be compatible with the overall historic character of the building. Medium Preservation Priority spaces can be public or private with a moderate level of integrity and history of architectural finishes and features that include original materials or details but are less ornate than High Preservation Priority spaces in overall character. Architectural finishes and features should be preserved. Regarding 1620 SE Waverly Drive, medium priority features are ones not visible from the public right of way, including all features comprising original and proposed south elevations, and other elevations that are not visible from the public right of way.

Low Preservation Priority features are part of the building design, but have little historic character or contribution to the historic significance of the building. Low priority features include service spaces, heavily-altered features, or additions not associated with the period of significance. Alterations to Low Preservation Priority features, while sympathetic to the historic qualities and character of the building,

may incorporate extensive changes or total replacement through the introduction of contemporary methods, materials, and designs. Proposed work to Low Preservation Priority features will still be reviewed in order to monitor the impact to the overall character and significance of the building. Low Preservation Priority spaces are often not public areas but can be private spaces with minimal integrity and history of architectural finishes and features that contain few or no architectural features that need to be preserved or restored as part of a rehabilitation project. Regarding 1620 SE Waverly Drive, there are no low priority features on the exterior of the building. Since the 1988 Cultural Resource Inventory, no significant exterior changes that have required Historic Resource Land Use Review have been made to the building and, to the best of our knowledge, the building retains all of its significant historic character-defining features.

Non-historic features include architectural features or finishes that are not original to the historic building. Non-historic features primarily include walls and doors that are not considered historic, as well as other features that have been changed or added to the building after initial construction. These elements can be removed and altered with minimal care given to minimize impact. Within the City of Milwaukie, certain alterations to historic buildings do not need to be reviewed through the Historic Resource Land Use Review system. These alterations include the repair or replacement of roof materials either in kind or with similar materials, the application of storm windows, etc. While these changes may have been added to 1620 SE Waverly Drive, there are no other non-historic features of finishes present on the building.

Approval Criteria

Milwaukie Zoning Ordinance Title 19, Chapter 19.400 Overlay Zones and Special Areas governs the “identification, protection, enhancement, perpetuation, and use of site, structures, districts, objects, and buildings within the City that reflect the City’s unique architectural, archaeological, and historical heritage, and to facilitate preservation of such properties.” Any exterior alteration of a “significant” landmark is reviewed under the provisions of Subsection 19.403.5, Alterations and Development, and application is submitted to the City of Milwaukie Planning Commission. The criteria are listed with a response and findings for each, below.

Findings

Findings of the review are based on analyzing and comparing the new materials that were resubmitted as part of the Historic Resource Land Use Review Application, the historic context and significance of the property, and the approval criteria. In PMA's professional opinion, at a minimum to secure approval for this design, the north-facing, primary elevation of the home should preserve all historic materials, design elements, and overall composition. The proposed east and west wings should be designed to harmonize with the existing historic structure, maintaining consistency in materials, design, and composition. This includes retaining the design and composition of the dormers and pediments on the west wing.



1. Retention of Original Construction

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

The resubmitted project materials propose to redesign the front elevation of the building, which includes the primary entrance column to extend outward over six feet. This change would cause the removal of high preservation priority character-defining features and distinguishing original qualities that define the resource's character as described in the 1988 Cultural Resource Inventory documentation. These features include the stucco quoining and stucco cladding. Additionally, other character-defining features that are proposed to change in design include the pediments above the second story west wing windows and new window designs throughout the primary elevation. This criterion is therefore not met.

In order to meet this criterion, the character-defining qualities of the entire primary, north, elevation should remain as they currently exist. This includes the primary entrance block and existing window designs in order to retain their historic design elements and remain in place as they have historically. The primary entrance block should remain flush with the north elevation and window size and design should match that of the historic size and design. The windows and associated pediments on the west wing should match in composition and design to that of the historic. The resubmitted materials include the addition of a belt course on the west wing. This design element is not historically accurate to this wing of the home.

Per the approval criteria, the removal of high preservation priority character-defining features should be avoided when possible. Changes to character defining features as listed in the 1988 Cultural Resource Inventory documentation on primary, north elevations and elevations visible from the public right of way should be avoided. Removal or manipulation of these features will create a home that is near unrecognizable compared to the original and will therefore become an inaccurate representation of the historic building. On the primary, north elevations, replace as needed due to deterioration. Other historic materials or distinctive architectural features that are medium preservation priority features not on the north elevations or not visible from the public right of way and are not mentioned as part of the 1988 Cultural Resource Inventory documentation may be removed or altered, as long as the alterations reflect a simplified style or simplified Colonial Revival style in order to distinguish the new changes from the original.

2. Building Height

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

The first page of the plan set labeled "EKLUND SET 11.7.24" shows a hip roof proposed for the existing east wing. Other plan drawings show the flat roof will remain as it has historically for this wing. The proposal shows roof alterations on the main portion and west wing of the home. The roof height of the main core of the home and the west wing will be maintained. The plan set shows the addition of three pediments on the second floor of the west wing that will not maintain design to

that of the historic existing two pediments. The building's permanent elevation will remain as is and no new foundation under the existing home will be built. This criterion has not been fully addressed and is not yet met.

In order to meet this criterion, the following should be maintained:

- Ensure the retention of the flat roof on the existing east wing of the home;
- Ensure the retention of historic design and composition of the two existing pediments above windows on the west wing of the home;
- Retention of the flat roof above the two-story bay window on the north elevation;
- Retention of the pediment above the front entry design sequence;
- Ensure that the proposed addition and extension of walls at the garage, kitchen and kitchen nook, and east wing will not alter the pitch of the roof to which they are attached; and
- Ensure that no new roof height will be taller than the existing tallest roof height of the building.

3. Horizontal Additions

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

The proposed additions and extensions on the west, east, and south elevations are visually compatible with the traditional architectural character and scale of the historic building. No extensions or additions on the north elevations are permitted due to Approval Criteria 1 *Retention of Original Construction*. Although contemporary in design, the design of these additions and alterations, including the overall scale and design of windows and doors respects the building's original design and are compatible with the original scale and window and door-opening proportions of the building. In order to meet this criterion, ensure that the materials of the east addition be visually compatible and respect the original stucco cladding and the Colonial Revival style architecture; ensure the materials of the rear room extensions are visually compatible with that of the historic stucco cladding in order to be visually compatible with the traditional architectural character of the historic building. The design of the new east wing should be revised where the east addition connects with the existing structure. Specifically, the proposed north and south wings of the east addition should be shifted slightly to the east, ensuring that the roofline of this section does not intersect or obscure the historic portion of the building.

4. Windows

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if nonwood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.

This application proposes to replace or redesign all windows on every elevation. Some of the new windows do not match the visual qualities of the original. Therefore, this criterion is not met.

In order to meet this criterion, window replacements will match the visual qualities and design of the historic windows on the north elevation. The new windows proposed on the first and second floor of the new west wing should match those of the existing historic. Other window replacements or redesigns should match the visual qualities of the original windows. Maintain the existing number of window panes.

5. Restoration Possible

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

As the new alterations are wood frame construction, in theory this criterion is met. The exterior carport, conservatory, lanais, patio, and porch should be built in such a manner that they can be removed in the future. The architect and build team should ensure that the extensions and additions on the east and south elevations and garage are built in such a way that they can be removed and the original form and integrity of the original building can be restored.

6. Signs and Lighting

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

There is no proposed signage. No lighting was indicated on the exterior primary façade. No elevation or renderings of appurtenances were submitted. Based on no sign, lighting, and other appurtenances submitted, this criterion is met.

7. Time Period Consistency

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

The proposed alterations that are allowable based on other approval criteria are proposed to align with the visual qualities of the historic home and Colonial Revival style architecture. No proposed alterations create a false historical basis or create an earlier appearance. This criterion is met.

8. Visual Integrity/Style

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

The proposed changes to the north elevations and elevations visible to the public right of way do not meet Criterion 1 *Retention of Original Construction* and Criterion 4 *Windows*. Therefore, this criterion is not met. In order to meet this criterion, distinctive stylistic features on the high preservation priority areas of the home, including the north elevations and elevations visible from the public right of way will be maintained or restored if showing signs of deterioration.

9. Replacement or Additional Materials

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

The resubmitted plans include updated materials that match those of the historic home. In order to meet this criterion, ensure all new materials in the proposed additions and extensions, including windows, doors, roofing, cladding, and other detail materials, match those of the original building in composition, design, color, texture, and other visual qualities.

10. Buffering

An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

There is no new commercial or industrial improvement or use proposed on or adjacent to this home, therefore no buffer or screen is required. This criterion is not applicable.

Cultural Resource Survey Form:

CLACKAMAS COUNTY

T. D. NUMBER M-26-W11

PHOTO INFORMATION:

ROLL: XVI
 FRAME: 19

STUDY AREA: MILWAUKIE
 LEGAL: T. 1S R. 1E SEC. 26 DB
 TAX (LOTS): 300
 ZONE _____ SIZE _____

IDENTIFICATION:

COMMON/HISTORICAL NAME: RAVENSWOOD *William MacMaster Residence*
 ADDRESS: 1620 S.E. Waverly Drive (Broadway) AREA: Milwaukie, 97222
 CURRENT OWNER: ULDIS SEJA USE: Residence
 OWNER'S ADDRESS: Same
 ORIGINAL OWNER: WILLIAM MacMASTER USE: Residence
 AREA OF SIGNIFICANCE: TOWN: X COUNTY: _____ CITY: _____ NATION: _____

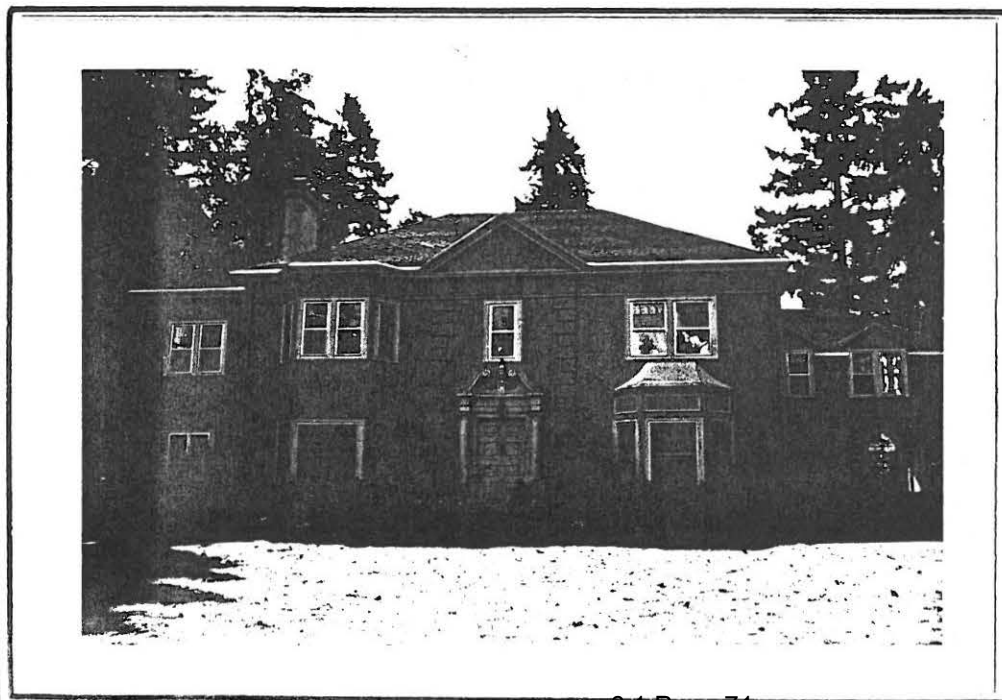
HISTORIC INTEREST:

THEME: Architecture - 20th Century DATE: 1922-23
 DESCRIPTION: Annie MacMaster was the head of all the women's war work (1916) throughout the Pacific Northwest for the YMCA during World War I. The house was built by Drake-Voss Construction Company. William MacMaster was in the business of real-estate investments.

ARCHITECTURAL INTEREST:

STYLE: Classic Revival *Colonial Revival* STORIES: 2
 DATE: 1922-23 CONDITION: Good ARCHITECT: _____
 SIDING: Stucco with stucco quoins
 ROOF: Hip with gabled wall dormer
 DOORS: Paneled
 WINDOWS: Multi-light over l. A palladian window on North elevation. Full-height polygonal bay window with tent roof and spandrel.
 MAIN ENTRANCE: Ionic pilasters. Broken scroll pediment.

NOTES: Belt course above heads of second story windows.



BIBLIOGRAPHY:

#6, Page 87

DATE: 10/14/83

RECORDER: HAYDEN/ALTIER

CITY OF MILWAUKIE
CULTURAL RESOURCE INVENTORY
Statement of Significance

ADDRESS: 1620 S.E. Waverly Drive

The William MacMaster House, constructed in 1922, is the finest example of the Colonial Revival style in Milwaukie. It is distinguished by outstanding design features including the elegant entrance with its paired, paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters. The handsome stuccoed exterior is embellished with quoining, polygonal bays, and a massive endwall chimney. A Palladian window is located on the north elevation. Basically rectangular in plan the main volume of the house is flanked by two smaller wings on the side elevations. The house is located near the entrance to the Waverly neighborhood across the street to the south from the golf course.

Known as "Ravenswood" this was MacMasters second estate within Waverly; in 1908 he built "Ardgour", torn down in 1937, the Clarence E. Francis Home was built on the same location--the estate site is still referred to as Ardgour. Ardgour was one of the first "permanent" dwellings: many of the club members maintained their primary residences in Portland up until that point and looked on their Waverly estates as country cottages. On the completion of Ardgour, MacMaster moved his family to Waverly and maintained it as his permanent residence, many of the club members followed suit; looking on Waverly as their primary homes.

William MacMaster was born in Silverdale, England in 1858. Both parents were Scottish. MacMaster was educated in Scotland coming to Oregon in 1883 as financial representative of the Dundee Land Company. In 1890 he formed a real estate investment firm with A. H. Birrell, buying Birrell out in 1903. In 1922 he associated himself with his son-in-law, the firm known from then until his death as MacMaster & Ireland.

A respected and successful businessman, MacMaster was a tireless local and state booster. He was president of the Arlington Club, he was twice president of Waverly--considered the primary force behind the acquisition and formation of the club on its present site--and twice president of the Portland Chamber of Commerce.

BIBLIOGRAPHY: TICOR Title Company Records, Oregon, City.
Oregon Journal, 23 March 1937 p.3.
Dimon, Elizabeth. Twas Many Years Since.

RECORDER: Koler/Morrison Consultants

DATE: 3/88

Site 12: 1620 Waverly Drive

Revised Narrative

Total Points: 54
Rating Category: Significant
Reason for Rating: Scores of 10 on PERSON and STYLE

1. PERSON/GROUP/ ORGANIZATION: Associated with the life or activities of a person, group, organization, or institution that has made a significant contribution to the community, state, or nation. (10 out of 10 points, Particularly Strong)

Known as "Ravenswood" this was William MacMasters' second estate within Waverly; in 1908 he built "Ardgour", torn down in 1937, the Clarence E. Francis Home was built on the same location--the estate site is still referred to as Ardgour. Ardgour was one of the first "permanent" dwellings: many of the club members maintained their primary residences in Portland up until that point and looked on their Waverly estates as country cottages. On the completion of Ardgour, MacMaster moved his family to Waverly and maintained it as his permanent residence, many of the club members followed suit; looking on Waverly as their primary homes.

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A respected and successful businessman, MacMaster was a tireless local and state booster. He was president of the Arlington Club, he was twice president of Waverly--considered the primary force behind the acquisition and formation of the club on its present site--and twice president of the Portland Chamber of Commerce.

Annie MacMaster was the head of all the women's war work (1916) throughout the Pacific Northwest for the YMCA during World War I. The house was built by Drake-Voss Construction Company. William MacMaster was in the business of real-estate investments.

2. EVENT: Associated with an event that has made a significant contribution to the community, state, or nation. (0 out of 10 points, None)
3. PATTERN: Associated with, and illustrative of, broad patterns of cultural, social, political, economic, or industrial history in the community, state, or nation. (0 out of 10 points, None)
4. STYLE/BUILDING TYPE/CONVENTION: Significance as an example of a particular architectural style, building type, or convention. (10 out of 10 points, Excellent)

The William MacMaster House, constructed in 1922, is the finest example of the Colonial Revival style in Milwaukie. It is distinguished by outstanding design features including the

elegant entrance with its paired, paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters.

Architecture - 20th Century

5. DESIGN/ARTISTIC QUALITY: Significance due to quality of composition, detailing, and craftsmanship. (4 out of 4 points, Excellent)

The handsome stuccoed exterior is embellished with quoining, polygonal bays, and a massive endwall chimney. A Palladian window is located on the north elevation. Basically rectangular in plan the main volume of the house is flanked by two similar wings on the side elevations.

There is a full-height polygonal bay window with tent roof and spandrel. The main entrance has Ionic pilasters and a broken scroll pediment. There is a belt course above heads of second story windows.

6. MATERIALS/CONSTRUCTION: Significance as an example of a particular material or method of construction. (0 out of 4 points, Of little interest)

The siding material is made of stucco. There are also quoins made of stucco. The door is paneled.

7. INTEGRITY: Significance because it retains its original design features, materials, and character. (7 out of 7 points, No apparent alterations)

8. RARITY: Significance as the only remaining, or one of the few remaining properties of a particular style, building type, design, material, or method of construction. (7 out of 10 points, One of a few)

9. LANDMARK: Significance as a visual landmark. (5 out of 10 points, Conspicuous)

The house is located near the entrance to the Waverly neighborhood across the street to the south from the golf course.

10. SETTING: Significance because current land-use surrounding the property contributes to the integrity of the pertinent historic period. (4 out of 4 points, Excellent)

11. CONTINUITY: Significant because the property contributes to the continuity or character of the street, neighborhood, or community. (7 out of 7 points, Establishes character)

MISCELLANEOUS NOTES



CITY OF MILWAUKIE

To: Planning Commission

Through: Laura Weigel, Planning Manager

From: Vera Koliass, Senior Planner

Date: December 3, 2024 for December 10, 2024, Public Meeting

Subject: **File:** HR-2024-003
Applicant: Hilary Sundeleaf MacKenzie
Owner(s): Marie Lathrop
Address: 9712 SE Cambridge Ln
Legal Description (Map & Tax Lot): 11E26DB00600
NDA: Historic Milwaukie

ACTION REQUESTED

Open the public hearing, listen to the staff report and applicant presentation, and discuss application HR-2024-003. The Planning Department does not have in-house staff with historic preservation expertise, so the city contracted with the Peter Meijer Architecture firm, which specializes in historic architecture, to assist staff in the review of this application. The city's historic preservation consultant has provided review comments on the application's response to the approval criteria that include recommendations for more complete compliance with a few criteria. Therefore, as the proposal does not currently meet the criteria, staff recommends denial of the application and has provided Findings of Denial in Attachment 1.

That said, historic resources review, unlike other Type III reviews, is highly subjective and discretionary. Staff and the consultant recognize that this is a private residence, and structures need to evolve over time for both modern use and code compliance; applications like this one are unique. Therefore, a failure to fully meet all of the approval criteria might not necessarily result in an outright denial of the proposal. Staff has provided a staff report with discussion and analysis to help the Commission reach a final decision after review during the hearing, including the consultant review reports that provide an analysis of the various approval criteria and how to evaluate this type of application.

BACKGROUND INFORMATION

A. Site and Vicinity

The site is located at 9712 SE Cambridge Ln. The site is developed with a single detached structure and landscaped garden areas. The surrounding area includes single detached dwellings and a golf course to the north across Waverly Dr (see Figure 1).

As noted in the 1988 Historic Resource Inventory (Attachment 6), the house acts as an important visual anchor at the north periphery of the Waverly neighborhood. It was designed by well-known Portland architect Richard Sundeleaf in the Arts and Crafts style in 1941.

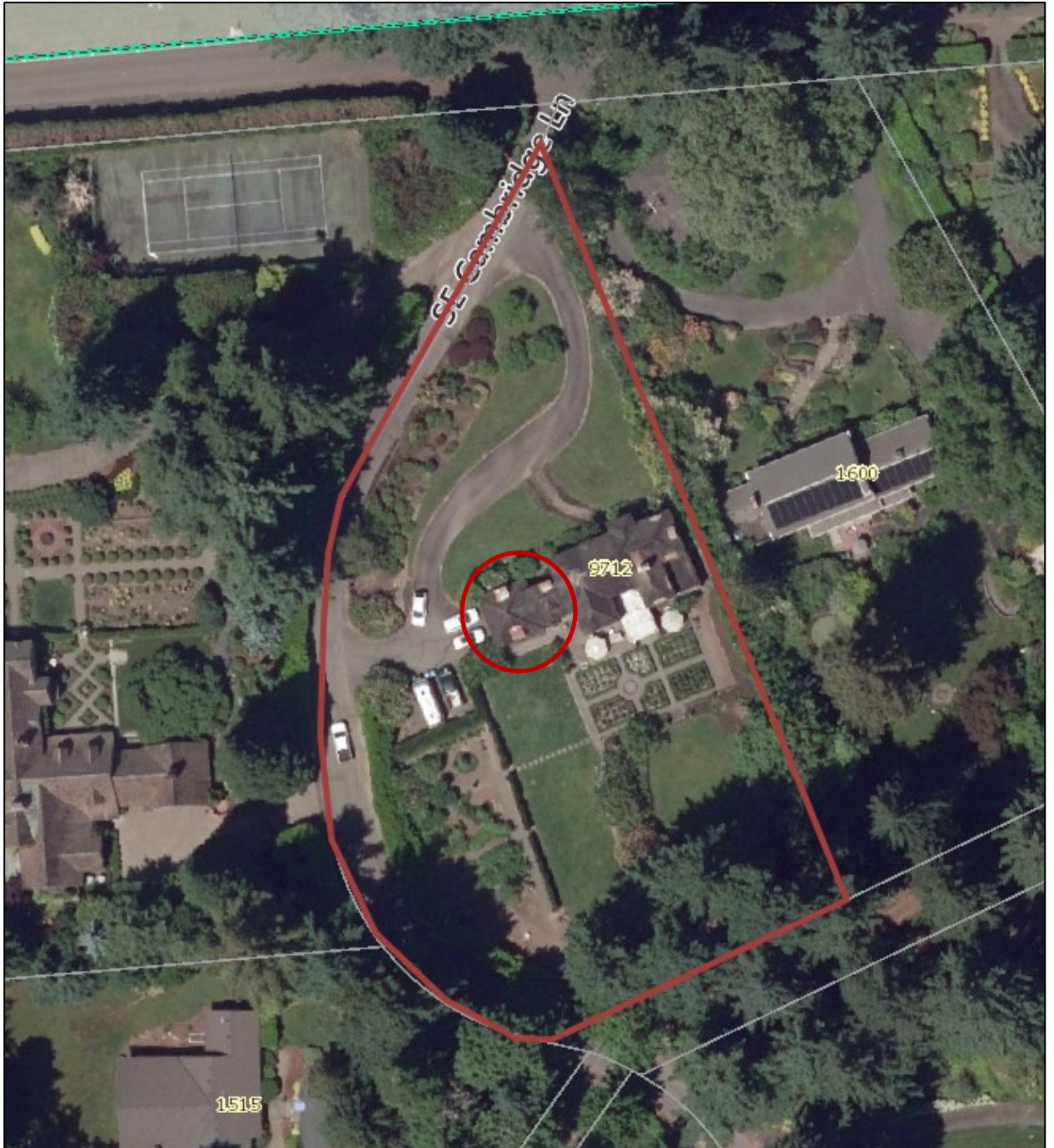


Figure 1. Site area and vicinity with area for proposed work identified



Figure 2. Aerial view showing the street-facing facade and area of proposed work (Redfin)

B. Zoning Designation

The site is in the Moderate Density Residential (R-MD) zone with a [Historic Resources](#) overlay. Properties designated as historic resources in the 1988 Historic Resource Inventory also include the Historic Resources Overlay (HP) zone.

C. Comprehensive Plan Designation

Moderate Density

D. Land Use History

- **1989:** The property was identified as a Significant Historic Resource and listed on the city's inventory of historic resources (Attachment 6).

E. Proposal

The applicant is seeking land use approval to alter the structure by constructing an addition to the home, replacing the garage and service wing of the home (the existing kitchen, garage, playroom, upstairs bath, and back stairs), with a new kitchen, garage, mudroom, playroom, upstairs bath, and back stairs (See Figures 3-6). The work represents a 517 square-foot increase in lot coverage, going from 3,160 sq ft to 3,677 sq ft.

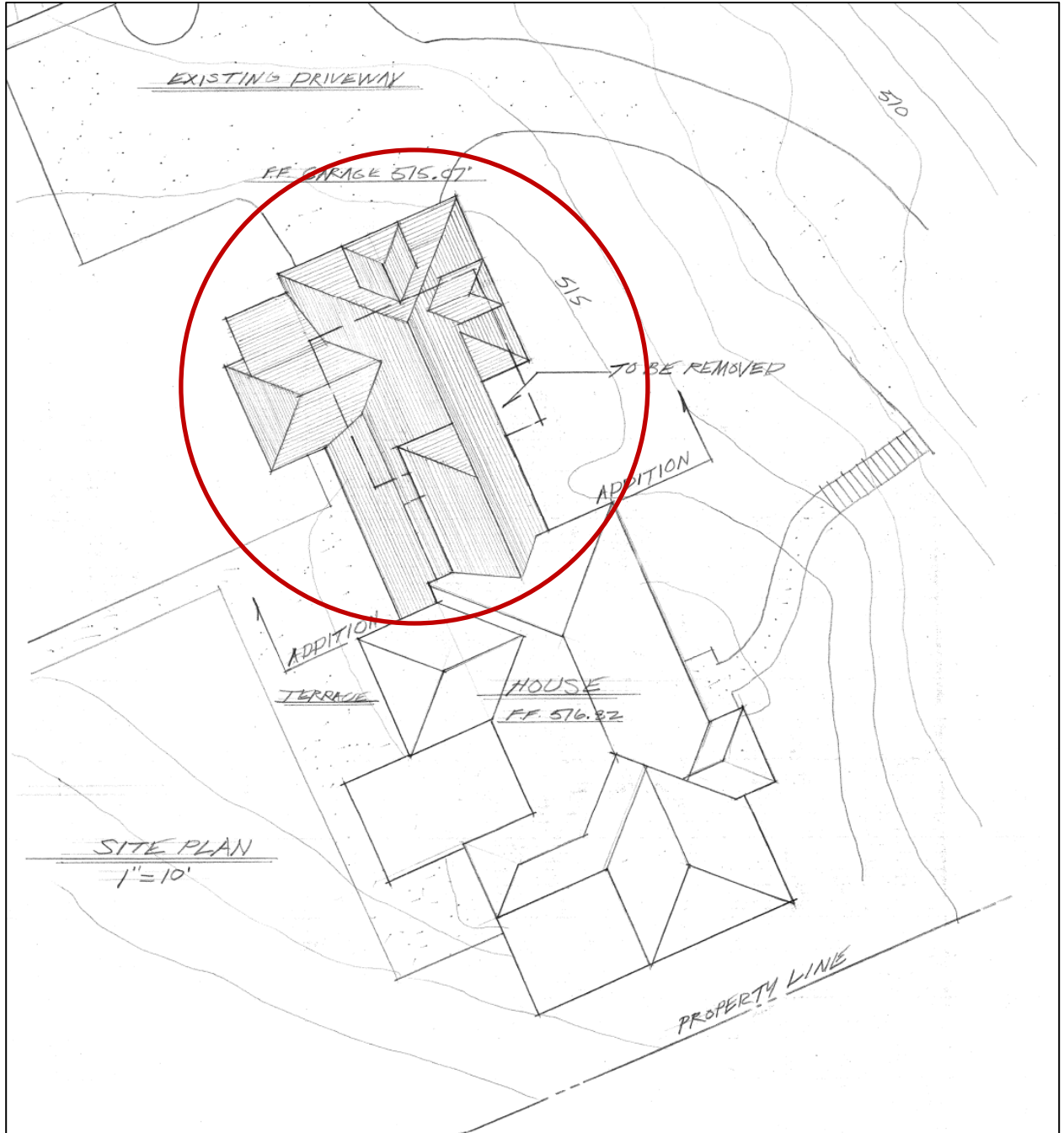


Figure 3. Site plan showing location of proposed work



Figure 4. North elevation showing existing street-facing façade and proposed addition.



Figure 5. South elevation showing existing rear façade and proposed addition

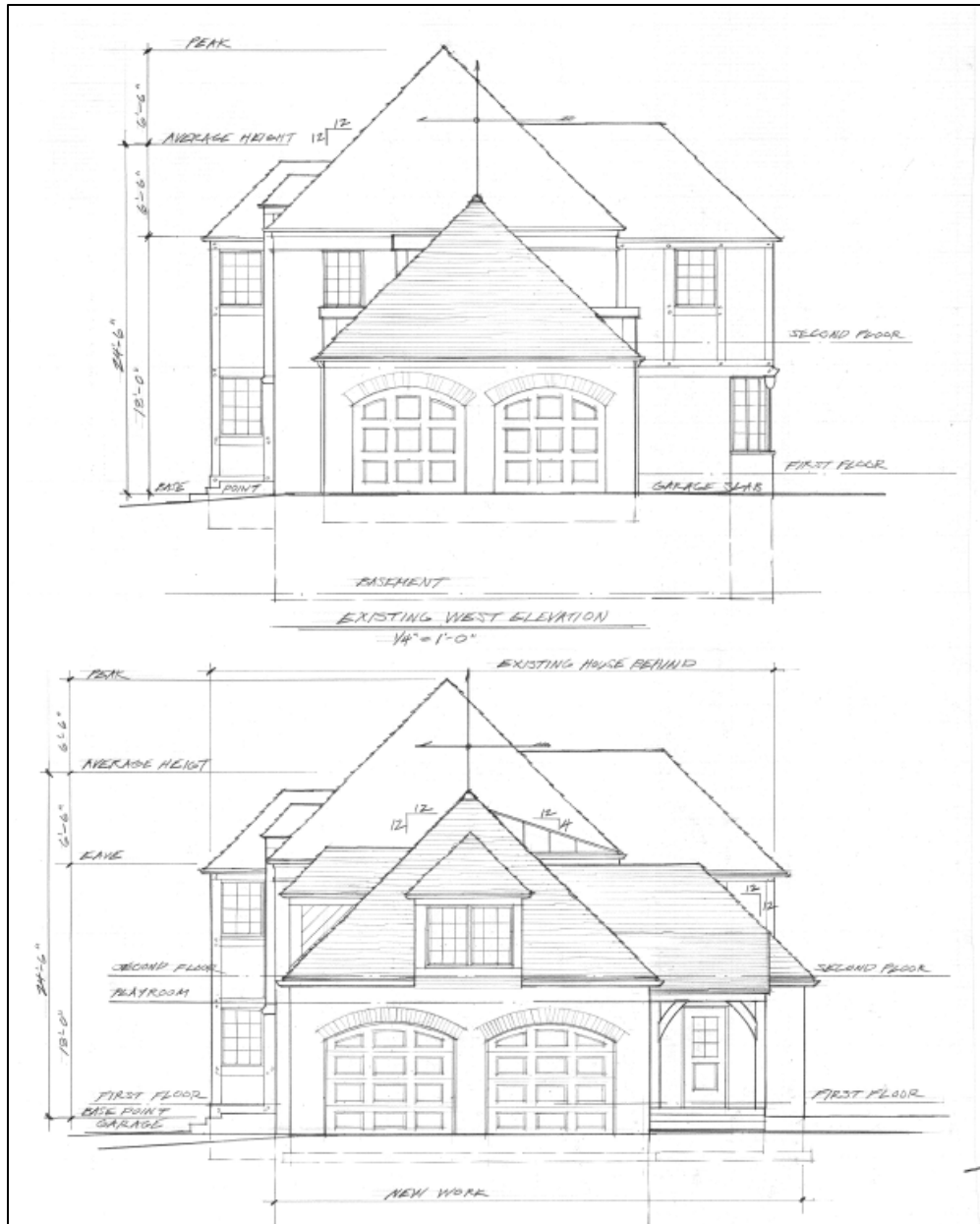


Figure 6. West facade facing the garage showing the existing garage and proposed work



Figure 7. Existing North (street facing) façade – main block of the house



Figure 8. Remaining portion of North street-facing facade (garage and service wing) and location of proposed addition.



Figure 9. Existing garage



Figure 10. Existing south façade (rear) and location of proposed addition

The project requires approval of the following applications:

1. [HR-2024-003](#): Type III Historic Resource review (exterior alteration of a landmark)

Analysis

As stated earlier historic resource review is not a common application in Milwaukie, and especially not for a private residence. Due to the infrequency of this type of application and the technical historic architectural review required to analyze the application, as noted earlier in this staff report, the city contracted with the Peter Meijer Architecture firm, which specializes in historic architecture, to assist staff in the review of this application.

MMC 19.403 provides regulatory language for review of alterations to listed historic resources, including a purpose section and approval criteria. The approval criteria are deliberately discretionary to allow for opportunities for changes to these resources while still preserving key architectural elements and maintaining complementary design and visual integrity, while ensuring continued modern use of the structure.

1988 Cultural Resources Inventory

The Milwaukie Historic Resources Inventory is adopted as part of the city's Comprehensive Plan and consists of two different types of historic resources designations within the city – significant and contributing. Historic resources that are designated as significant require the highest level of review. There are 16 properties in the city that are designated as significant. The historic resources listed in the inventory were given scores to determine their significance. Scoring occurred in the late 1980s based on a list of criteria that include person/group/organization affiliated with the property, event associated with the property, pattern, style/building type/convention, design/artistic quality, material construction, integrity, rarity, landmark, setting, and continuity. To be designated as "significant," an historic resource must receive a rating score level of 60 or greater on the evaluation worksheet and be at least 50 years old, or score a high of 10 in at least two of the categories of the evaluation worksheet, or be listed on the National Register of Historic Places.

Built in 1941, this house did not meet the 50-year criterion for listing on the National Register of Historic Places, and it received a total score of 56, less than the required score of 60. However, the rating of "Significant" was determined because it received a full score (10/10) on Person and Style:

1. **Person/Group/Organization:** It received full marks for the Person category because of its association with E. Roy Jarman, owner and president of Jarman-Williamson, Inc, a nationally known Milwaukie company that developed and refined the golfcart. The Jarman-Williamson Company remained a leader and innovator in the industry for over thirty years, expanding its production of golf merchandise to include many different lines that gained national prominence.

2. **Style/Building Type/Convention:** It received full marks in the Style category as an excellent example of the Arts and Crafts style. The house was designed by well-known Portland architect Richard Sundleaf and is composed of several rectangular volumes capped with steeply pitched hip roofs. The exterior walls are clad in brick and there is a massive interior brick chimney.

The 1988 Historic Resource Survey determined the following as important decorative features to this home:

- Elongated oriel window on the second floor with leaded glass
- Full-height rectangular bay with brick and mock half-timbering in the façade
- Decorative raised brick course
- Leaded glass bow window on rear elevation
- Recessed entry with paneled door
- Use of rectangular-paned windows throughout
- Curved dormers and garage doors

Key Question

Staff has identified the following question for the Commission's deliberation. Aspects of the proposal not listed below are addressed in the Findings (Attachment 1) and generally require less analysis and discretion. The contracted architect provided review comments both on the original application submittal and the additional information the applicant submitted in response to the first review (Attachments 3, 4, and 5).

This analysis includes review of the [approval criteria](#) for exterior alterations to a historic resource as well as the proposal's response to the purpose of the historic resources overlay zone, which includes applicable statements such as:

- Preserve diverse and significant architectural styles reflecting phases of the City's history and encourage complementary design and construction relative to cultural resources.
- Enhance property value and increase economic and financial benefits to the City and its residents.

Staff recognize that this is a private residence and that there's a need for structures to evolve over time to meet updated building and energy codes and accommodate the needs of their occupants. The concerns are discussed in more detail below, along with the applicant's response to the approval criteria, and the consultant's recommendation for how the criteria can be met.

A. Is the proposal consistent with the visual integrity or style of the home, including building height, horizontal additions, and windows?

Retention of Original Structure

This criterion states that distinguishing qualities defining a resources character shall not be destroyed and that removal or alteration of historic materials shall be avoided. The proposal is for the demolition and re-building of a wing of the house with a near similar addition. The existing service wing and garage of the home contains a kitchen, garage, playroom, upstairs bath, and back stairs. The new wing will include a new kitchen, garage, mudroom, playroom, upstairs bath, and back stairs.

The design intent for the proposal, as described in the application, is that, like many houses of the era (ca 1940s), the existing kitchen is very small, there is no mudroom, and the garage is too small for parking today's cars. The upstairs bath does not meet current code for headroom, and both the playroom and upstairs hall also have limited headroom. A modern working kitchen is proposed as well as a mudroom. The existing breakfast room will remain as is. This addition will bring the service area into scale with the main rooms and the applicant believes the house function better for an extended family. The total increase in lot coverage resulting from the work is approximately 517 sq ft.

As described in the application materials, the proposed addition is designed to be compatible with the existing house. Where appropriate, such as on the street-facing north façade, the existing dormers will be replicated. In instances where an entirely new element is introduced, the new element is different than existing elements. For example, the new kitchen window borrows the diamond pane glass from the stair window but is of a different scale. The new garage dormers are different than the original garage dormers but use the same window size found in the rest of the house. The south dormer uses window sizes found on the house, but it is of a different style than other dormers. The proposed design idea was to make the new work familiar and compatible with the existing but not copy and paste elements randomly.

As shown in the construction drawings, the main portion of the home with its distinctive entry, tall stair window, and two-story bay and arched dormers will not be altered – the proposed work focuses on the north wing of the home which includes the garage. As explained in the application narrative, the proposed addition replicates the existing scale, opening proportions, and massing of the house. The window sizes in the proposed addition will match the window sizes found on the main house and will match the wood clad windows with simulated lead light divisions.

The existing brick on the house will be removed and reused on the street-facing facades of the addition. New brick that matches the original brick will be blended into the brickwork on the south elevation. The scale of the dormers was determined by the size of the existing windows. Two dormers will be replicas of existing dormers.

To preserve the overall character and proportions of the existing house:

- The west wing is proposed to be removed and reconstructed at a slightly larger scale in the same location.
- The existing arch top dormers will be rebuilt.
- The existing brick will be reused on the north elevation.
- The new garage with arched doors will be the same shape and relation to the main body of the house.
- The existing weathervane will be reinstalled on the garage ridge.

These design choices preserve the Character Defining Feature of the house massing and location on the site. The view of the rebuilt wing from the public right of way will retain the current relationship to the site and landscaping. In other words, the proposal will pass the “squint test”: the home will look virtually unchanged after the proposed work as compared to today.

As noted in the consultant’s review, the National Park Service defines Character Defining Features as prominent or distinctive features of the resource. High Preservation Priority Features are the most character defining and are to be maintained and preserved, although alterations may be acceptable as long as the overall form and design are retained. Architectural finishes and features should be preserved. The highest priority features of the subject property are the ones visible from the public right of way, including the features on the north elevation.

Based on staff’s and the consultant’s review, it is clear that there has been a conscious re-use of components and Criteria 1 (removal or alteration of materials should be avoided) is one of many approval criteria. Although the existing service wing is being demolished and replaced, the applicant has designed the new wing to be a near-similar addition that is consistent and compatible with the existing house.

As described in the supplemental application materials, the proposed changes are intended to “enhance the historic resource and assure continued use and enjoyment of the property...the design of the addition is complimentary to the original.” The intent is to also extend the useful life of the historic resource in a sensitive manner and to also support the purpose of the Historic Resource Overlay Zone.

The consultant identified the building height, horizontal additions, and windows criteria as areas for potential improvement for the proposal to better meet the approval criteria. The applicant provided additional explanation for the design decisions in the supplemental materials (Attachment 4) which is discussed below.

Building Height Criterion

The building height criterion states that existing building heights and pitches should be maintained. The existing building features roofs with a 12:12 roof pitch and this proposal retains the existing pitch of the main roof. No changes are proposed to be made to the foundation that would influence the building's permanent elevation. The roof height of the addition is proposed to rise, although the new addition will remain shorter than the existing main roof of the home, retaining this composition.

The consultant makes recommendations to better meet the criteria. They note that the building height criterion could be better met with adjustments to the dormer shapes, ensuring the ridge of the south dormer is not visible over the main roof ridge, and offsetting the garage extension.

The applicant notes that the main roof pitches on the addition will remain the same as the existing house (12:12). The new elements (new dormer and shed roof) will have a lower 4:12 pitch, but they are not visible from the street. The arched top dormers will be replicated and the shed roof over the rear kitchen and the lower pitched south dormer were design decisions made to reduce the overall height of the addition. These are the only departures from the existing roof profiles and are not visible from the street.

The new hip dormer sits on the south side of the ridge of the addition. The roof is metal as the dormer roof pitch is 4:12. This dormer is not visible from the street and was used to keep the ridgeline as low as possible from the visible elevations of the house.

Horizontal Additions

The criterion allows for horizontal additions on historic structures so long as the scale and proportion of building additions, including the relationship of windows to walls, are visually compatible with the traditional architectural character of the historic building.

To better meet the approval criteria, the consultant makes a design suggestion to relocate the addition behind the face of the main house so that it does not extend beyond either the north or south elevations of the center volume of the home. They also suggest that the southern garage extension should be offset from the roofline and building behind, and aligning the windows, sills, and eaves of the southern dormer with that of the main body of the home.

The applicant's response is that moving the wall of the kitchen out to the south will have the effect of flattening the south elevation and the earlier library addition also has the effect of flattening the south elevation. In response to this, the extension of the mud room wing to the south will help restore the rhythm of wings projecting out from the main house. On the north elevation the garage is held back from the face of the main mass of the house to better fit the grades and existing driveway.

Windows

Window replacement is allowed under the MMC as long as they match the originals as closely as possible. Many of the proposed replacement windows meet the criteria. However, the consultant recommends that the architect redesign several windows to better meet this criterion. These include the proposed first floor north window that is larger and different in design than the historic window, therefore not matching the visual quality of the original. The consultant also suggests that the north elevation dormers should also match the visual qualities of the original. In addition, aligning the height of the windows of the proposed southern dormer with other second floor windows on the main body of the home will better meet the criteria.

The application materials state that all the window sizes with their respective light divisions in the proposed addition match windows that exist on the main house. The only exceptions are the kitchen window on the north elevation and the French doors on the south elevation. The north kitchen windows are the same size as other windows in the house, but the light division has been changed to give more privacy from the street and to add a decorative element on the larger north kitchen wall. The south French doors provide direct access to the garden from the kitchen. They are only visible from the private garden. The window heads in the south dormer over the kitchen are 6'-8" and match the window heads in the adjacent second floor bedroom.

Summary

The distinguishing original qualities that define the resource's character (the main block of the house) will not be destroyed. Contributing features of the house (the low ridge connecting the garage to the house, the arch top dormers, and the arch top garage doors) will be rebuilt in the same style in the same relative location to preserve the overall massing of the building. The public facing elevations of the house will be nearly identical to the current public view.

The main block of the existing house with its distinctive entry, tall stair window, two story bay and arched dormers will not be altered. This is the portion of the house that is most visible to the public from the road and described as significant in the original Historic Resource Survey of 1988. As described in the application materials, the proposed addition adds a modest amount of area to the home with a near-similar addition that replicates key aspects of the original structure.

CONCLUSIONS

A. Staff recommendation to the Planning Commission:

Based solely on the approval criteria staff recommend that the Commission deny the application. However, staff and the consultant recognize that this is a private residence, and structures need to evolve over time for both modern use and code compliance;

applications like this one are unique. Therefore, a failure to fully meet all the approval criteria, or comply with every consultant recommendation, might not necessarily result in an outright denial of the proposal.

CODE AUTHORITY AND DECISION-MAKING PROCESS

The proposal is subject to the following provisions of the Milwaukie Municipal Code (MMC).

- MMC 19.301 Moderate Density Residential Zone
- MMC 19.403 Historic Preservation Overlay
- MMC 19.1006 Type III Review

This application is subject to Type III review, which requires the Planning Commission to consider whether the applicant has demonstrated compliance with the code sections shown above. In Type III reviews, the Commission assesses the application against review criteria and development standards and evaluates testimony and evidence received at the public meeting.

The Commission has 4 decision-making options as follows:

- A. Deny the application subject to the recommended Findings of Denial
- B. Deny the application with modified Findings of Denial. Such modifications need to be read into the record.
- C. Approve the application upon finding that it does meet the approval criteria. Such findings need to be read into the record.
- D. Continue the hearing.

The final decision on these applications, which includes any appeals to the City Council, must be made by February 6, 2025, in accordance with the Oregon Revised Statutes and the Milwaukie Zoning Ordinance. The applicant can waive the time period in which the application must be decided.

COMMENTS

Notice of the proposed changes will be provided prior to the public hearing to the following agencies and persons: City of Milwaukie Engineering, Building, Community Development, and Public Works Departments, Clackamas Fire District #1, NDA Program Manager, City Attorney, and the Historic Milwaukie Neighborhood District Association (NDA). Notice was also sent to all properties within 300 ft of the site.

ATTACHMENTS

Attachments are provided as indicated by the checked boxes. All material is available for viewing upon request.

	Early PC Mailing	PC Packet	Public Copies	Packet
1. Recommended Findings in Support of Denial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Early PC Mailing	PC Packet	Public Copies	Packet
2. Applicant's Narrative and Supporting Documentation received September 23, 2024.				
a. Narrative	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b. Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
c. Construction Drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3. Consultant review dated October 8, 2024	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4. Applicant's supplemental information received November 10, 2024	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
5. Consultant second review dated November 14, 2024	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6. Historic Resource Inventory Listing, 1988	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Key:

Early PC Mailing = materials provided to PC at the time of application public notice.

PC Packet = materials provided to PC 7 days prior to the hearing.

Public Copies = paper copies of the packet available for review at City facilities and at the PC meeting.

Packet = packet materials available online at <https://www.milwaukieoregon.gov/bc-pc/planning-commission-133>.

ATTACHMENT 1
Findings in Support of Denial
Primary File #HR-2024-003; 9712 SE Cambridge Ln historic review

Sections of the Milwaukie Municipal Code not addressed in these findings are found to be inapplicable to the decision on this application.

1. The applicant, Hilary Sundeleaf MacKenzie, has applied for approval to alter the historic structure at 9712 SE Cambridge Ln. This site is in the Moderate Density Residential (R-MD) Zone. The primary land use application file number is HR-2024-003.
2. The applicant is seeking land use approval to alter the structure by replacing the service wing (existing kitchen, playroom, upstairs bath, and back stairs) and garage with an addition for a new kitchen, garage, mudroom, playroom, upstairs bath, and back stairs.
3. The proposal is subject to the following provisions of the Milwaukie Municipal Code (MMC):
 - MMC 19.301 Moderate Density Residential Zone
 - MMC 19.403 Historic Preservation Overlay
 - MMC 19.1006 Type III Review

The application has been processed and public notice provided in accordance with MMC Section 19.1006 Type III Review. A public hearing was held on December 10, 2024, as required by law.

4. MMC 19.301 Moderate Density Residential Zone
 - a. MMC 19.301.3 Uses

MMC Table 19.304.3 establishes the uses that are allowed in the Moderate Density Residential Zone (R-MD)

The property is the site of a single detached dwelling, which is a permitted use in the R-MD zone.

This standard is met.

- b. MMC 19.301.4 Development Standards

MMC 19.301.4 establishes standards for new development in the R-MD zone.

Table 1 provides the applicable standards for development in the R-MD zone.

Table 1			
Lot and Development Standards			
Standard	R-MD Requirement	Existing	Proposed
Min/max lot size	5,000+ sq ft	51,400 sq ft	51,400 sq ft

Front yard	Lots 7,000+ sq ft = 5/10 ft	62 ft	53 ft
Side yard(s)	Lots 7,000+ sq ft = 5/10 ft	147 ft/105 ft	147 ft/105 ft
Rear yard	Lots 7,000+ sq ft = 5/10 ft	10 ft	10 ft
Maximum Lot Coverage	Lots 7,000+ sq ft = 30%	3,160 sq ft (6%)	3,677 sq ft (7%)

The Planning Commission finds that the proposal meets all applicable development standards of MMC 19.301.

5. MMC 19.403 Historic Preservation Overlay

MMC 19.403 provides standards and procedures for review of applications related to identified historic resources.

The subject property is identified on the City historic and cultural resources inventory as a "Significant" historic resource; therefore, the regulations in MMC 19.403 apply.

a. MMC 19.403.5 Alteration and Development

- (1) MMC 19.403.5.A requires review for any exterior alteration of a landmark deemed "Significant" in the City historic inventory.

The subject property is designated a "Significant" historic resource and the proposed improvements are for exterior alterations, including an addition. The proposed improvements are subject to review under the provisions of MMC 19.403.

- (2) MMC 19.403.5.B requires that an application for exterior alteration of a landmark be submitted to the Planning Director, in such form and detail as prescribed by the Director. Applications that do not meet the requirements for projects subject to administrative approval as per MMC 19.403.5.C shall follow the Type III review process outlined in MMC 19.1006.

An application with sufficient detail has been submitted for Type III review. This standard is met.

- (3) MMC 19.403.5.D provides for approval of alteration requests that do not qualify for administrative approval.

The proposal is to construct an addition to the home, replacing the existing kitchen, garage, playroom, upstairs bath, and back stairs, with a new kitchen, garage, mudroom, playroom, upstairs bath, and back stairs.

Because the addition does not meet the standards for administrative approval, the application has been combined under a Type III review, per MMC 19.1006.

- (4) MMC 19.403.5.E establishes approval criteria for alterations to landmarks.

The proposed improvements have been evaluated against the relevant approval criteria as follows:

- (a) Retention of Original Construction

The main block of the existing house with its distinctive entry, tall stair window, two story bay and arched dormers will not be altered. This is the portion of the house that is most visible to the public from the road.

This criterion is met.

- (b) Building Height

The height of the building will remain unchanged as the main mass of the building would be untouched. The west wing of the house and the new garage will be about 16" higher than the existing west wing and garage. The new west wing and garage will be about 12' below the peak of the main house. The existing house has a 12:12 roof pitch. Several dormers have a distinctive curved roof. The new addition will have a 12:12 roof pitch. The distinctive curved roof dormers will be replicated. On the south elevation there is a new dormer and shed roof that have a lower 4:12 pitch. These new elements are only visible from the garden and are not visible from the road. The new foundation will match the height of the existing foundation. No changes to existing building height are proposed.

However, this criterion has not been fully addressed and is not yet met. The existing building features roofs with a 12:12 roof pitch and this proposal retains the existing pitch of the main roof. No changes are proposed to be made to the foundation that would influence a building's permanent elevation. The roof height of the addition is proposed to rise, although the new addition will remain shorter than the existing main roof of the home, retaining this composition. Other changes to the south elevation include the proposed dormer on the south elevation with a proposed pitch of 12:4, the roof line of the southern garage extension, and the roofline above the garage pedestrian entrance.

In order to meet this criterion, the overall roof height of the addition should maintain the historic roof height while retaining the 12:12 roof pitch. If all proposed dormers on the north elevations are curved, this would better match the original dormers and meet the criteria, as well as ensuring the ridge of the south dormer is not visible over the main roof ridge would meet the criteria. Additionally, to better meet the criteria, the roofline of the southern garage extension should be offset and moved westward in order for the roofline behind to

be visible, matching the other offset rooflines throughout the home; and redesigning the proposed roof above the garage pedestrian entrance to be flat to match the flat roofline of the south patio cover.

This criterion is not met.

(c) **Horizontal Additions**

The proposed addition replicates the existing scale, opening proportions, and massing of the house. The window sizes in the addition will match the window sizes found on the main house. The scale of dormers was determined by the size of the existing windows. Two dormers will be replicas of existing dormers. The existing brick on the house will be removed and reused on the public facing facades of the addition. New brick that matches the original brick will be blended into the brick work on the south elevation.

In order to meet this criterion, the applicant should relocate the addition behind the face of the main house so as to not extend beyond either the north or south elevations of the center volume of the home. The southern garage extension should be offset from the roofline and building behind, and aligning the windows, sills, and eaves of the southern roof dormer with that of the main body of the home will better meet the criteria.

This criterion is not met.

(d) **Windows**

The original windows in the house were replaced by the previous owner prior to listing the property for sale in 2021. Only the windows in the main part of the house were replaced, and the replacement windows are wood clad with simulated lead light divisions. These match the original light divisions. The new work will also use these windows with the simulated lead light divisions.

This criterion is met.

(e) **Restoration Possible**

If desired in the future, the proposed addition could be removed and the original wing and garage re-built. The main block of the house will remain unchanged.

This criterion is met.

(f) **Signs and Lighting**

Site landscaping will remain mostly unchanged. There are no signs proposed. New exterior lighting will be compatible with the existing lighting. Where existing lighting, conductor heads, and other distinguishing features are removed, they will be either refurbished, reused, or replaced with similar materials. The existing weathervane on the garage peak will be installed on the new garage peak

This criterion is met.

(g) **Time Period Consistency**

The proposed addition is designed to be compatible with the existing house. Where it is appropriate, like on the north façade, the existing dormers will be replicated. In instances where an entirely new element is introduced, the new element is different than existing elements. The new kitchen window borrows the diamond pane glass from the stair window but is of a different scale. The new garage dormers are different than the original garage dormers but use the same window size found in the rest of the house. The south dormer uses window sizes found on the house, but it is of a different style than other dormers. The idea was to make the new work familiar and compatible with the existing but not copy and paste elements randomly.

This criterion is met.

(h) Visual Integrity/Style

The proposed improvements include replicating the distinctive brick work, as well as the distinctive arched top garage doors and arched top dormers with metal roofs. Eave details, window trim, and other common elements on the exterior will be replicated so the house has a consistent look.

This criterion is met.

(i) Replacement or Additional Materials

The existing brick will be reused on the most visible sides of the house. On the less visible south side, new brick will be blended with the original brick. The half timbering on the south second floor will be replicated on the new south dormer. Windows will match the existing windows on the house.

This criterion is met.

(j) Buffering

This requirement relates to screening or buffering when a new commercial or industrial improvement or use is proposed on a designated resource.

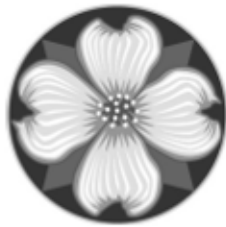
This criterion is not applicable.

The proposed improvements meet the applicable standards of MMC 19.403.

6. The application was referred to the following departments and agencies on October 16, 2024:

- Milwaukie Building Division
- Milwaukie Engineering Department
- Milwaukie Public Works Department
- Clackamas County Fire District #1
- Historic Milwaukie Neighborhood District Association Chairperson and Land Use Committee

7. Notices were sent to all properties within 300 ft of the subject property on November 20, 2024. Comments were received as follows:



MILWAUKIE PLANNING
 10501 SE Main St.
 Milwaukie OR 97222
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: HR-2024-003

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map Amendment | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Community Service Use | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance: |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input type="checkbox"/> Director Determination | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Natural Resource Review** | <input type="checkbox"/> Willamette Greenway Review |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input checked="" type="checkbox"/> Historic Resource: | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input checked="" type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Deletion | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| | | • Appeal |

RESPONSIBLE PARTIES:


APPLICANT (owner or other eligible applicant—see reverse):	Hilary Sundeleaf Mackenzie
Mailing address:	PO Box 2966, Portland State/Zip: OR 97208
Phone(s):	503-282-7674 Email: hilary@sundeleafmackenzie.com
<i>Please note: The information submitted in this application may be subject to public records law.</i>	
APPLICANT'S REPRESENTATIVE (if different than above):	see above
Mailing address:	State/Zip:
Phone(s):	Email:

SITE INFORMATION:

Address:	9712 SE Cambridge Lane, Milwaukie, OR 97222	Map & Tax Lot(s):	T1S, R1E, SE 1/4 Sec 26, tax lot 600
Comprehensive Plan Designation:	Low Density	Zoning:	R-MD
		Size of property:	1.18 acres

PROPOSAL (describe briefly):

Alteration to an historic resource, replacing the existing kitchen, garage, playroom, upstairs bath, and back stairs, with a new kitchen, garage, mudroom, playroom, upstairs bath, and back stairs

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.
Submitted by:  Date: 9/20/24

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.
 ** Natural Resource and Transportation Review applications require a refundable deposit.

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT <small>(after discount, if any)</small>	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	HR-2024-003	\$ 2,000			
Concurrent application files		\$			
		\$			
		\$			
		\$			
Deposit (NR/TFR only)			<input type="checkbox"/> Deposit Authorization Form received		
TOTAL AMOUNT RECEIVED: \$			RECEIPT #:	RCD BY:	
Associated application file #s (appeals, modifications, previous approvals, etc.):					
Neighborhood District Association(s): HISTORIC MILWAUKIE					
Notes:					



I authorize Hilary Mackenzie to
operate as my representative to the
City of Milwaukee for the property

9712 58. Cambridge Lane.

She is therefore authorized to submit
the application for the Historic Resource Review
and any further applications.

Mave Lathrop

IN PAPIRO - MADE IN ITALY

Historic Review**9712 SE Cambridge Lane, Milwaukie, Oregon 97222**

Project purpose: Like many houses of the era (ca 1940s), the existing kitchen is very small, there is no mudroom, and the garage is too small for parking today's cars. The upstairs bath does not meet today's codes for headroom. Both the playroom and upstairs hall also have limited headroom. The property owners love to cook and entertain, so it was important to have a modern working kitchen. The existing breakfast room will remain as is. The owners have five dogs and many grandchildren and like to work in the garden, so having a mudroom that opens directly to the garden for children and dogs was important. As was having a garage that would fit their cars. This addition will bring the service area into scale with the grand main rooms and will make the house useful for an extended family.

MMC 19.403.5 Alteration and Development**Approval Criteria and Findings**

Approval of a permit to alter a landmark or any property in the HP District shall be based on findings of adherence to the following guidelines:

1.**Retention of Original Construction**

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

The main block of the existing house with its distinctive entry, tall stair window, two story bay and arched dormers will not be altered. This is the portion of the house that is most visible to the public from the road. This criterion is met.

2.**Building Height**

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

The height of the building will remain unchanged as the main mass of the building is untouched. The west wing of the house and the new garage will be about 16" higher than the existing west wing and garage. The new west wing and garage will be about 12' below the peak of the main house. The existing house has a 12:12 roof pitch. Several dormers have a distinctive curved roof. The new addition will have a 12:12 roof pitch. The distinctive curved roof dormers will be replicated. On the south elevation there is a new dormer and shed roof that have a lower 4:12 pitch. These new elements are only visible from the garden and are not visible from the road. The new foundation will match the height of the existing foundation. This criterion is met.

3.**Horizontal Additions**

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

The proposed addition replicates the existing scale, opening proportions, and massing of the house. The window sizes in the addition will match the window sizes found on the main house. The scale of dormers was determined by the size of the existing windows. Two dormers will be replicas of existing dormers. The existing brick on the house will be removed and reused on the public facing facades of the addition. New brick that matches the original will be blended into the brick work on the south elevation. This criterion is met.

4.**Windows**

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if nonwood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.

The original windows in the house have been replaced by a previous owner. The existing windows are wood clad with simulated lead light divisions. These match the original light divisions. The new work will also use these windows with the simulated lead light divisions. This criterion is met.

5.**Restoration Possible**

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

The proposed addition could be removed and the original wing and garage re-built. The main block of the house will remain unchanged. This criterion is met.

6.**Signs and Lighting**

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

The landscaping will remain mostly unchanged. There are no signs. New exterior lighting will be compatible with the existing lighting. Where existing lighting, conductor heads, and

other distinguishing features are removed, they will be either refurbished, reused, or replaced with similar materials. The existing weathervane on the garage peak will be installed on the new garage peak. This criterion is met.

7.

Time Period Consistency

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

The proposed addition is designed to be compatible with the existing house. Where it is appropriate, like on the north façade, the existing dormers will be replicated. In instances where an entirely new element is introduced, the new element is different than existing elements. The new kitchen window borrows the diamond pane glass from the stair window but is of a different scale. The new garage dormers are different than the original garage dormers but use the same window size found in the rest of the house. The south dormer uses window sizes found on the house, but it is of a different style than other dormers. The idea was to make the new work familiar and compatible with the existing but not copy and paste elements randomly. This criterion is met.

8.

Visual Integrity/Style

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

The distinctive brick work will be replicated. As will the distinctive arched top garage doors and arched top dormers with metal roofs. Eave details, window trim, and other common elements on the exterior will be replicated so the house has a consistent look. This criterion is met.

9.

Replacement or Additional Materials

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

The existing brick will be reused on the most visible sides of the house. On the less visible south side new brick will be blended with the original brick. The half timbering on the south

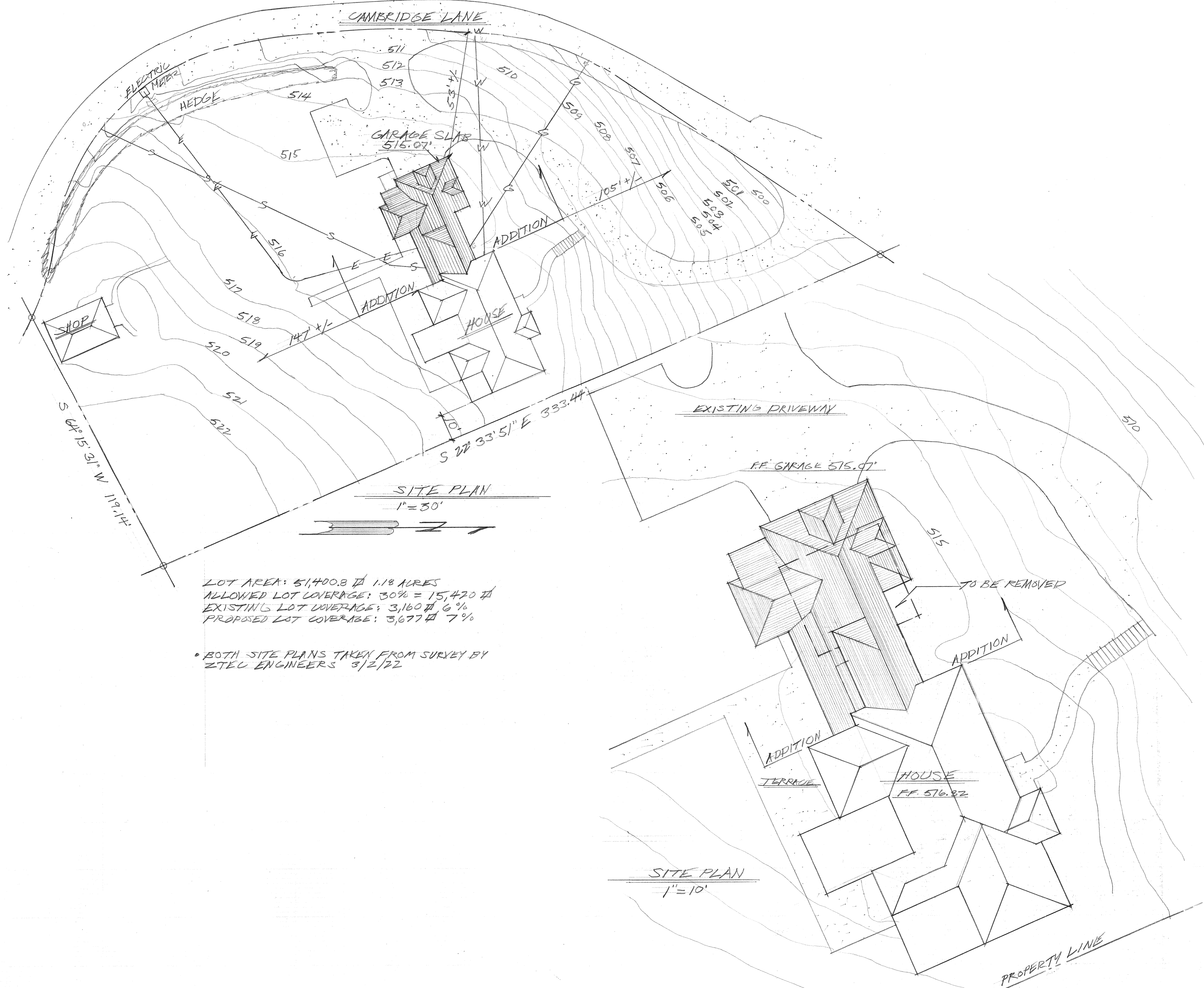
second floor will be replicated on the new south dormer. Windows will match the existing windows on the house. This criterion is met.

10.

Buffering

An appropriate buffer or screen, as provided under Subsection **19.504.6**, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

This criterion is not applicable to this application.



S 64°15'31" N 19.14'

LOT AREA: 51,400.8 # 1.18 ACRES
 ALLOWED LOT COVERAGE: 30% = 15,420 #
 EXISTING LOT COVERAGE: 3,160 # 6%
 PROPOSED LOT COVERAGE: 3,677 # 7%

* BOTH SITE PLANS TAKEN FROM SURVEY BY ZTEC ENGINEERS 3/2/22

SITE PLAN
 1"=30'

SITE PLAN
 1"=10'

Sundeleaf MACKENZIE
 Architecture, Inc.
 hilary@sundeleafmackenzie.com • 503.282.7674
 po box 2966, portland, OR 97208

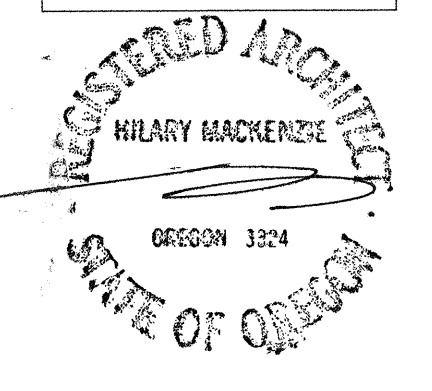
ADDITION FOR
 MARIE & GREG LATHROP
 9712 SE CAMBRIDGE LANE
 MILWAUKIE, OREGON 97222

Date:
 8/26/24

Drawn by:
 HM

Sheet Title:
 SITE PLANS

Scale:
 1"=30'
 1"=10'
 Sheet No.
 /





NORTH ELEVATION-EXISTING

1/4" = 1'-0"



PROPOSED NORTH ELEVATION

1/4" = 1'-0"

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ADDITION FOR
MARIE & GREG LATHROP
9712 SE CAMBRIDGE LANE
MILWAUKIE, OREGON 97222

Date:
9/18/24

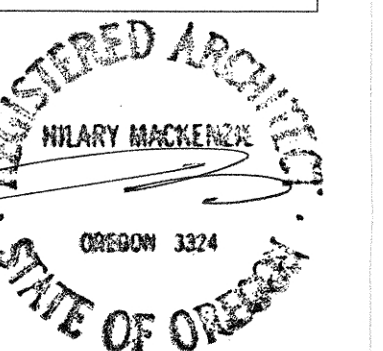
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HM

Sheet Title:
NORTH
ELEVATIONS

Scale:
1/4"

Sheet No.

7





EXISTING SOUTH ELEVATION
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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ADDITION FOR
MARIE & GREG LATHROP
9712 SE CAMBRIDGE LANE
MILWAUKIE, OREGON 97222

Date: 9/13/24

Drawn by:
AM

Sheet Title:
SOUTH
ELEVATIONS

Scale:
1/4"

Sheet No.

9





EXISTING WEST ELEVATION

1/4" = 1'-0"



WEST ELEVATION-PROPOSED

1/4" = 1'-0"

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ADDITION FOR
MARIE & GREG LATHROP
9712 SE CAMBRIDGE LANE
MILWAUKIE, OREGON 97222

Date:
9/18/24

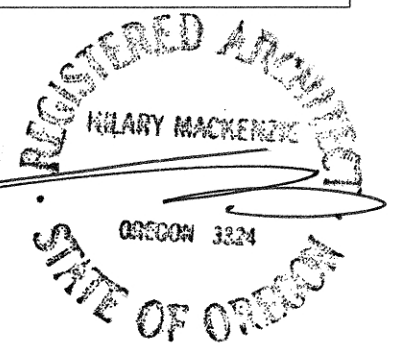
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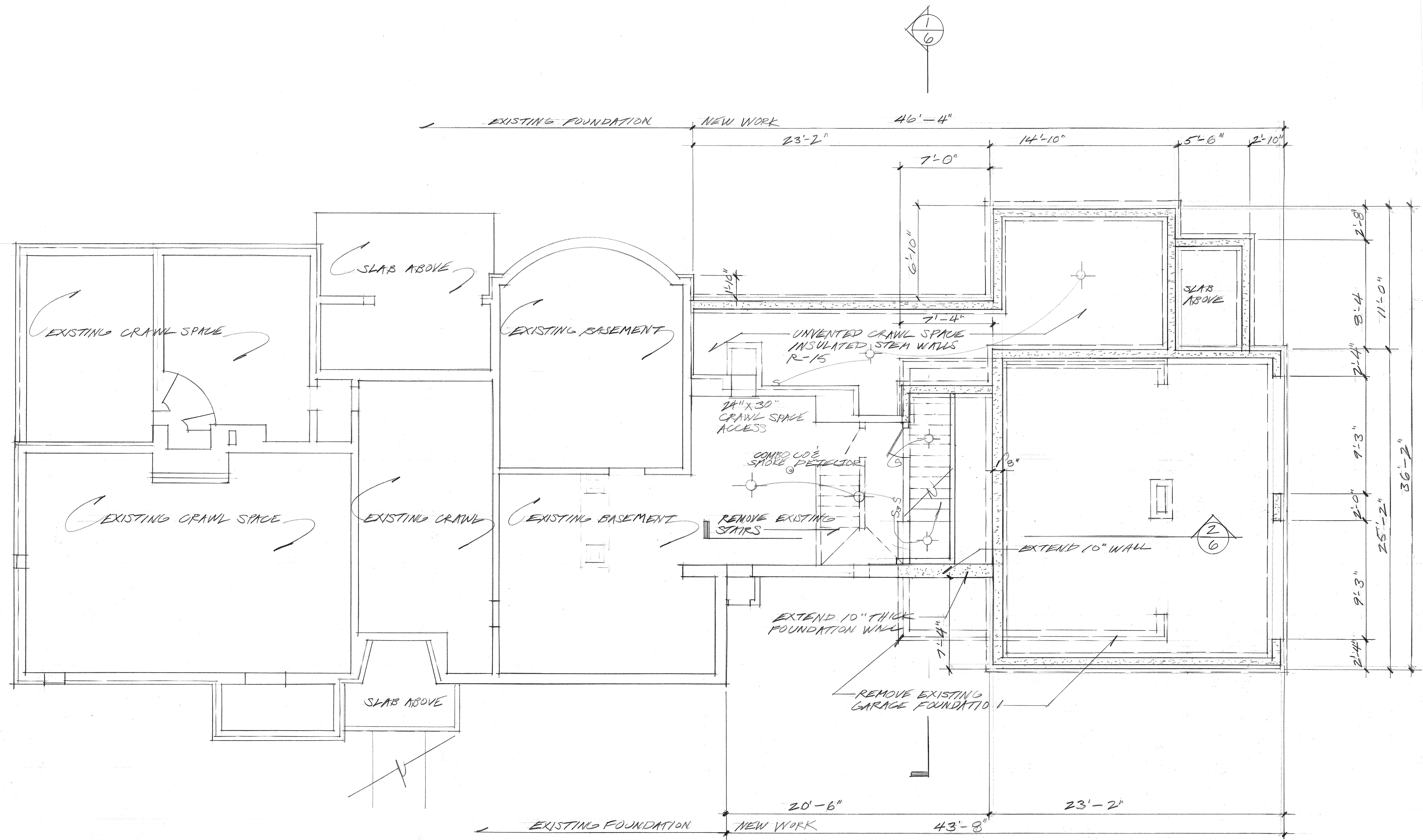
Sheet Title:
WEST
ELEVATION

Scale:
1/4"

Sheet No.

8





FOUNDATION PLAN
1/4" = 1'-0"

* DIMENSIONS ARE TO OUTER FACE OF FOUNDATION WALL

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hilary@sundeleafmackenzie.com • 503.282.7674
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ADDITION FOR
MARIE & GREG LATHROP
9712 SE CAMBRIDGE LANE
MILWAUKIE, OREGON 97222

Date:
8/26/24

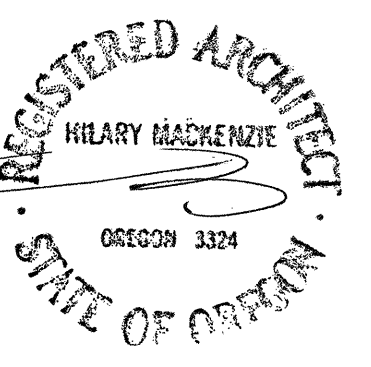
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Sheet Title:
BASEMENT
FOUNDATION
PLAN

Scale:
1/4" = 1'-0"

Sheet No.

3



ADDITION FOR
MARIE & GREG LATHROP
9712 SE CAMBRIDGE LANE
MILWAUKIE, OREGON 97222

Date:
8/26/24

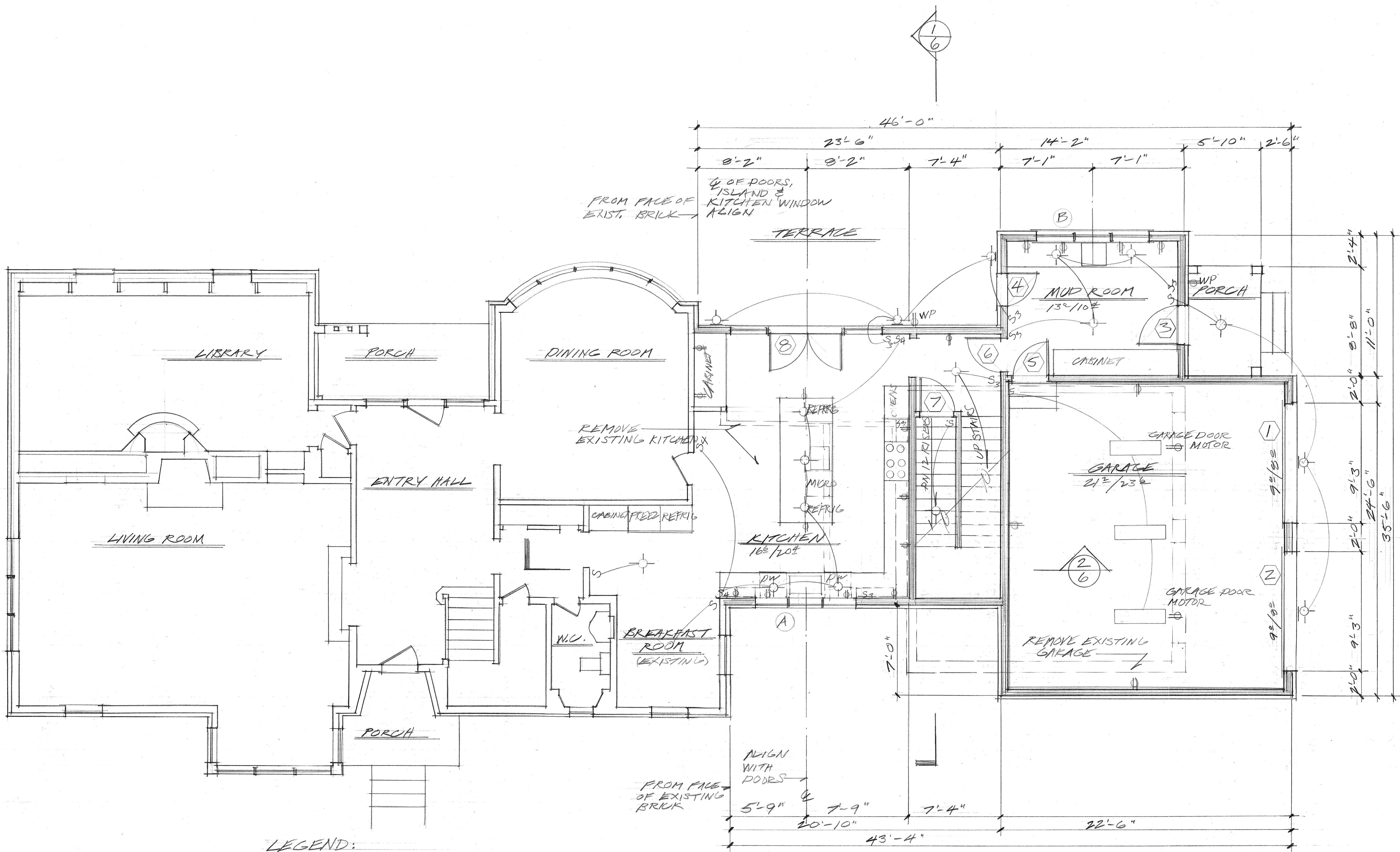
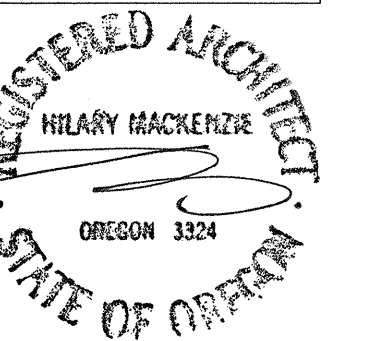
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Sheet Title:
FIRST
FLOOR
PLAN

Scale:
1/4" = 1'-0"

Sheet No.

4



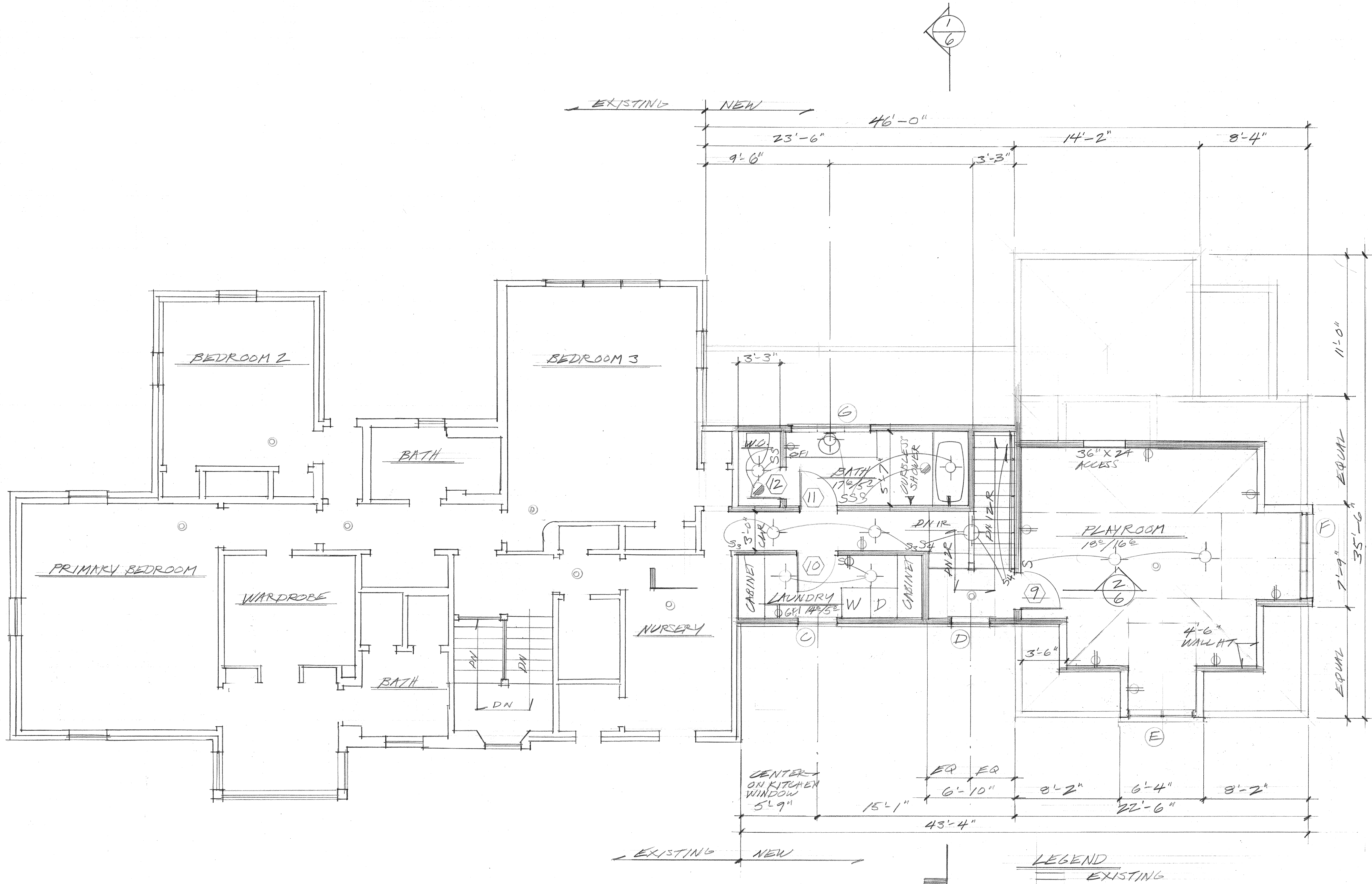
LEGEND:

- EXISTING
- REMOVE
- NEW
- SURFACE FIXTURE
- WALL MOUNT
- DUPLEX OUTLET
- UNDER CABINET LIGHT

FIRST FLOOR PLAN

1/4" = 1'-0"

• DIMENSIONS ARE TO FACE OF STUDS EXCEPT AT EXISTING FACE OF HOUSE



SECOND FLOOR PLAN
 1/4" = 1'-0"

LEGEND
 --- EXISTING
 - - - REMOVE
 = = = NEW
 ⊙ COMBO DOOR/SMOKE DETECTOR

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 Architecture, Inc.
 hilary@sundeleafmackenzie.com • 503.282.7674
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ADDITION FOR
 MARIE & GREG LATHROP
 9712 SE CAMBRIDGE LANE
 MILWAUKIE, OREGON 97222

Date:
 3/26/24

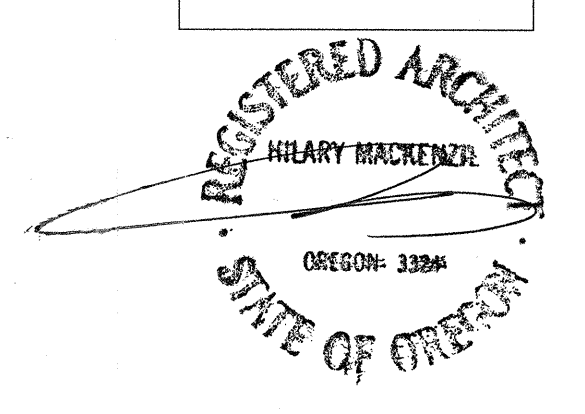
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Sheet Title:
 SECOND FLOOR PLAN

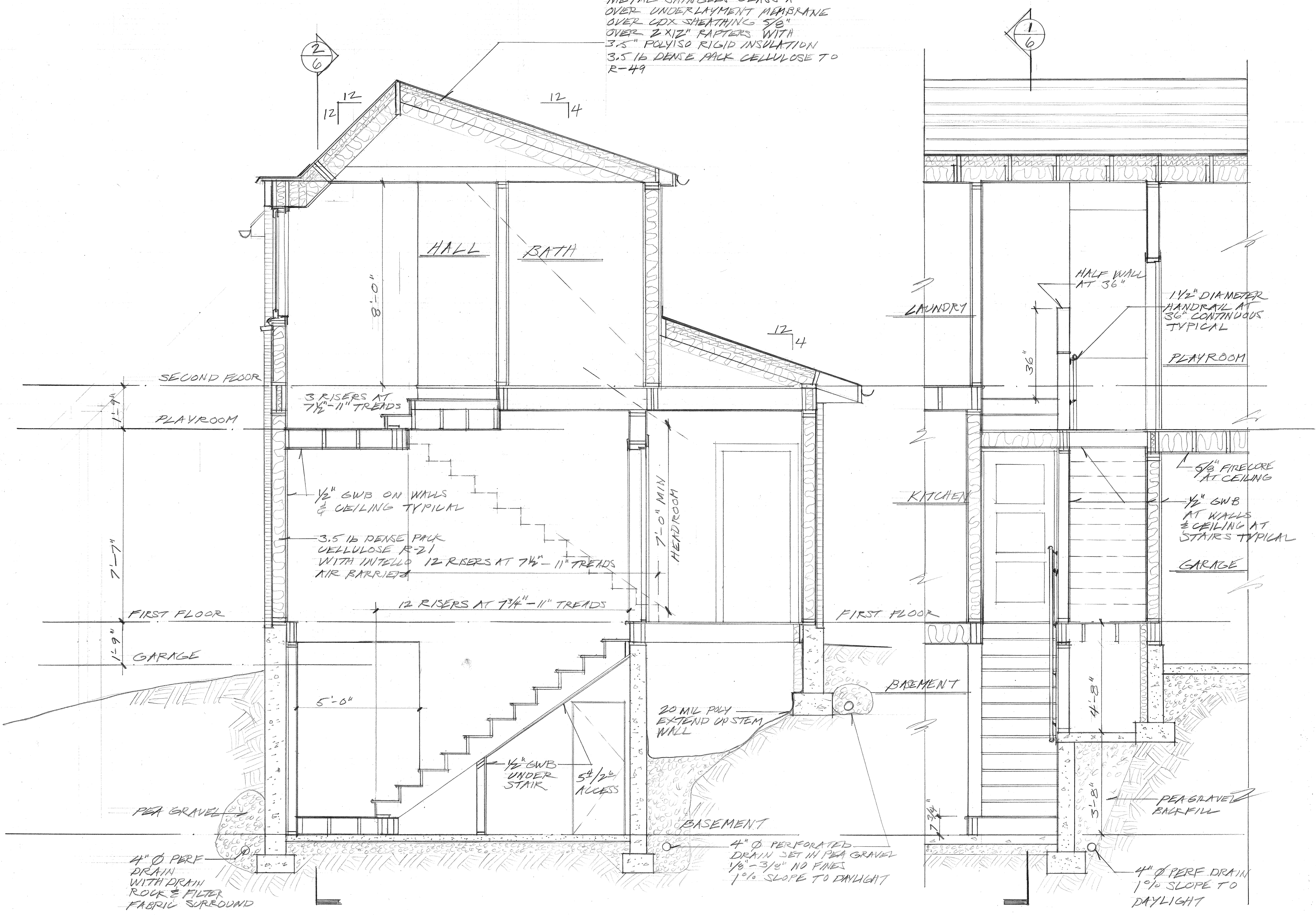
Scale:
 1/4" = 1'-0"

Sheet No.

5



METAL SHINGLES CLASS A
 OVER UNDERLAYMENT MEMBRANE
 OVER CDX SHEATHING 5/8"
 OVER 2 X 12" RAFTERS WITH
 3.5" POLYISO RIGID INSULATION
 3.5 16 DENSE PACK CELLULOSE TO
 R-49



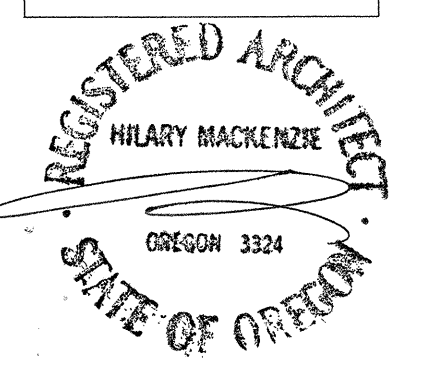
1 STAIR SECTION
 1/2" = 1'-0"

2 STAIR SECTION
 1/2" = 1'-0"

Sundeleaf MACKENZIE
 Architecture, Inc.

ADDITION FOR
 MARIE & GREG LATHROP
 9712 SE CAMBRIDGE LANE
 MILWAUKIE, OREGON 97222

Date: 8/26/24
 Drawn by: HM
 Sheet Title: STAIR SECTIONS
 Scale: 1/2" = 1'-0"
 Sheet No. 6



hilary@sundeleafmackenzie.com • 503.282.7674
 po box 2966, portland, OR 97208















Historic Resource Land Use Review – Approval Criteria, Findings, and Recommendations 9712 SE Cambridge Lane, Milwaukie, Oregon

Prepared for:

City of Milwaukie, Oregon

October 8, 2024

Description of the Historic Resource Land Use Review Application

The Historic Resource Land Use Review Application proposes the demolition of the west wing of the home and a near similar addition constructed in the same location. The main, center volume of the home will remain as it has historically, including the following character-defining features of the home: the elongated oriel second floor window with leaded glass, the full-height rectangular bay with brick and mock half-timbering with similar bay on rear elevation, the mock half-timbering throughout the elevations, the recessed front entry with paneled door, the decorative raised brick course, the leaded glass bow window on rear elevation, and the rear entrance and entrance vestibule. The proposed changes to the home will demolish the western wing of the home, including original brick cladding, roofing shingles, curved dormers, curved garage doors, and rectangular-paned windows and rebuilding a near similar addition that extends more westward and southward than the original west wing. The application proposes the following changes to the design of the west addition:

General

- The wood roofing shingles will be replaced in kind.
- The historic brick will be saved and reused on the north elevation of the addition. The remaining brick will be mixed with new, but similar, brick on the west and south elevations.
- The height of the new west wing and garage will be 16 inches higher than the existing, and 12 feet below the peak of the main house. The new addition will have a 12:12 roof pitch matching the existing house.
- New foundation will match the height of the existing foundation.
- All existing windows are wood clad with simulated lead light divisions.
- As a wood frame construction technique, the proposed addition could be removed and the original west wing and garage design rebuilt.
- Landscaping will remain mostly unchanged.
- New exterior lighting, conductor heads, and other distinguishing features will either be refurbished, reused, or replaced with similar materials.
- Eave details, window trim, and other common elements will be replicated.

North Elevation

- The first-floor casement window with 3-over-3 panes is proposed to be replaced with a tri-part window with diamond leading.
- The eastern curved dormer will be replaced in kind and a matching one added directly to the west.

ATTACHMENT #3

City of Milwaukie Historic Resource Land Use Review
9712 SE Cambridge Lane
October 8, 2024

- The original curved dormer on the garage is proposed to be replaced with a steeply pitched hip roof dormer clad with diagonal board.
- The existing weathervane will be reinstalled in its previous location.

West Elevation

- The garages will be replaced with similar design.
- A new hip-roofed dormer will be added to the second floor.
- An entrance and covered porch will be added to the west elevation of the proposed southern extension of the garage area.

South Elevation

- The first-floor entrance door is proposed to be eliminated from this elevation, but proposed to be of similar design and relocated to the southern side of the west elevation.
- The first-floor door and casement window with 3-over-3 panes are proposed to be replaced with a four-part combination floor to ceiling windows with 3-over-6 panes.
- A new tri-part casement window with 3-over-3 panes will be added to the proposed southern extension of the garage area.
- The curved dormer is proposed to be eliminated and in its place the southern extension of the garage area with hip roof.
- The original hipped-roof dormer is proposed to be eliminated and replaced with an extended hip roof dormer with metal roofing, mock half-timbering, and a tri-part casement window with two-over-three panes in the center. The roof will have a 4:12 roof pitch.

Description of the Historic Context and Significance of the Property

Designed by Portland architect Richard Sundleaf in 1941, this home is an example of the Arts and Crafts style and is an important visual anchor to the north periphery of the Waverly neighborhood. Owner and president of nationally known Milwaukie Company Jarman-Williamson Inc., E. Roy Jarman lived in the home. Jarman-Williamson Inc. developed and refined the golf-cart, remaining a leader in the industry for over thirty years and gaining a national prominence. Jarman-Williamson Inc. was sold to Browning Arms Inc. of Morgan, Utah, in 1969.

The 1988 Historic Resource Survey determined the following as important decorative features to this home:

- Brick cladding,
- Elongated oriel second floor window with leaded glass,
- Full-height rectangular bay with brick and mock half-timbering with similar bay on rear elevation,
- Interior brick chimney,
- Mock half-timbering throughout,
- Recessed entry with paneled door,
- Decorative raised brick course,
- Leaded glass bow window on rear elevation,



- Ornamental trees lining the east property line,
- Evergreen hedge lining the frontage,
- Foundation plantings, and
- Small outbuilding located to rear of the house.

Other important features of the home include:

- Rectangular forms of the home capped with steeply pitched hip roofs,
- Curved dormers,
- Curved garage doors,
- Use of rectangular-paned windows throughout, and
- Shingle roof.

Previous changes to the historic home include the removal of the largest chimney stack that served the old, and now replaced, furnaces. A south addition was added to the library in 1996 and a large patio cover added on the south elevation entrance. The proposal states that the original windows have been replaced by a previous owner.

As defined by the National Park Service, a Character Defining Feature is a prominent or distinctive aspect, quality, physical feature, or characteristic that contributes significantly to the visual character of a resource. Character Defining Features are character-defining elements that include the overall shape of the building or resource, the materials used in building the resource, the craftsmanship of the resource, the resource's decorative details, the interior spaces and architectural features, and the site and environment of a resource, also known as its context. There are four zones in regards to character-defining features: High, Medium, and Low Preservation Priority, and Non-Historic.

High Preservation Priority features are the most character-defining features of the building that best convey the significant themes associated with the building. These features are to be maintained and preserved. Alterations to finishes may be acceptable, although the form and overall design should be retained. Work to high priority features will be closely reviewed. High Preservation Priority spaces can be public or private with a high level of integrity and history of architectural finishes and features that include original materials or details of highly skilled craftsmanship. Architectural finishes and features should be preserved. Regarding 9712 SE Cambridge Lane, the highest priority features are ones visible from the public right of way, including all features located on north elevations, and other elevations that are visible from the public right of way.

Medium Preservation Priority features help to convey the significance of the building, but are not crucial character-defining features. If a Medium Preservation Priority feature were to be removed, the building would still retain its significance, although some unique aspects may be lost. Often, the overall design aspect of the feature is of medium priority, while the finishes or materials may be of a lower priority. Work to medium priority features require design review and may elicit some commentary although contemporary methods, materials, and designs may be sensitively incorporated. The overall project should reach a balance of retaining some Medium Preservation Priority features to allow for alterations to other medium priority features. Alterations should be compatible with the overall historic character

ATTACHMENT #3

City of Milwaukie Historic Resource Land Use Review
9712 SE Cambridge Lane
October 8, 2024

of the building. Medium Preservation Priority spaces can be public or private with a moderate level of integrity and history of architectural finishes and features that include original materials or details but are less ornate than High Preservation Priority spaces in overall character. Architectural finishes and features should be preserved. Regarding 9712 SE Cambridge Lane, medium priority features are ones not visible from the public right of way, including all features located on the south elevations, and other elevations that are not visible from the public right of way.

Low Preservation Priority features are part of the building design, but have little historic character or contribution to the historic significance of the building. Low priority features include service spaces, heavily-altered features, or additions not associated with the period of significance. Alterations to Low Preservation Priority features, while sympathetic to the historic qualities and character of the building, may incorporate extensive changes or total replacement through the introduction of contemporary methods, materials, and designs. Proposed work to Low Preservation Priority features will still be reviewed in order to monitor the impact to the overall character and significance of the building. Low Preservation Priority spaces are often not public areas but can be private spaces with minimal integrity and history of architectural finishes and features that contain few or no architectural features that need to be preserved or restored as part of a rehabilitation project. Regarding 9712 SE Cambridge Lane, there are no low priority features on the visible elevations of the building. The south elevation library addition and south patio cover that are new additions to the home are low preservation priority features. Besides these two changes, no other significant exterior changes have been made to the best of our knowledge and the building retains the remaining significant historic character-defining features. The previous additions to the south elevations will not be changed as part of this Historic Resource Land Use Review.

Non-historic features include architectural features or finishes that are not original to the historic building. Non-historic features primarily include walls and doors that are not considered historic, as well as other features that have been changed or added to the building after initial construction. These elements can be removed and altered with minimal care given to minimize impact. Within the City of Milwaukie, certain alterations to historic buildings do not need to be reviewed through the Historic Resource Land Use Review system. These alterations include the repair or replacement of roof materials either in kind or with similar materials, application of storm windows, etc. These changes may have been added to 9712 SE Cambridge Lane in addition to the south elevation library addition and south patio cover that are new additions to the home are non-historic features. The previous additions to the south elevations will not be changed as part of this Historic Resource Land Use Review.

Approval Criteria

Milwaukie Zoning Ordinance Title 19, Chapter 19.400 Overlay Zones and Special Areas governs the “identification, protection, enhancement, perpetuation, and use of site, structures, districts, objects, and buildings within the City that reflect the City’s unique architectural, archaeological, and historical heritage, and to facilitate preservation of such properties.” Any exterior alteration of a “significant”



landmark is reviewed under the provisions of Subsection 19.403.5, Alterations and Development, and application is submitted to the City of Milwaukie Planning Commission. The criteria are listed with a response and findings for each, below.

Findings

Findings of the review are based on analyzing and comparing the materials submitted as part of the Historic Resource Land Use Review Application, the historic context and significance of the property, and the approval criteria.

1. Retention of Original Construction

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

This project proposes to demolish and rebuild the western wing of the home, which includes the removal of high preservation priority character-defining features as part of the west wing and a few distinguishing original qualities of the resource's character that are also defined in the 1988 Cultural Resource Inventory documentation. These features include the brick cladding, wood shingle roof, 3-over-3 casement windows, 3-over-4 curved dormers, 2-over-3 hipped dormer, curved garage doors, and foundation plantings. It is proposed to reuse original brick cladding on the north elevation, reinstall a wood shingle roof, rebuild one north elevation curved dormer and curved garage doors, and retain foundation plantings.

Retention of the original construction is not proposed; therefore, this criterion cannot be met with full demolition.

2. Building Height

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

This criterion has not been fully addressed and is not yet met. The existing building features roofs with a 12:12 roof pitch and this proposal retains the existing pitch of the main roof. No changes are proposed to be made to the foundation that would influence a building's permanent elevation. The roof height of the addition is proposed to rise, although the new addition will remain shorter than the existing main roof of the home, retaining this composition. Other changes to the south elevation include the proposed dormer on the south elevation with a proposed pitch of 12:4, the roof line of the southern garage extension, and the roofline above the garage pedestrian entrance.

In order to meet this criterion, the overall roof height of the addition should maintain the historic roof height while retaining the 12:12 roof pitch, if curved, all proposed dormers on the north elevations would better meet the criteria, and the lowering the ridge of the south dormer below the

main roof ridge would meet the criteria. Additionally, to better meet the criteria, the roofline of the southern garage extension needs to be offset and moved westward in order for the roofline behind to be visible, matching the other offset rooflines throughout the home; and redesigning the proposed roof above the garage pedestrian entrance to be flat to match the flat roofline of the south patio cover.

With these updates, this criterion can be met.

3. Horizontal Additions

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

In order to meet this criterion, relocate the addition behind the face of the main house so as to not extend beyond either the north or south elevations of the center volume of the home. The southern garage extension also requires relocation to be offset from the roofline and building behind, and dropping in height the southern roof dormer to align the windows, sills, and eaves with that of the main body of the home will better meet the criteria.

4. Windows

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non-wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.

This application proposes to replace or redesign all windows on the new addition. Some new windows do not match the visual qualities of the original. Therefore, this criterion is not fully met.

In order to fully meet this criterion, window redesigns and replacements should match the visual qualities and design of the original as closely as possible. In addition, aligning the height of the windows of the proposed southern dormer with other second floor windows on the main body of the home will better meet the criteria.

5. Restoration Possible

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

As the new addition is wood frame construction, in theory this criterion is met.

6. Signs and Lighting

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

The 1988 Historic Resource Survey determined the sloping lawn with ornamental plants along the property line and the foundation plantings as noteworthy landscape features to this home. The existing weathervane is proposed to be reinstalled on the same roof intersection as that of the historic building. There is no proposed signage. No lighting was indicated on the exterior primary façade. No elevation or renderings of appurtenances were submitted. The landscaping and weathervane will be retained, and there were no sign, lighting, or other appurtenances submitted.

This criterion is met.

7. Time Period Consistency

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

The proposed alterations that are allowable based on other approval criteria are proposed to align with the visual qualities of the original house and arts and crafts style architecture. No proposed alterations create a false historical basis or create an earlier appearance. This criterion is met.

8. Visual Integrity/Style

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

The distinctive stylistic and high preservation priority features of the home, including the brick cladding, the elongated oriel second floor window with leaded glass, the full-height rectangular bay with brick and mock half-timbering with similar bay on rear elevation, the mock half-timbering throughout, the recessed entry with paneled door, the decorative raised brick course, and the leaded glass bow window on rear elevation, as well as the rectangular forms of the home capped with steeply pitched roofs, curved dormers, curved garage doors, and shingle roof, are proposed to remain or be replaced in similar design. Replace in kind those distinctive elements that are proposed to be replaced as part of the addition. This criterion is met.

9. Replacement or Additional Materials

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

According to the proposal, only historic brick will be reused as the cladding on the north elevation of the addition; the historic brick will be used in tandem with new brick on the west and south elevations of the addition; and the addition will have a shingle roof to match the existing. To fully

ATTACHMENT #3

City of Milwaukie Historic Resource Land Use Review
9712 SE Cambridge Lane
October 8, 2024

meet this criterion, match all windows and doors to those of the original building in composition, design, color, texture, and other visual qualities. Clad all proposed dormers in materials that currently exist on the historic home, and introduce no new materials. Materials to be used on the dormers include brick or mock half-timbering for cladding and wood shingle roofing. This criterion is met.

10. Buffering

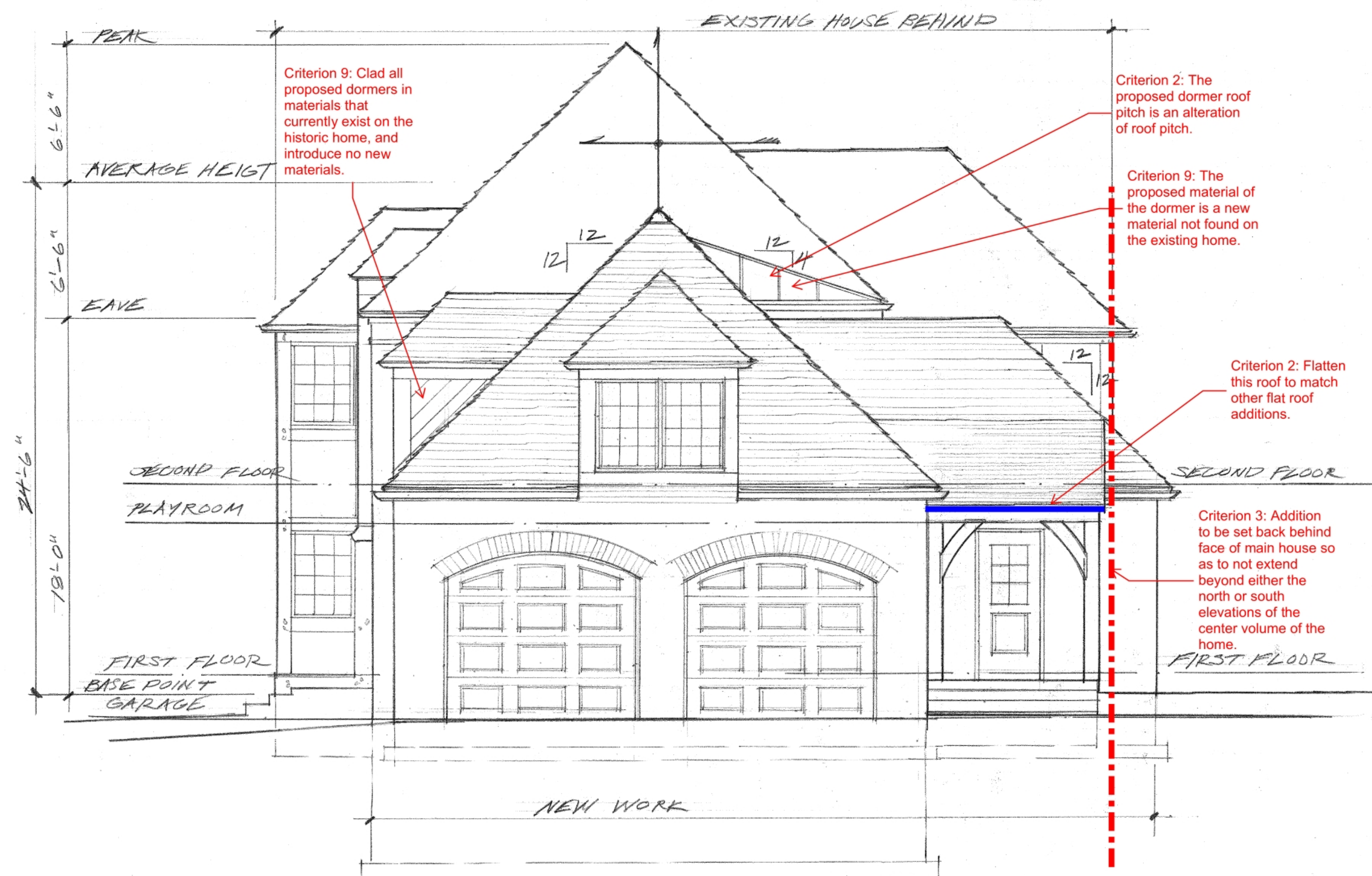
An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

There is no new commercial or industrial improvement or use proposed on or adjacent to this home, therefore no buffer or screen is required. This criterion is not applicable.





EXISTING WEST ELEVATION
1/4" = 1'-0"



WEST ELEVATION-PROPOSED
1/4" = 1'-0"

Sundeleaf MACKENZIE
Architecture, Inc.
hilary@sundeleafmackenzie.com • 503.282.7674
po box 2966, portland, OR 97208

ADDITION FOR
MARIE & GREG LATHROP
9712 SE CAMBRIDGE LANE
MILWAUKIE, OREGON 97222

Date:
9/18/24

Drawn by:
HM

Sheet Title:
WEST
ELEVATION

Scale:
1/4"

Sheet No.
8



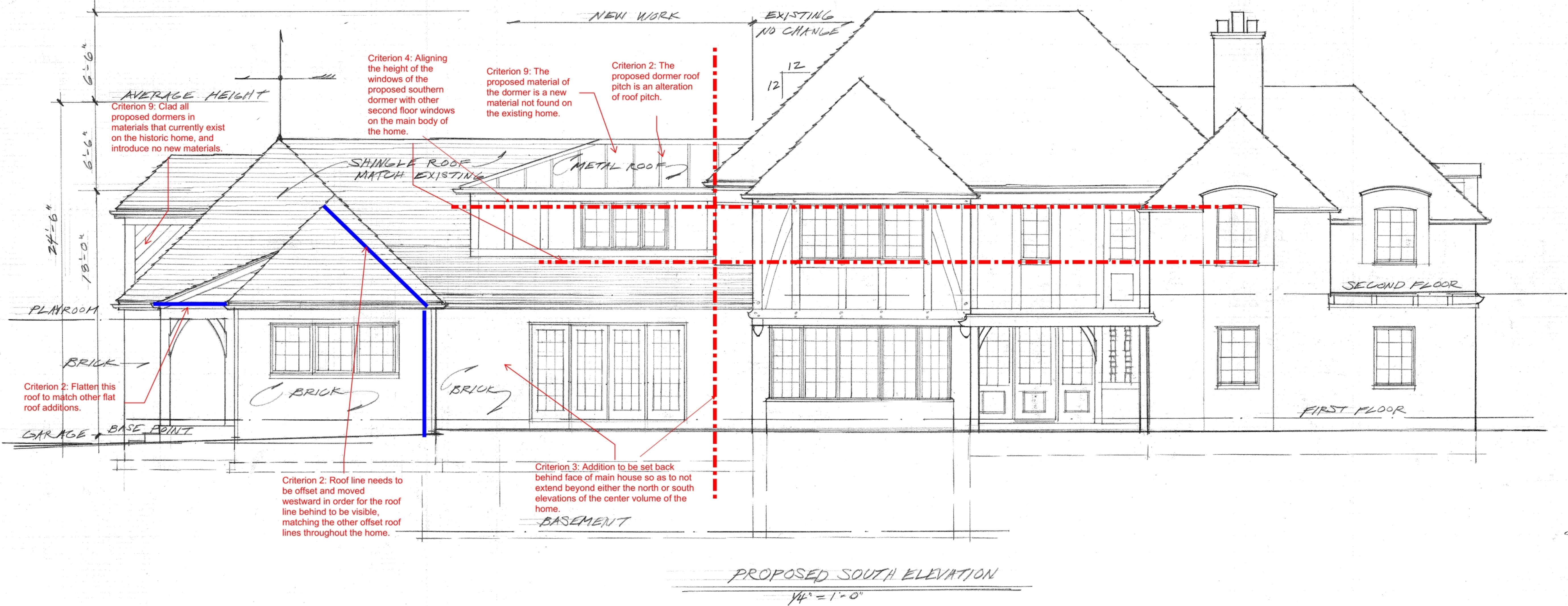
Criterion 9: Clad all proposed dormers in materials that currently exist on the historic home, and introduce no new materials.

Criterion 2: The proposed dormer roof pitch is an alteration of roof pitch.

Criterion 9: The proposed material of the dormer is a new material not found on the existing home.

Criterion 2: Flatten this roof to match other flat roof additions.

Criterion 3: Addition to be set back behind face of main house so as to not extend beyond either the north or south elevations of the center volume of the home.



Sundeleaf MACKENZIE
 Architecture, Inc.
 hilary@sundeleafmackenzie.com • 503.282.7674
 po box 2966, portland, OR 97208

ADDITION FOR
 MARIE & GREG LATHROP
 9712 SE CAMBRIDGE LANE
 MILWAUKIE, OREGON 97222

Date: 9/13/24

Drawn by:
 AM

Sheet Title:
 SOUTH ELEVATIONS

Scale:
 1/4"

Sheet No.

9



RECEIVED VIA EMAIL ON NOVEMBER 10, 2024.

Historic Review

9712 SE Cambridge Lane, Milwaukie, Oregon 97222

Preface

The Jarman House is a prominent local landmark. Its significance is due both to the architecture by Richard Sundeleaf and the importance of the original owner to local history. I was employed by Richard Sundeleaf for several years before he retired. I was instrumental in preserving many of his drawings and papers in the Special Collections Library at the University of Oregon, his alma mater. I grew up in two of his houses. Over my 40 year architectural career, I have designed additions and overseen restoration of many of his homes. I have fought for preservation and documentation of his designs where preservation was not possible. I am also his granddaughter.

I learned from him that the site is paramount, the client essential, and every building should be designed as a complete composition. Additions to an existing structure should be a harmonious contribution to the original composition. Because of this experience, some of my opinions about the design of the addition, as it pertains to the historic review of the proposal, are different than the opinions of the City's consultant.

19.403. Historic Preservation Overlay Zone HP

19.403.1. Purpose.

The intent and purpose of this section is to promote the general welfare by providing for the identification, protection, enhancement, perpetuation, and use of sites, structures, districts, objects, and buildings within the City that reflect the City's unique architectural, archaeological, and historical heritage, and to facilitate preservation of such properties in order to:

A.

Safeguard the City's heritage as embodied and reflected in such resources;

B.

Encourage public knowledge, understanding, and appreciation of the City's history and culture;

C.

Foster community and neighborhood pride and sense of identity based on recognition and use of cultural resources;

D.

Promote the enjoyment and use of cultural resources appropriate for the education and recreation of the people of the City;

E.

Preserve diverse and significant architectural styles reflecting phases of the City's history, and encourage complementary design and construction relative to cultural resources;

F.

Enhance property value and increase economic and financial benefits to the City and its residents;

G.

Identify and resolve conflicts between the preservation of cultural resources and alternative land uses;

H.

Integrate the management of cultural resources and relevant data into public and private land management and development processes; and

I.

Implement the goals and policies of the Comprehensive Plan.

Under 19.403.1 Purpose, it is stated that the code exists to provide for “the enhancement, perpetuation, and use of sites and structures”. It also states under subsection E, that the code should “encourage complimentary design and construction relative to cultural resources”. Under subsection F, it states that the code should “enhance property value and increase economic and financial benefits to the City and its residents”.

The Jarman house was constructed in 1941. It has had two major exterior additions since that time. One is the library extension to the east. The other is the large patio cover added to the south porch. I believe these were both done in 1996. Neither of these additions went through a historic review process. In the interior of the house, the upstairs baths have new finishes, and the kitchen has been redone within the existing footprint. Otherwise, the house is largely unchanged since its construction.

The current kitchen is very small by today’s standards. Only the servant’s bath in the upstairs hall has a bathtub. This tub is less than 4’ long and has legal headroom for less than 24” of its length. The existing garage is too small to fit many of today’s cars. The laundry room is in the basement and accessed via the servants’ stairs.

The proposed addition will bring the house up to the standards of today for comfort and gracious living. Great care was taken in the design to respect the massing, connection to the site, architectural details, scale, and harmony of the original. The addition maintains the design concept of a simple low ridged link to a separate garage mass to the west of the large central building block. Because this new link is longer and wider than the original, it has two dormers instead of one and a slightly higher ridgeline to accommodate the wider footprint. It also has a larger kitchen window to balance the greater wall area. The garage is rebuilt in a slightly larger size. These two major design decisions maintain the rhythm and proportion of the north façade as seen from the street. To maintain the historic scale of the building, window sizes and light divisions in the addition match those in the main house.

The west garage elevation that faces the street will maintain the arched topped door openings. It will also have a side porch designed in the same style as other porches on the house. Two new garage dormers will be visible from the street. They provide light, scale, visual interest, and usable space above the garage. The south façade is not visible from any street, but the massing, window size and placement respect the historic design.

These proposed changes will enhance the historic resource and assure continued use and enjoyment of the property. The design of the addition is “complimentary” to the original. The renovation will “enhance property value and will increase economic and financial benefits to the City”. The historic resource will be preserved, and the useful life of the resource will be extended by this renovation. This proposal supports the purpose of the Historic Resource Overlay Zone.

Criteria and Findings

Approval of a permit to alter a landmark or any property in the HP District shall be based on findings of adherence to the following guidelines:

1.

Retention of Original Construction

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

The main block of the existing house with its distinctive entry, tall stair window, two story bay and arched dormers will not be altered. This is the portion of the house that is most visible to the public from the road and described as significant in the original Historic Resource Survey of 1988. The garage and service wing are not mentioned in the survey.

The service wing and the garage are undersized by today's standards for a house. The upstairs hall and hall bath lack legal headroom. To preserve the overall character and proportions of the existing house, the west wing is proposed to be removed and reconstructed at a slightly larger scale in the same location. The existing arch top dormers will be rebuilt. The existing brick will be reused on the north elevation. The new garage with arched doors will be the same shape and relation to the main body of the house. The existing weathervane will be reinstalled on the garage ridge. This choice preserves the Character Defining Feature of the house massing and location on the site. The view of the rebuilt wing from the public right of way will retain the current relationship to the site and landscaping.

The distinguishing original qualities that define the resource's character (the main block of the house) will not be destroyed. Contributing features of the house (the low ridge

connecting the garage to the house, the arch top dormers, and the arch top garage doors) will be rebuilt in the same style in the same relative location to preserve the overall massing of the building. The public facing elevations of the house will be nearly identical to the current public view. This criterion is met.

2.

Building Height

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

The height of the building will remain unchanged as the main mass of the building is untouched. The west wing of the house and the new garage will be about 1'-6" higher than the existing west wing and garage. The new west wing and garage will be about 12' below the peak of the main house. The existing house has a 12:12 roof pitch. Several dormers have a distinctive curved roof. The new addition will have a 12:12 roof pitch. The distinctive curved roof dormers will be replicated. On the south elevation there is a new dormer and shed roof that have a lower 4:12 pitch. These new elements are only visible from the garden and are not visible from the road. The new foundation will match the height of the existing foundation.

The consultant suggests that the roof height of the addition be no higher than the existing roofs of the service wing and garage while also retaining the 12:12 roof pitch. This is geometrically impossible as the footprint of each is larger than the respective existing footprint. The point of this application is to receive permission to enlarge the house while complying with the criteria in Section 19.403.5 in the Milwaukie Zoning Code. The overall maximum building height is maintained as are the current floor to floor heights. The garage floor is lowered 21" to better fit the site and minimize the height of the garage.

The current service wing has lower ceilings than the rest of the house both upstairs and on the main floor. The enlarged kitchen will match the ceiling height on the main floor. The upstairs back hall and bath does not meet current codes for ceiling height or insulation. It also has a lower ceiling height than the rest of the second floor. Once these spaces are altered, they must be brought up to code. I have added a detailed section to compare the existing and new volumes. Dormers, shed roofs, and reduced ceiling height in the new bath were used to keep the overall roof heights as low as possible.

The consultant also suggests bringing the roof of the new south dormer below the ridge line, doing a flat roof over the new west porch, adding a curved roof dormer at the garage,

and offsetting the mudroom roof from the garage roof. These design suggestions are tangential to the criteria of avoiding alteration of roof pitches. The main roof pitches will remain 12:12. The arched top dormers will be replicated. The porch shed roof is an enlargement of an existing roof element. The shed roof over the rear kitchen and the lower pitched south dormer were design decisions made to reduce the overall height of the addition. These are the only departures from the existing roof profiles and are not visible to the public. I explain my design process below.

The mudroom roof planes into the main garage roof in the same manner as the two-story bay roof on the north elevation. The offset the consultant is referring to is used to transition to different eave heights in other locations on the house. Where the bay eave height matches the main house, bays are not offset. I am using the vocabulary of the existing architecture to make the addition part of a cohesive house design.

The proposed garage has dormers on both the west and north elevations. These dormers will be visible in perspective at the same time. Therefore, they need to be of similar design. The west elevation will have arched garage door openings that replicate the existing door openings. Arched shapes are used very judiciously in the historic design. They are used to enhance interior and exterior form. There will be a pair of arched dormers adjacent to the garage above the kitchen. These reinforce the form of the service wing. It is consistent with the existing architecture to have a mix of dormer types and to balance curved shapes with angular shapes. The hipped roof dormers over the garage balance the arches in the garage door openings. It would be inconsistent with the existing architecture to heavily repeat curved shapes.

The existing service back porch has a small shed roof. Richard Sundeleaf often used shed roofs for service porches in houses from this same era. The proposed shed roofed porch uses elements that are consistent with the design of the house. In the future, it is likely that the patio cover on the south elevation will be removed. It is nonsensical to incorporate a temporary, non-historic element into an addition on the grounds that it is more harmonious with the historic structure.

The new hip dormer sits on the south side of the ridge of the addition. The roof is metal as the dormer roof pitch is 4:12. This dormer is not visible from the street and was used to keep the ridgeline as low as possible from the visible elevations of the house.

This criterion is met.

3.

Horizontal Additions

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

The proposed addition replicates the existing scale, opening proportions, and massing of the house. The window sizes in the addition will match the window sizes found on the main house. The scale of dormers was determined by the size of the existing windows. Two dormers will be replicas of existing dormers. The existing brick on the house will be removed and reused on the public facing facades of the addition. New brick that matches the original will be blended into the brick work on the south elevation. This criterion is met.

The consultant makes a design suggestion that the new south mudroom wing not extend beyond the south of face of the house. I disagree with his suggestion. Moving the wall of the kitchen out to the south will have the effect of flattening the south elevation. The prior library addition also has the effect of flattening the south elevation. The extension of the mud room wing to the south will help restore the rhythm of wings projecting out from the main house. On the north elevation the garage is held back from the face of main mass of the house to better fit the grades and existing driveway.

4.

Windows

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non-wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of windowpanes shall be maintained or restored when replacements are required.

The original windows in the house have been replaced by a previous owner. The existing windows are wood clad with simulated lead light divisions. These match the original light divisions. The new work will also use these windows with the simulated lead light divisions. This criterion is met.

The consultant was concerned that the new windows will not match the original windows. I have taken additional pictures to show the new replacement windows in the house compared to the existing. It is difficult to see any difference between the new and old

windows. All the window sizes with their respective light divisions in the proposed addition match windows that exist on the main house. The only exceptions are the kitchen window on the north elevation and the French doors on the south elevation. The north kitchen windows are the same size as other windows in the house, but the light division has been changed to give more privacy from the street and to add a decorative element on the larger north kitchen wall. The south French doors provide a much needed direct access to the garden from the kitchen. They are only visible from the private garden. The window heads in the south dormer over the kitchen are 6'-8" and match the window heads in the adjacent second floor bedroom.

5.

Restoration Possible

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

The proposed addition could be removed and the original wing and garage re-built. The main block of the house will remain unchanged. This criterion is met.

6.

Signs and Lighting

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

The landscaping will remain mostly unchanged. There are no signs. New exterior lighting will be compatible with the existing lighting. Where existing lighting, conductor heads, and other distinguishing features are removed, they will be either refurbished, reused, or replaced with similar materials. The existing weathervane on the garage peak will be installed on the new garage peak. This criterion is met.

7.

Time Period Consistency

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

The proposed addition is designed to be compatible with the existing house. Where it is appropriate, like on the north façade, the existing dormers will be replicated. In instances where an entirely new element is introduced, the new element is different than existing elements. The new kitchen window borrows the diamond pane glass from the stair

window but is of a different scale. The new garage dormers are different than the original garage dormers but use the same window size found in the rest of the house. The south dormer uses window sizes found on the house, but it is of a different style than other dormers. The idea was to make the new work familiar and compatible with the existing but not copy and paste elements randomly. This criterion is met.

8.

Visual Integrity/Style

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

The distinctive brick work will be replicated. As will the distinctive arched top garage doors and arched top dormers with metal roofs. Eave details, window trim, and other common elements on the exterior will be replicated so the house has a consistent look. This criterion is met.

9.

Replacement or Additional Materials

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

The existing brick will be reused on the most visible sides of the house. On the less visible south side new brick will be blended with the original brick. The half timbering on the south second floor will be replicated on the new south dormer. Windows will match the existing windows on the house. This criterion is met.

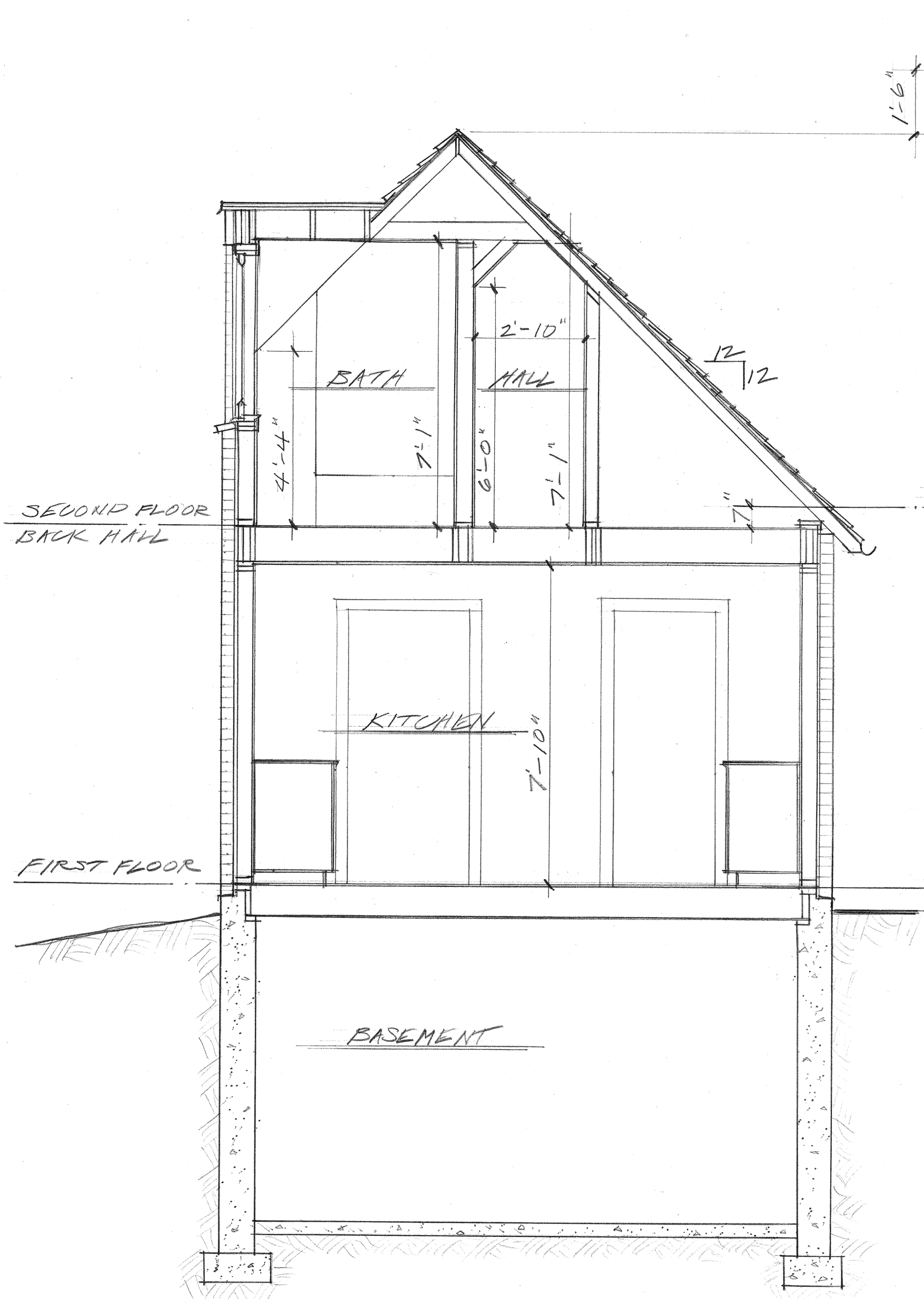
10.

Buffering

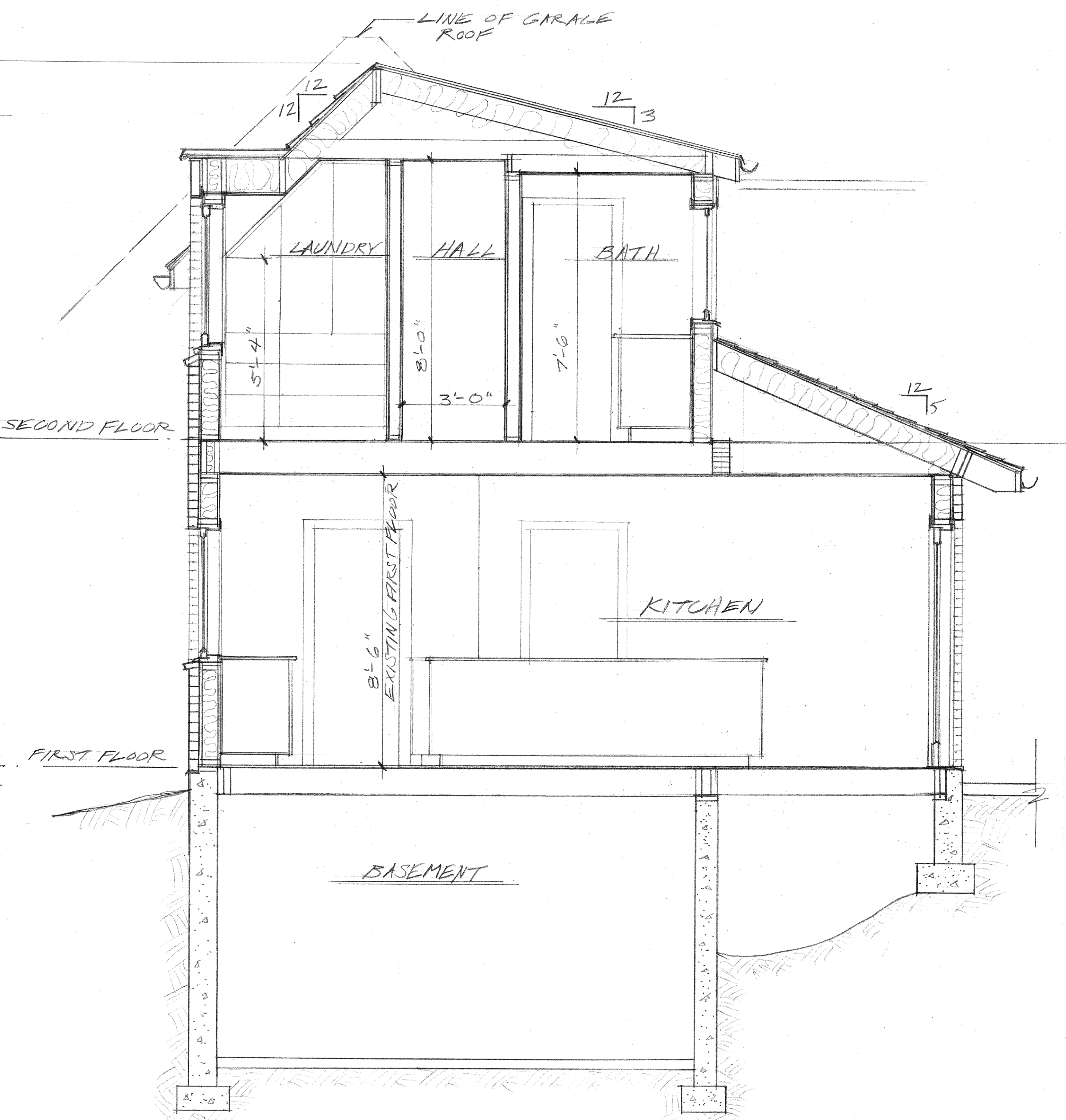
An appropriate buffer or screen, as provided under Subsection **19.504.6**, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

This criterion is not applicable to this application.

ARK#



EXISTING SECTION AT KITCHEN
1/2" = 1'-0"



PROPOSED SECTION AT KITCHEN
1/2" = 1'-0"

Sundeleaf MACKENZIE
 Architecture, Inc.
 hilary@sundeleafmackenzie.com • 503.282.7674
 po box 2966, portland, OR 97208

ADDITION FOR
 MARIE & GREG LATHROP
 9712 SE CAMBRIDGE LANE
 MILWAUKIE, OREGON 97222

Date:
10/25/24

Drawn by:
HM

Sheet Title:
SECTIONS
AT BATH

Scale:
1/2"

Sheet No.

7















Historic Resource Land Use Review – Approval Criteria, Findings, and Recommendations 9712 SE Cambridge Lane, Milwaukie, Oregon

Prepared for:

City of Milwaukie, Oregon

November 14, 2024

Description of the Historic Resource Land Use Review Application

The Historic Resource Land Use Review Application proposes the demolition of the west wing of the home and a near similar addition constructed in the same location. The main, center volume of the home will remain as it has historically, including the following character-defining features of the home: the elongated oriel second floor window with leaded glass, the full-height rectangular bay with brick and mock half-timbering with similar bay on rear elevation, the mock half-timbering throughout the elevations, the recessed front entry with paneled door, the decorative raised brick course, the leaded glass bow window on rear elevation, and the rear entrance and entrance vestibule. The proposed changes to the home will demolish the western wing of the home, including original brick cladding, roofing shingles, curved dormers, curved garage doors, and rectangular-paned windows and rebuilding a near similar addition that extends more westward and southward than the original west wing. The application proposes the following changes to the design of the west addition:

General

- The wood roofing shingles will be replaced in kind.
- The historic brick will be saved and reused on the north elevation of the addition. The remaining brick will be mixed with new, but similar, brick on the west and south elevations.
- The height of the new west wing and garage will be 16 inches higher than the existing, and 12 feet below the peak of the main house. The new addition will have a 12:12 roof pitch matching the existing house.
- New foundation will match the height of the existing foundation.
- All existing windows are wood clad with simulated lead light divisions.
- As a wood frame construction technique, the proposed addition could be removed and the original west wing and garage design rebuilt.
- Landscaping will remain mostly unchanged.
- New exterior lighting, conductor heads, and other distinguishing features will either be refurbished, reused, or replaced with similar materials.
- Eave details, window trim, and other common elements will be replicated.

North Elevation

- The first-floor casement window with 3-over-3 panes is proposed to be replaced with a tri-part window with diamond leading.
- The eastern curved dormer will be replaced in kind and a matching one added directly to the west.

City of Milwaukie Historic Resource Land Use Review
 9712 SE Cambridge Lane
 November 14, 2024

- The original curved dormer on the garage is proposed to be replaced with a steeply pitched hip roof dormer clad with diagonal board.
- The existing weathervane will be reinstalled in its previous location.

West Elevation

- The garages will be replaced with similar design.
- A new hip-roofed dormer will be added to the second floor.
- An entrance and covered porch will be added to the west elevation of the proposed southern extension of the garage area.

South Elevation

- The first-floor entrance door is proposed to be eliminated from this elevation, but proposed to be of similar design and relocated to the southern side of the west elevation.
- The first-floor door and casement window with 3-over-3 panes are proposed to be replaced with a four-part combination floor to ceiling windows with 3-over-6 panes.
- A new tri-part casement window with 3-over-3 panes will be added to the proposed southern extension of the garage area.
- The curved dormer is proposed to be eliminated and in its place the southern extension of the garage area with hip roof.
- The original hipped-roof dormer is proposed to be eliminated and replaced with an extended hip roof dormer with metal roofing, mock half-timbering, and a tri-part casement window with two-over-three panes in the center. The roof will have a 4:12 roof pitch.

Description of the Historic Context and Significance of the Property

Designed by Portland architect Richard Sundleaf in 1941, this home is an example of the Arts and Crafts style and is an important visual anchor to the north periphery of the Waverly neighborhood. Owner and president of nationally known Milwaukie Company Jarman-Williamson Inc., E. Roy Jarman lived in the home. Jarman-Williamson Inc. developed and refined the golf-cart, remaining a leader in the industry for over thirty years and gaining a national prominence. Jarman-Williamson Inc. was sold to Browning Arms Inc. of Morgan, Utah, in 1969.

The 1988 Historic Resource Survey determined the following as important decorative features to this home:

- Brick cladding,
- Elongated oriel second floor window with leaded glass,
- Full-height rectangular bay with brick and mock half-timbering with similar bay on rear elevation,
- Interior brick chimney,
- Mock half-timbering throughout,
- Recessed entry with paneled door,
- Decorative raised brick course,
- Leaded glass bow window on rear elevation,



City of Milwaukie Historic Resource Land Use Review
 9712 SE Cambridge Lane
 November 14, 2024

- Ornamental trees lining the east property line,
- Evergreen hedge lining the frontage,
- Foundation plantings, and
- Small outbuilding located to rear of the house.

Other important features of the home include:

- Rectangular forms of the home capped with steeply pitched hip roofs,
- Curved dormers,
- Curved garage doors,
- Use of rectangular-paned windows throughout, and
- Shingle roof.

Previous changes to the historic home include the removal of the largest chimney stack that served the old, and now replaced, furnaces. A south addition was added to the library in 1996 and a large patio cover added on the south elevation entrance. The proposal states that the original windows have been replaced by a previous owner.

As defined by the National Park Service, a Character Defining Feature is a prominent or distinctive aspect, quality, physical feature, or characteristic that contributes significantly to the visual character of a resource. Character Defining Features are character-defining elements that include the overall shape of the building or resource, the materials used in building the resource, the craftsmanship of the resource, the resource's decorative details, the interior spaces and architectural features, and the site and environment of a resource, also known as its context. There are four zones in regards to character-defining features: High, Medium, and Low Preservation Priority, and Non-Historic.

High Preservation Priority features are the most character-defining features of the building that best convey the significant themes associated with the building. These features are to be maintained and preserved. Alterations to finishes may be acceptable, although the form and overall design should be retained. Work to high priority features will be closely reviewed. High Preservation Priority spaces can be public or private with a high level of integrity and history of architectural finishes and features that include original materials or details of highly skilled craftsmanship. Architectural finishes and features should be preserved. Regarding 9712 SE Cambridge Lane, the highest priority features are ones visible from the public right of way, including all features located on north elevations, and other elevations that are visible from the public right of way.

Medium Preservation Priority features help to convey the significance of the building, but are not crucial character-defining features. If a Medium Preservation Priority feature were to be removed, the building would still retain its significance, although some unique aspects may be lost. Often, the overall design aspect of the feature is of medium priority, while the finishes or materials may be of a lower priority. Work to medium priority features require design review and may elicit some commentary although contemporary methods, materials, and designs may be sensitively incorporated. The overall project should reach a balance of retaining some Medium Preservation Priority features to allow for alterations to other medium priority features. Alterations should be compatible with the overall historic character

City of Milwaukie Historic Resource Land Use Review
9712 SE Cambridge Lane
November 14, 2024

of the building. Medium Preservation Priority spaces can be public or private with a moderate level of integrity and history of architectural finishes and features that include original materials or details but are less ornate than High Preservation Priority spaces in overall character. Architectural finishes and features should be preserved. Regarding 9712 SE Cambridge Lane, medium priority features are ones not visible from the public right of way, including all features located on the south elevations, and other elevations that are not visible from the public right of way.

Low Preservation Priority features are part of the building design, but have little historic character or contribution to the historic significance of the building. Low priority features include service spaces, heavily-altered features, or additions not associated with the period of significance. Alterations to Low Preservation Priority features, while sympathetic to the historic qualities and character of the building, may incorporate extensive changes or total replacement through the introduction of contemporary methods, materials, and designs. Proposed work to Low Preservation Priority features will still be reviewed in order to monitor the impact to the overall character and significance of the building. Low Preservation Priority spaces are often not public areas but can be private spaces with minimal integrity and history of architectural finishes and features that contain few or no architectural features that need to be preserved or restored as part of a rehabilitation project. Regarding 9712 SE Cambridge Lane, there are no low priority features on the visible elevations of the building. The south elevation library addition and south patio cover that are new additions to the home are low preservation priority features. Besides these two changes, no other significant exterior changes have been made to the best of our knowledge and the building retains the remaining significant historic character-defining features. The previous additions to the south elevations will not be changed as part of this Historic Resource Land Use Review.

Non-historic features include architectural features or finishes that are not original to the historic building. Non-historic features primarily include walls and doors that are not considered historic, as well as other features that have been changed or added to the building after initial construction. These elements can be removed and altered with minimal care given to minimize impact. Within the City of Milwaukie, certain alterations to historic buildings do not need to be reviewed through the Historic Resource Land Use Review system. These alterations include the repair or replacement of roof materials either in kind or with similar materials, application of storm windows, etc. These changes may have been added to 9712 SE Cambridge Lane in addition to the south elevation library addition and south patio cover that are new additions to the home are non-historic features. The previous additions to the south elevations will not be changed as part of this Historic Resource Land Use Review.

Approval Criteria

Milwaukie Zoning Ordinance Title 19, Chapter 19.400 Overlay Zones and Special Areas governs the “identification, protection, enhancement, perpetuation, and use of site, structures, districts, objects, and buildings within the City that reflect the City’s unique architectural, archaeological, and historical heritage, and to facilitate preservation of such properties.” Any exterior alteration of a “significant”



City of Milwaukie Historic Resource Land Use Review
 9712 SE Cambridge Lane
 November 14, 2024

landmark is reviewed under the provisions of Subsection 19.403.5, Alterations and Development, and application is submitted to the City of Milwaukie Planning Commission. The criteria are listed with a response and findings for each, below.

Findings

Findings of the review are based on analyzing and comparing the materials that were resubmitted as part of the Historic Resource Land Use Review Application, the historic context and significance of the property, and the approval criteria.

1. Retention of Original Construction

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

This project proposes to demolish and rebuild the western wing of the home, which includes the removal of high preservation priority character-defining features as part of the west wing and a few distinguishing original qualities of the resource's character that are also defined in the 1988 Cultural Resource Inventory documentation. These features include the brick cladding, wood shingle roof, leaded 3-over-3 casement windows, leaded 3-over-4 curved dormers, leaded 2-over-3 hipped dormer, curved garage doors, and foundation plantings. It is proposed to reuse original brick cladding on the north elevation, reinstall a wood shingle roof, rebuild one north elevation curved dormer and curved garage doors, and retain foundation plantings.

Retention of the original construction is not proposed; therefore, this criterion cannot be met with full demolition.

2. Building Height

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

This criterion has not been fully addressed and is not yet met. The existing building features roofs with a 12:12 roof pitch and this proposal retains the existing pitch of the main roof. No changes are proposed to be made to the foundation that would influence a building's permanent elevation. The roof height of the addition is proposed to rise, although the new addition will remain shorter than the existing main roof of the home, retaining this composition. Other changes to the south elevation include the proposed dormer on the south elevation with a proposed pitch of 12:4, the roof line of the southern garage extension, and the roofline above the garage pedestrian entrance.

In order to meet this criterion, the overall roof height of the addition should maintain the historic roof height while retaining the 12:12 roof pitch. If all proposed dormers on the north elevations are curved, this would better match the original dormers and meet the criteria, as well as ensuring the

ridge of the south dormer is not visible over the main roof ridge would meet the criteria. Additionally, to better meet the criteria, the roofline of the southern garage extension should be offset and moved westward in order for the roofline behind to be visible, matching the other offset rooflines throughout the home; and redesigning the proposed roof above the garage pedestrian entrance to be flat to match the flat roofline of the south patio cover.

With these updates, this criterion can be met.

3. Horizontal Additions

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

In order to meet this criterion, relocate the addition behind the face of the main house so as to not extend beyond either the north or south elevations of the center volume of the home. The southern garage extension should be offset from the roofline and building behind, and aligning the windows, sills, and eaves of the southern roof dormer with that of the main body of the home will better meet the criteria.

4. Windows

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non-wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.

This application proposes a new west addition with new windows. Many of the new windows are proposed to match the visual qualities of the original windows as closely as possible and meet this criterion.

On the primary, north elevation of the proposed addition, it is recommended that several proposed windows be redesigned in order to better meet this criterion. The proposed first floor, north elevation window is larger and different in design than the historic, therefore not matching the visual quality of the original. The proposed north elevation dormers should also match the visual qualities of the historic. In addition, aligning the height of the windows of the proposed rear, southern dormer with other second floor windows on the main body of the home will better meet the criteria.

5. Restoration Possible

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

As the new addition is wood frame construction, in theory this criterion is met.

6. Signs and Lighting

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

The 1988 Historic Resource Survey determined the sloping lawn with ornamental plants along the property line and the foundation plantings as noteworthy landscape features to this home. The existing weathervane is proposed to be reinstalled on the same roof intersection as that of the historic building. There is no proposed signage. No lighting was indicated on the exterior primary façade. No elevation or renderings of appurtenances were submitted. The landscaping and weathervane will be retained, and there were no sign, lighting, or other appurtenances submitted.

This criterion is met.

7. Time Period Consistency

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

The proposed alterations that are allowable based on other approval criteria are proposed to align with the visual qualities of the original house and arts and crafts style architecture. No proposed alterations create a false historical basis or create an earlier appearance. This criterion is met.

8. Visual Integrity/Style

Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.

The distinctive stylistic and high preservation priority features of the home, including the brick cladding, the elongated oriel second floor window with leaded glass, the full-height rectangular bay with brick and mock half-timbering with similar bay on rear elevation, the mock half-timbering throughout, the recessed entry with paneled door, the decorative raised brick course, and the leaded glass bow window on rear elevation, as well as the rectangular forms of the home capped with steeply pitched roofs, curved dormers, curved garage doors, and shingle roof, are proposed to remain or be replaced in similar design. Replace in kind those distinctive elements that are proposed to be replaced as part of the addition. This criterion is met.

9. Replacement or Additional Materials

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

According to the proposal, only historic brick will be reused as the cladding on the north elevation of the addition; the historic brick will be used in tandem with new brick on the west and south elevations of the addition; and the addition will have a shingle roof to match the existing. To fully meet this criterion, match all windows and doors to those of the original building in composition, design, color, texture, and other visual qualities. Clad all proposed dormers in materials that currently exist on the historic home, and introduce no new materials. Materials to be used on the dormers include brick or mock half-timbering for cladding and wood shingle roofing. This criterion is met.

10. Buffering

An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

There is no new commercial or industrial improvement or use proposed on or adjacent to this home, therefore no buffer or screen is required. This criterion is not applicable.

HISTORIC RESOURCE SURVEY

Historic Name: *Jarman Hse.*
 Location: *9712 Cambridge*
 Owner: *Roy E. Jarman*
 Address: *9712 Cambridge*
 T/R/Sec: *151E 26DB* Tax Lot: *600*
 Addition: *Waverly Heights*
 Block: *1* Lot: *(westerly portion)*
 USGS Quad Map:

Common Name:
 Date of construction: *40-41?*
 Original Use: *Residence*
 Present Use: *Residence*
 Architect/Builder: *Richard Sundleaf*
 Style: *Arts and Crafts*
 Resource Type: *Building*
 Theme: *Architecture - 20th Century*
 Condition: *Excellent*

Plan Type/ Shape: *Asymmetrical*
 Foundation Material: *Concrete*
 Roof Form & Materials: *multiple hip ; wood shingle.*

Number of Stories: *2*
 Basement: *Yes*

Wall Construction: *masonry*
 Primary Window Type: *Leaded, fixed sash, some w/ segmental heads ; voussairs.*

Structural Frame: *Stud*

Exterior Surfacing Materials: *Brick stucco.*
 Decorative Features: *Elongated projecting wall dormer w/ lattice glass ; mock half-timber
 recessed en*

Other: *Recessed entry w/ paneled door ; decorative raised brick course ; Leaded glass bow
 window on rear elevation.*

Exterior Alterations/Additions (Dated): *None apparent.*

Noteworthy Landscape Features: *Large sloping lawn w/ ornamental plantings
 along property line ; foundation plantings.*

Associated Structures: *Attached garage on west elevation ; brick ; hip roof ;
 wood shingle ; large weathervane . Small, one-story shed to rear of house ; hip
 roof ; wood siding.*

Setting: *On southeast~~west~~ corner of Cambridge and Waverly Drive . In neighborhood
 of large early to mid-20th century residences.*

Recorded by: *Koler / Morrison*
 Date: *3/1988*

SHPO Inventory #:

9712 CAMBRIDGE



FRONT



WEST ELEVATION

CITY OF MILWAUKIE
CULTURAL RESOURCE INVENTORY
Statement of Significance

ADDRESS: 9712 S.E. Cambridge Lane

This house acts as an important visual anchor at the north periphery of the Waverly neighborhood. The house was designed by well-known Portland architect Richard Sundleaf in the Arts and Crafts style in 1941. It is composed of several rectangular volumes capped with steeply pitched hip roofs. The exterior walls are clad in brick and there is a massive interior brick chimney. Other notable features include the elongated oriel window on the second floor with leaded glass and the full-height rectangular bay with brick and mock half-timbering in the facade. A similar bay is found on the rear elevation.

The house is sited on a large parcel which slopes to the north toward the intersection of Cambridge and Waverly streets. Ornamental trees line the east property line and an evergreen hedge lines the frontage. A small outbuilding--probably used for gardening purposes--is located to the rear of the house.

Although the house does not meet the 50 year criteria for listing on the National Register of Historic Places it is nonetheless included in this Inventory, not only for its architectural interest, but also for its association with E. Roy Jarman, owner and president of Jarman-Williamson Inc., a nationally known Milwaukie company that developed and refined the golf-cart. The Jarman-Williamson Company remained a leader and innovator in the industry for over thirty years, expanding its production of golf merchandise to include many different lines that gained national prominence. The company was sold in 1969 to Browning Arms Inc., of Morgan, Utah.

BIBLIOGRAPHY: Dimon, Elizabeth F., Twass Many Years Since.
Oregonian. January 11, 1969.
Polk, R.L. and Co., Portland Directory, 1941,
1942-1943, 1950-1960.
TICOR Title Co. Records, Oregon City, Oregon.

DATE: 3/88
RECORDER: Koler/Morrison Consultants

Site #1: 9712 Cambridge Lane

Revised Narrative

Total Points: 56
 Rating Category: Significant
 Reason for Rating: Scores of 10 on PERSON and STYLE

1. PERSON/GROUP/ ORGANIZATION: Associated with the life or activities of a person, group, organization, or institution that has made a significant contribution to the community, state, or nation. (10 out of 10 points, Particularly Strong)

Although the house does not meet the 50 year criteria for listing on the National Register of Historic Places it is nonetheless included in this Inventory, not only for its architectural interest, but also for its association with E. Roy Jarman, owner and president of Jarman-Williamson Inc., a nationally known Milwaukie company that developed and refined the golf-cart. The Jarman-Williamson Company remained a leader and innovator in the industry for over thirty years, expanding its production of golf merchandise to include many different lines that gained national prominence. The company was sold in 1969 to Browning Arms Inc., of Morgan, Utah.

2. EVENT: Associated with an event that has made a significant contribution to the community, state, or nation. (0 out of 10 points, None)

3. PATTERN: Associated with, and illustrative of, broad patterns of cultural, social, political, economic, or industrial history in the community, state, or nation. (0 out of 10 points, None)

4. STYLE/BUILDING TYPE/CONVENTION: Significance as an example of a particular architectural style, building type, or convention. (10 out of 10 points, Excellent)

The house was designed by well-known Portland architect Richard Sundeleaf in the Arts and Crafts style in 1941. It is composed of several rectangular volumes capped with steeply pitched hip roofs. The exterior walls are clad in brick and there is a massive interior brick chimney.

5. DESIGN/ARTISTIC QUALITY: Significance due to quality of composition, detailing, and craftsmanship. (4 out of 4 points, Excellent)

Other notable features include the elongated oriel window on the second floor with leaded glass and the full-height rectangular bay with brick and mock half-timbering in the facade. A similar bay is found on the rear elevation.

6. MATERIALS/CONSTRUCTION: Significance as an example of a particular material or method of construction. (2 out of 4 points, Good)

The exterior walls are clad in brick and there is a massive interior brick chimney. Other notable features include the elongated oriel window on the second floor with leaded glass and the full-height rectangular bay with brick and mock half-timbering in the facade.

7. INTEGRITY: Significance because it retains its original design features, materials, and character. (7 out of 7 points, No apparent alterations)
8. RARITY: Significance as the only remaining, or one of the few remaining properties of a particular style, building type, design, material, or method of construction. (7 out of 10 points, one of a few)
9. LANDMARK: Significance as a visual landmark. (5 out of 10 points, Conspicuous/well-known in neighborhood)
10. SETTING: Significance because current land-use surrounding the property contributes to the integrity of the pertinent historic period. (4 out of 4 points, Excellent)
11. CONTINUITY: Significant because the property contributes to the continuity or character of the street, neighborhood, or community. (7 out of 7 points, Establishes character)

This house acts as an important visual anchor at the north periphery of the Waverly neighborhood.

The house is sited on a large parcel which slopes to the north toward the intersection of Cambridge and Waverly streets. Ornamental trees line the east property line and an evergreen hedge lines the frontage.

MISCELLANEOUS NOTES

A small outbuilding-- probably used for gardening purposes--is located to the rear of the house.