



CITY OF MILWAUKIE

AGENDA

August 22, 2023

PLANNING COMMISSION

milwaukieoregon.gov

Hybrid Meeting Format: the Planning Commission will hold this meeting both in person at City Hall and through Zoom video. The public is invited to watch the meeting in person at City Hall, online through the City of Milwaukie YouTube page (https://www.youtube.com/channel/UCRFbfqe3OnDWLQKSB_m9cAw), or on Comcast Channel 30 within city limits.

If you wish to provide comments, the city encourages written comments via email at planning@milwaukieoregon.gov. Written comments should be submitted before the Planning Commission meeting begins to ensure that they can be provided to the Planning Commissioners ahead of time. To speak during the meeting, visit the meeting webpage (<https://www.milwaukieoregon.gov/planning/planning-commission-2>) and follow the Zoom webinar login instructions.

1.0 Call to Order – Procedural Matters — 6:30 PM

1.1 Native Lands Acknowledgment

2.0 Planning Commission Minutes

3.0 Information Items

4.0 Audience Participation — This is an opportunity for the public to comment on any item not on the agenda

5.0 Community Involvement Advisory Committee (CIAC)

6.0 Hearing Items

6.1 CSU-2023-002 – Balfour Park development

Summary: Type III Community Service Use

Staff: Senior Planner Brett Kolver

6.2 CSU-2023-003 – Bowman-Brae Park development

Summary: Type III Community Service Use

Staff: Senior Planner Brett Kolver

7.0 Planning Department/Planning Commission Other Business/Updates

8.0 Forecast for Future Meetings

September 12, 2023 No items at this time

September 26, 2023 WG-2023-001 – 1600 SE Lava Dr (Willamette Greenway Review)

Milwaukie Planning Commission Statement

The Planning Commission serves as an advisory body to, and a resource for, the City Council in land use matters. In this capacity, the mission of the Planning Commission is to articulate the Community's values and commitment to socially and environmentally responsible uses of its resources as reflected in the Comprehensive Plan.

1. **PROCEDURAL MATTERS.** If you wish to register to provide spoken comment at this meeting or for background information on agenda items please send an email to planning@milwaukieoregon.gov.
2. **PLANNING COMMISSION and CITY COUNCIL MINUTES.** City Council and Planning Commission minutes can be found on the City website at www.milwaukieoregon.gov/meetings.
3. **FORECAST FOR FUTURE MEETINGS.** These items are tentatively scheduled but may be rescheduled prior to the meeting date. Please contact staff with any questions you may have.
4. **TIME LIMIT POLICY.** The Commission intends to end each meeting by 10:00pm. The Planning Commission will pause discussion of agenda items at 9:45pm to discuss whether to continue an agenda item to a future date or finish the item.

Public Hearing Procedure

Those who wish to testify should attend the Zoom meeting posted on the city website, state their name and city of residence for the record, and remain available until the Chairperson has asked if there are any questions from the Commissioners. Speakers are asked to submit their contact information to staff via email so they may establish standing.

1. **STAFF REPORT.** Each hearing starts with a brief review of the staff report by staff. The report lists the criteria for the land use action being considered, as well as a recommended decision with reasons for that recommendation.
2. **CORRESPONDENCE.** Staff will report any verbal or written correspondence that has been received since the Commission was presented with its meeting packet.
3. **APPLICANT'S PRESENTATION.**
4. **PUBLIC TESTIMONY.** Comments or questions from interested persons and testimony from those in support or opposition of the application.
5. **QUESTIONS FROM COMMISSIONERS.** The commission will have the opportunity to ask for clarification from staff, the applicant, or those who have already testified.
6. **REBUTTAL TESTIMONY FROM APPLICANT.** After all public testimony, the commission will take rebuttal testimony from the applicant.
7. **CLOSING OF PUBLIC HEARING.** The Chairperson will close the public portion of the hearing. The Commission will then enter into deliberation. From this point in the hearing the Commission will not receive any additional testimony from the audience but may ask questions of anyone who has testified.
8. **COMMISSION DISCUSSION AND ACTION.** It is the Commission's intention to make a decision this evening on each issue on the agenda. Planning Commission decisions may be appealed to the City Council. If you wish to appeal a decision, please contact the Planning Department for information on the procedures and fees involved.
9. **MEETING CONTINUANCE.** Prior to the close of the first public hearing, any person may request an opportunity to present additional information at another time. If there is such a request, the Planning Commission will either continue the public hearing to a date certain or leave the record open for at least seven days for additional written evidence, argument, or testimony. The Planning Commission may ask the applicant to consider granting an extension of the 120-day time period for making a decision if a delay in making a decision could impact the ability of the City to take final action on the application, including resolution of all local appeals.

Meeting Accessibility Services and Americans with Disabilities Act (ADA) Notice

The city is committed to providing equal access to public meetings. To request listening and mobility assistance services contact the Office of the City Recorder at least 48 hours before the meeting by email at ocr@milwaukieoregon.gov or phone at 503-786-7502. To request Spanish language translation services email espanol@milwaukieoregon.gov at least 48 hours before the meeting. Staff will do their best to respond in a timely manner and to accommodate requests. Most Council meetings are broadcast live on the city's YouTube channel and Comcast Channel 30 in city limits.

Servicios de Accesibilidad para Reuniones y Aviso de la Ley de Estadounidenses con Discapacidades (ADA)

La ciudad se compromete a proporcionar igualdad de acceso para reuniones públicas. Para solicitar servicios de asistencia auditiva y de movilidad, favor de comunicarse a la Oficina del Registro de la Ciudad con un mínimo de 48 horas antes de la reunión por correo electrónico a ocr@milwaukieoregon.gov o llame al 503-786-7502. Para solicitar servicios de traducción al español, envíe un correo electrónico a espanol@milwaukieoregon.gov al menos 48 horas antes de la reunión. El personal hará todo lo posible para responder de manera oportuna y atender las solicitudes. La mayoría de las reuniones del Consejo de la Ciudad se transmiten en vivo en el canal de YouTube de la ciudad y el Canal 30 de Comcast dentro de los límites de la ciudad.

Milwaukie Planning Commission:

Jacob Sherman, Chair
Joshua Freeman, Vice Chair
Aaron Carpenter
Joseph Edge
Amy Erdt
Lauren Loosveldt
Will Mulhern

Planning Department Staff:

Laura Weigel, Planning Manager
Brett Kever, Senior Planner
Vera Koliass, Senior Planner
Adam Heroux, Associate Planner
Ryan Dyar, Assistant Planner
Petra Johnson, Administrative Specialist II



CITY OF MILWAUKIE

To: Planning Commission
Through: Laura Weigel, Planning Manager
From: Brett Kelter, Senior Planner
Date: August 15, 2023, for August 22, 2023, Public Hearing
Subject: Balfour Park development

ACTION REQUESTED

Approve application CSU-2023-002 and adopt the recommended Findings and Conditions of Approval found in Attachments 1 and 2. This action would approve the proposed development of Balfour Park as a community service use.

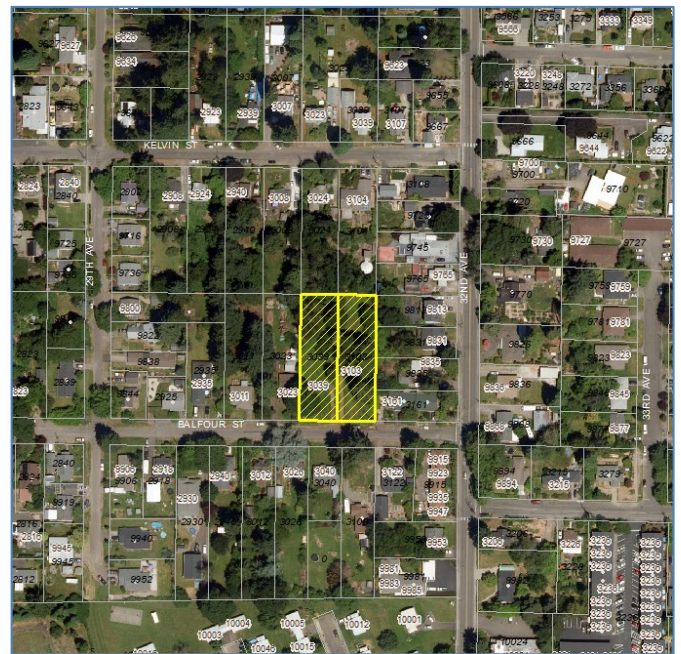
BACKGROUND INFORMATION

A. Site and Vicinity

The subject property is at 3039 SE Balfour St and consists of two residential lots that were each previously developed with a house that has since been demolished (see Figure 1). The property currently serves as an undeveloped park and is accessed directly from Balfour Street.

The surrounding area is developed primarily with single-unit houses. To the south and southeast are the Clackamas County Housing Authority's Hillside development and the Providence-Milwaukie hospital. To the west is the North Milwaukie Employment (NME) area, down the slope and across the rail lines that separate the Ardenwald neighborhood from that industrial area.

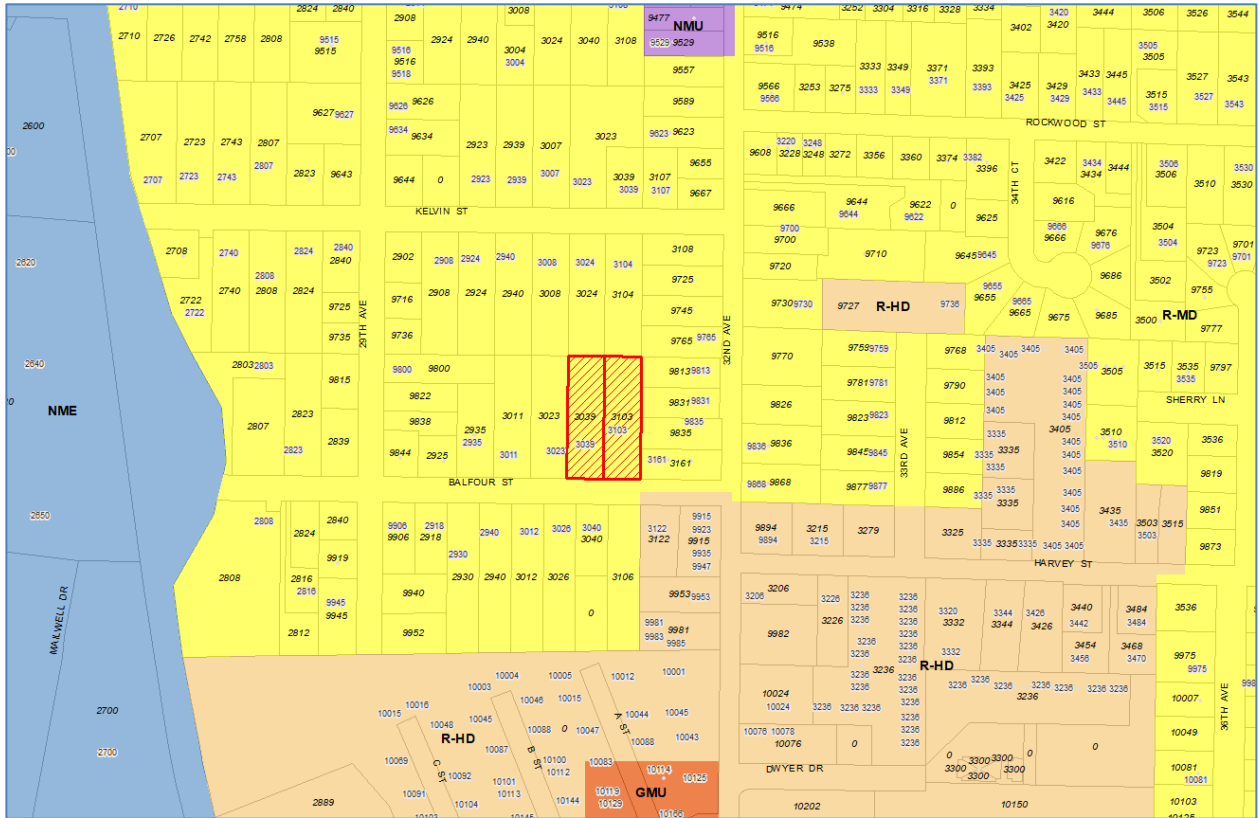
Figure 1. Site and vicinity



B. Zoning Designation

The subject property is zoned Moderate Density Residential (R-MD) (see Figure 2).

Figure 2. Existing Zoning



C. Comprehensive Plan Designation

Low Density (LD)

D. Land Use History

2008: The City purchased the property for future park development.

2015: Land use file #CPA-2015-002, approval of concept plans for Balfour Park, Bowman-Brae Park, and Kronberg Park.

E. Proposal

The applicant (City of Milwaukee) is proposing to develop the park in accordance with the concept plan adopted in 2015. The proposed improvements include a play area, natural play features, walking trails, water fountain, picnic shelter, bicycle parking, and a monument sign. Balfour Park is a neighborhood park, intended to be used by people within walking or bicycling distance; no off-street parking is proposed. The park is intended primarily for daytime use, so no lighting is proposed beyond an interior light under the peak of the picnic shelter.

A plan set and narrative description of the proposal are included in the applicant's submittal materials (see Attachment 3).

KEY QUESTIONS

Analysis

Staff has identified the following key question(s) for the Planning Commission's deliberation. Aspects of the proposal not listed below are addressed in the Findings (see Attachment 1) and generally require less analysis and discretion by the Commission.

A. Are there any negative impacts from the proposed park development that require mitigation?

Balfour Park is a neighborhood park, intended primarily for daytime use by residents and others who will generally arrive by foot or bicycle. No off-street parking or site lighting is proposed. The proposed improvements include a play area, natural play features, walking trail, and picnic shelter; no ball courts or other active facilities are proposed that might generate additional noise. The hours of use will be similar to those of other neighborhood parks in Milwaukie.

The proposed improvements are based on the concept plan adopted in 2015, with minor adjustments resulting from extensive public engagement efforts by staff in 2022-23. City Council approved the revised concept plan in December 2022. The Planning Commission's role in reviewing the park as a community service use (CSU) is to determine whether the proposal meets the relevant CSU approval criteria—namely, whether the hours and levels of operation are reasonably compatible with surrounding uses and that the public benefits outweigh any negative impacts. The park design itself is not the subject of consideration, but if there are impacts resulting from the design that require mitigation, the commission can identify conditions of approval to address them.

Staff does not believe there are any negative impacts from the proposed park design that require attention.

CONCLUSIONS

Staff recommendation to the Planning Commission is as follows:

1. Approve the proposed community service use. This will allow Balfour Park to be developed in accordance with the concept plan approved by Council in 2015.
2. Adopt the attached Findings and Conditions of Approval.

CODE AUTHORITY AND DECISION-MAKING PROCESS

The proposal is subject to the following provisions of the Milwaukie Municipal Code (MMC).

- MMC Section 19.301 Moderate Density Residential Zone (R-MD)
- MMC Subsection 19.504.7 On-Site Walkways and Circulation

- MMC Chapter 19.600 Off-Street Parking and Loading
- MMC Chapter 19.700 Public Facility Improvements
- MMC Section 19.904 Community Service Uses
- MMC Section 14.08.090 Conditional and Community Service Use Signs
- MMC Section 19.1006 Type III Review

This application is subject to Type III review, which requires the Planning Commission to consider whether the applicant has demonstrated compliance with the code sections shown above. In Type III reviews, the Commission assesses the application against review criteria and development standards and evaluates testimony and evidence received at the public hearing.

The Commission has four decision-making options as follows:

- A. Approve the application subject to the recommended Findings and Conditions of Approval.
- B. Approve the application with modified Findings and Conditions of Approval. Such modifications need to be read into the record.
- C. Deny the application upon finding that it does not meet approval criteria.
- D. Continue the hearing.

The final decision on this application, which includes any appeals to the City Council, must be made by November 3, 2023, in accordance with the Oregon Revised Statutes and the Milwaukie Zoning Ordinance. The applicant can waive the time period in which the application must be decided.

COMMENTS

Notice of the proposed changes was given to the following agencies and persons: City of Milwaukie Community Development, Engineering, Building, Public Works, and Police departments; City Attorney; Clackamas Fire District #1 (CFD); Ardenwald-Johnson Creek Neighborhood District Association (NDA) and Land Use Committee (LUC); Clackamas County Department of Transportation & Development (DTD); Metro; TriMet; North Clackamas Parks & Recreation District; and NW Natural. In addition, public notice was provided as required by MMC Subsection 19.1006.3 on August 2, 2023.

To date, no comments have been received.

ATTACHMENTS

Attachments are provided as indicated by the checked boxes. All material is available for viewing upon request.

	Public Copies	E-Packet
1. Findings in Support of Approval	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

	Public Copies	E-Packet
2. Conditions of Approval and Other Requirements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3. Applicant's Submittal Materials <i>(received June 23, 2023, unless otherwise noted)</i>		
a. Application Form	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b. Narrative	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
c. Plan sheets and graphics	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
d. Stormwater drainage report	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
e. Property deeds	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
f. Amenity image examples	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
g. Tree inventory	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
h. 2015 concept plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Key:

Public Copies = materials posted online to application website (<https://www.milwaukieoregon.gov/planning/csu-2023-002>)

E-Packet = meeting packet materials available one week before the meeting, posted online at <https://www.milwaukieoregon.gov/planning/planning-commission-82>

ATTACHMENT 1
Recommended Findings in Support of Approval
File #CSU-2023-002
Development of Balfour Park

Sections of the Milwaukie Municipal Code (MMC) not addressed in these findings are found to be inapplicable to the decision on this application.

1. The applicant, Peter Passarelli (Public Works Director), on behalf of the City of Milwaukie, has applied for community service use approval to construct improvements at Balfour Park. The subject property is located at 3039 SE Balfour St and is zoned Moderate Density Residential (R-MD). The land use application file number is CSU-2023-002.
2. The applicant proposes to develop Balfour Park in accordance with the associated concept plan adopted by City Council in 2015 (file #CPA-2015-002). The site, which consists of Lots 17 and 18 from Block 9 of the Bonnie View Acres Plat No. 4 subdivision (platted in 1923), is currently undeveloped; a pre-existing single-unit dwelling on the site was demolished in 2006-07. The proposed park improvements include a play area, natural play features, walking trails, water fountain, picnic shelter, bicycle parking, and a monument sign.
3. The proposal is subject to the following provisions of the Milwaukie Municipal Code (MMC):
 - MMC Section 19.301 Moderate Density Residential Zone (R-MD)
 - MMC Subsection 19.504.7 On-Site Walkways and Circulation
 - MMC Chapter 19.600 Off-Street Parking and Loading
 - MMC Chapter 19.700 Public Facility Improvements
 - MMC Section 19.904 Community Service Uses
 - MMC Section 14.08.090 Conditional and Community Service Use Signs
 - MMC Section 19.1006 Type III Review

The application has been processed and public notice provided in accordance with MMC Section 19.1006 Type III Review. A public hearing was held by the Planning Commission on August 22, 2023, as required by law.

4. MMC Section 19.301 Moderate Density Residential Zone (R-MD)

MMC 19.301 establishes standards for the Moderate Density Residential (R-MD) zone. The application meets the applicable standards of this section as described below.

- a. MMC Subsection 19.301.2 Allowed Uses

MMC 19.301.2 establishes the uses allowed outright in the R-MD zone, including single detached dwellings, middle housing types (duplexes, triplexes, quadplexes, townhouses, and cottage clusters), accessory dwelling units (ADUs), and residential homes. Community service uses are allowed with additional review as per MMC Section 19.904.

The subject property is currently undeveloped. The applicant is proposing to develop the space as a public park, which according to MMC 19.904.2.C is a community service use (CSU). CSUs are permitted in the R-MD zone subject to Type III review per MMC Table 19.301.2.

b. MMC Subsections 19.301.4 and 19.301.5 Development Standards

MMC 19.301.4 and 19.301.5 establish development standards for the R-MD zone for lot coverage, minimum vegetation, yard setbacks, and maximum height.

The key features of the proposal include a covered picnic area and a playground. No improvement is proposed to exceed the maximum height of 35 ft or proposed to be in a required yard. The applicant has submitted plans showing that the property will be vegetated well beyond the 30% minimum requirement and that there will be no structures that count towards lot coverage, as the covered picnic shelter will be unenclosed and the surface height will be less than 18 in above average grade.

As proposed, the applicable development standards of these subsections are met.

As proposed, the Planning Commission finds that the proposed development meets all applicable standards of MMC 19.301. This standard is met.

5. MMC Subsection 19.504.7 On-Site Walkways and Circulation

MMC 19.504.7 establishes standards for on-site walkways, which are required for all development that is subject to MMC Chapter 19.700 (excluding single-detached and multi-unit residential development). A walkway must be provided into the site for every 300 ft of street frontage and must connect with sidewalks and bicycle facilities. On-site walkways must be reasonably direct, constructed with a hard surface material, permeable for stormwater, and at least 5 ft wide. Walkways must be separated from parking areas using curbing, landscaping, or distinctive paving materials and must be lighted to an average 0.5-footcandle level.

As noted in Finding 2, the subject property is comprised of two tax lots; jointly, the lots have 144 ft of frontage on Balfour Street. As proposed, there will be two pedestrian entryways into the site from Balfour Street, forming a U-shaped walkway that begins and ends at the edge of the public right-of-way (ROW). Balfour Street does not currently have sidewalks and there are no plans to add them; however, the pathway does connect to the paved portion of the ROW. The proposed walkway is 6 ft wide, constructed with permeable pavers, and connects pedestrians to the park's various amenities in a reasonably direct way. As a neighborhood park, the proposal does not include any off-street vehicular parking spaces; therefore, the walkway separation standard is inapplicable. The pathway is not proposed to be illuminated, as the park will only be open during daytime hours.

The Planning Commission finds that the proposed development meets all applicable standards of MMC 19.504.7. This standard is met.

6. MMC Chapter 19.600 Off-Street Parking and Loading

MMC 19.600 regulates off-street parking and loading areas on private property outside the public right-of-way. The purpose of these requirements includes providing adequate space

for off-street parking, minimizing parking impacts to adjacent properties, and minimizing environmental impacts of parking areas.

a. MMC Section 19.602 Applicability

MMC 19.602 establishes the applicability of the provisions of MMC 19.600, and MMC Subsection 19.602.3 establishes thresholds for full compliance with the standards of MMC 19.600. Development of a vacant site shall have off-street parking and off-street loading areas that conform to the requirements of Chapter 19.600.

Per Oregon Administrative Rules (OAR) 660-012-0012 and 660-12-0440, which relate to Climate-Friendly and Equitable Communities (CFEC) rulemaking, the City is prohibited from mandating minimum off-street vehicular parking quantity requirements because of the subject property's proximity to a TriMet bus stop. However, all other provisions of MMC 19.600 may still apply.

The applicant is proposing to develop the subject property, which is currently vacant, as a public park by adding a paved walkway, bicycle racks, a covered picnic area, landscaping, and a playground. Although the CFEC-related limitations noted above prevent the implementation of minimum off-street vehicular parking quantity requirements, the Planning Commission finds that the proposal constitutes the development of a vacant site and that compliance with the other applicable sections of MMC 19.600 is required.

b. MMC Section 19.605 Vehicle Parking Quantity Requirements

MMC 19.605 establishes standards to ensure that development provides adequate vehicle parking (off-street) based on estimated parking demand. As per the CFEC-related limitations noted above, the City is prohibited from mandating minimum off-street vehicular parking quantity requirements because of the subject property's proximity to frequent transit provided by TriMet. However, maximum off-street vehicular parking limitations still apply. Additionally, off-street vehicular parking minimums are used to determine the required quantity of off-street bicycle parking per MMC Section 19.609 and for that reason are addressed below.

MMC Table 19.605.1 does not provide minimum and maximum quantity requirements for park uses. The park is designated as a neighborhood park in the City's Comprehensive Plan and is intended to primarily be accessed by people walking or bicycling. A previous parking determination (file #P-2013-02) specified that neighborhood parks are not designed to generate demand for off-street parking because the size and facilities available are intended to only attract users that live near the park. Moreover, even if parking quantity standards were identified, recent changes to state law prohibit the City from requiring a minimum quantity of off-street parking for this property because of its proximity to frequent transit. Parking maximums are not a concern, as the applicant is not proposing any off-street vehicular parking.

c. MMC Section 19.609 Bicycle Parking

MMC 19.609 establishes standards for bicycle parking. Unless otherwise specified, the number of bicycle parking spaces is at least 10% of the minimum required vehicle

parking for the use (CFEC limitations aside). In no case will fewer than two bicycle spaces be provided.

MMC Subsection 19.609.3.A requires that each bicycle parking space have minimum dimensions of 2 ft by 6 ft, with 5-ft-wide aisles for maneuvering. MMC Subsection 19.609.4 requires bike racks to be securely anchored and designed to allow the frame and one wheel to be locked to the rack with a U-shaped lock. Bicycle parking must be located within 50 ft of a main building entrance, closer to the entrance than the nearest non-ADA-designated vehicle parking space, designed to provide access to a public right-of-way, in a location that is visible from the main parking lot, designed not to impede pedestrians along sidewalks, and separated from vehicle parking areas by curbing or other similar physical barriers.

As noted above, there are no required vehicle parking spaces for the site. Consequently, a minimum of two bicycle parking spaces are required. There are currently no bicycle parking spaces on site and the applicant is proposing to add three staple-style racks adjacent to the southwestern park entrance, thereby providing six total bicycle parking spaces. The applicant has included anchoring plans and shows that the racks' location provides the minimum 2-ft by 6-ft space dimensions without impeding the adjacent 6-ft-wide pedestrian walkway. Staple-style racks allow the user to lock both the frame and one wheel with a high-security, U-shaped, shackle lock. The parking spaces provide direct access to the public ROW and will be visible to park visitors.

As proposed, the standards of MMC 19.609 are met.

As proposed and conditioned, the Planning Commission finds that the applicable standards of MMC 19.600 are met.

7. MMC Chapter 19.700 Public Facility Improvements

MMC 19.700 is intended to ensure that development, including expansions, provides public facilities that are safe, convenient, and adequate in rough proportion to their public facility impacts.

a. MMC Section 19.702 Applicability

MMC 19.702 establishes the applicability of MMC 19.700, including a new dwelling unit, any increase in gross floor area, land divisions, new construction, and modification or expansion of an existing structure or a change or intensification in use that result in any projected increase in vehicle trips.

The applicant is proposing to develop the space as a public park. The City Engineer has determined that these improvements would result in an increase in trips. The proposed development triggers the requirements of MMC 19.700.

MMC 19.700 is applicable to the proposed development.

b. MMC Section 19.703 Review Process

MMC 19.703 establishes the review process for development that is subject to MMC 19.700, including requiring a preapplication conference, establishing the type of application required, and establishing approval criteria.

The requirement for a preapplication conference with City staff was waived by the Planning Manager for this proposal. As noted in Finding 7-c, a Transportation Impact Study (TIS) is not required; therefore, a Transportation Facilities Review application is not necessary. Rather than construct the transportation improvements noted in Finding 7-e, payment of a Fee in Lieu of Construction (FILOC) is recommended.

This standard is met.

c. MMC Section 19.704 Transportation Impact Evaluation

MMC 19.704 establishes that the City Engineer will determine whether a proposed development has impacts on the transportation system by using existing transportation data. If the City Engineer cannot properly evaluate a proposed development's impacts without a more detailed study, a TIS will be required to evaluate the adequacy of the transportation system to serve the proposed development and determine proportionate mitigation of impacts.

The City Engineer has determined that a TIS is not required, as the impacts of the park improvements on the transportation system are minimal. The park is centrally located in the neighborhood, is proposed to include basic amenities, and is most likely to be used by people walking and bicycling.

This standard is met.

d. MMC Section 19.705 Rough Proportionality

MMC 19.705 requires that transportation impacts of the proposed development be mitigated in proportion to its potential impacts.

Finding 7-e addresses the required construction of new sidewalk on Balfour Street along the subject property frontage. Finding 7-f addresses the requirement for public utility easements along the property's street frontage. The proposed development does not trigger mitigation of impacts beyond those discussed in these findings.

This standard is met.

e. MMC Section 19.708 Transportation Facility Requirements

MMC 19.708 establishes the City's requirements and standards for improvements to public streets, including pedestrian, bicycle, and transit facilities. MMC Subsection 19.708.1 requires compliance with MMC Chapter 12.16 and establishes general requirements and standards for streets, including access management, clear vision, street design, connectivity, and intersection design and spacing standards. MMC Table 19.708.2 provides more specific street design standards for various street classifications, including for arterial and neighborhood routes. All streets, sidewalks,

necessary public improvements, and other public transportation facilities located in the public ROW and abutting the development site must be adequate at the time of development or must be made adequate in a timely manner. The City's street design standards are based on the street classification system described in the City's Transportation System Plan (TSP).

The subject property has frontage on Balfour Street, which the City's TSP and Transportation Design Manual classify as a local street. As established in MMC Table 19.708.2 Street Design Standards, the required ROW width for a local street is between 20 ft and 68 ft, depending on the required street improvements. Balfour Street has a ROW width of 50 ft. This standard is met.

New curb, gutter, and sidewalk on Balfour Street along the entire subject property frontage is required to provide a connecting pedestrian route between the park and the street. Per MMC 13.32, the applicant may apply to pay a Fee in Lieu of Construction (FILOC) rather than construct these improvements. A condition has been established to ensure that these improvements are provided and that the applicable standards of MMC 19.708 are met.

As conditioned, the proposed development meets the applicable standards of MMC 19.708.

f. MMC Section 19.709 Public Utility Requirements

MMC 19.709 establishes the City's requirements and standards to ensure the adequacy of public utilities to serve development.

The proposed development does not present significant new impacts to existing public utilities, which are adequate to serve the proposed use. To ensure there is sufficient room to accommodate future utility needs, a condition has been established to require a 10-ft public utility easement (PUE) along the subject property's frontage on Balfour Street.

As conditioned, the proposed development meets the applicable standards of MMC 19.709.

As proposed and conditioned, the Planning Commission finds that the applicable standards of MMC 19.700 are met.

8. MMC Section 19.904 Community Service Uses

MMC 19.904 provides standards and procedures for review of applications for community service uses (CSUs). These are uses that are not specifically allowed outright in most zoning districts but that address a public necessity or otherwise provide some public benefit. CSUs include schools and accompanying sports facilities.

a. MMC Subsection 19.904.2 Applicability

MMC 19.904.2 establishes applicability of the CSU regulations, including a requirement for review to establish or modify a CSU.

The application is to establish a new CSU.

The Planning Commission finds that the standards of MMC 19.904 are applicable to the proposed development.

b. MMC Subsection 19.904.3 Review Process

MMC 19.904.3 establishes the review process for CSUs. Except for wireless communication facilities and minor modifications to existing CSUs, applications for CSUs are subject to Type III review (MMC 19.1006).

The proposal is for establishing a new CSU and does not qualify as a minor modification to an existing CSU as per MMC Subsection 19.904.5.C.

The Planning Commission finds that the proposed development is subject to the procedures for Type III review.

c. MMC Subsection 19.904.4 Approval Criteria

MMC 19.904.4 establishes the following approval criteria for CSUs:

- (1) The building setback, height limitation, and off-street parking and similar requirements governing the size and location of development in the underlying zone are met. Where a specific standard is not proposed for a CSU, the standards of the underlying zone must be met.

As discussed in Findings 6-b and 6-c, the applicant is not proposing any vehicular off-street parking and is meeting the minimum bicycle parking quantity and spacing requirements of MMC 19.609. The property is zoned R-MD, and so the standards in Table MMC 19.301.4 apply. The key features of the development include a picnic area and a playground; as discussed in Finding 5, no feature is proposed to exceed the maximum height or be in a required yard.

This criterion is met.

- (2) Specific standards for the proposed uses as found in MMC 19.904.7-11 are met.

The proposed modifications are subject to the standards provided in MMC Subsection 19.904.8 for public, private, religious, and other facilities not covered by other standards. The only specific standards of MMC 19.904.8 that apply to the proposed modification are the requirements of MMC Subsections 19.904.8.F and 19.904.8.G. The former requires that lighting be designed to avoid glare on adjacent residential uses; the latter requires that hours of operation be adjusted to make the use compatible with adjacent uses.

The applicant has proposed lighting only under the picnic shelter; the application confirms that the lighting will be located at the peak of the shelter roof and oriented downwards to minimize any impact on the surrounding area. As discussed below in Finding 8-c-3, the City has operating hours for public parks that effectively limit the operating hours to daytime use only.

This criterion is met.

- (3) MMC Subsection 19.904.4.C requires the hours and levels of operation of the proposed use to be reasonably compatible with surrounding uses.

As per MMC Subsection 9.28.020.F, parks open 30 minutes before sunrise and close 30 minutes after sunset. Balfour Park will employ these same hours, so it is essentially a facility for daytime use only. Surrounding uses include primarily single-unit detached dwellings, and the park is intended to primarily serve residents within approximately a half-mile of the site.

This criterion is met.

- (4) MMC Subsection 19.904.4.D requires that the public benefits of the proposed use be greater than the negative impacts, if any, on the neighborhood.

Balfour Park is classified in the Milwaukie Comprehensive Plan as a neighborhood park, which means it is intended to serve residents within approximately a half-mile of the site. The nature and scale of amenities that will be provided are not intended to attract users from farther parts of the city or the larger parks district. The park will serve as a recreational amenity for the adjacent neighborhood.

The park will be officially open only during daylight hours throughout the year. No off-street parking will be provided at the park, as most users will access the site from the adjacent neighborhood area by bicycle or on foot. Impacts from increased vehicle traffic will be minimal. The proposed improvements do not include athletic fields for organized sporting events, so noise impacts will be minimal.

The Planning Commission finds that the public benefits of the proposed development are greater than any negative impacts.

This criterion is met.

- (5) MMC Subsection 19.904.4.E requires the location to be appropriate for the type of use proposed.

The subject property has a "Public" land use designation in the Comprehensive Plan. Balfour Park is classified as a "neighborhood park" that is intended to serve the surrounding residential neighborhood. The property is located on Balfour Street, which is identified as a local street in Figure 8-1 of the Milwaukie TSP. Balfour Street is not developed with sidewalks or bicycle lanes; however, as a local street, the volume of traffic is less than 1,500 trips per day and the street is intended to be shared by all users.

This criterion is met.

As proposed, the Planning Commission finds that the proposed new CSU meets the approval criteria of MMC 19.904.4.

The Planning Commission finds that the proposed development meets all applicable standards of MMC 19.904 to be approved as a new CSU. This standard is met.

9. MMC Section 14.08.090 Conditional and Community Service Use Signs

ATTACHMENT 1

MMC 14.08.090 establishes that, in general, signs for conditional and community service uses are limited to those allowed in the underlying zone. However, as per MMC Subsection 14.08.090.B, the underlying zone standards may be increased to the standards listed in MMC Table 14.08.090.B, subject to Type I review. A monument or freestanding sign may be approved with a maximum area of 16 sq ft per display surface.

As noted in Finding 2, the applicant has proposed to install a new monument sign. The sign is proposed to be no taller than 3 ft with a display surface of no larger than 12 sq ft. No illumination is proposed, though external illumination would be allowed in the underlying residential sign district as per MMC Section 14.16.010.

The Planning Commission finds that the proposed signage is consistent with that allowed for conditional and community service uses through Type I review, as per MMC Subsection 14.08.090.B. This standard is met.

10. The application was referred to the following departments and agencies on July 13, 2023:

- Milwaukie Community Development Department
- Milwaukie Engineering Department
- Milwaukie Building Department
- Milwaukie Public Works Department
- Milwaukie Police Department
- City Attorney
- Ardenwald-Johnson Creek Neighborhood District Association (NDA) Chairperson and Land Use Committee (LUC)
- Clackamas Fire District #1 (CFD)
- Clackamas County Department of Transportation & Development
- Metro
- TriMet
- North Clackamas Parks and Recreation District (NCPRD)
- NW Natural

In addition, public notice was provided on August 2, 2023, as required by MMC Subsection 19.1006.3. No responses were received from either the referral or public notice mailing.

ATTACHMENT 2
Recommended Conditions of Approval and Other Requirements
File #CSU-2023-002, Balfour Park development

Conditions

1. The final plans submitted for development permit review for the proposed improvements must be in substantial conformance with plans approved by this action, which are the plans stamped received by the City on June 23, 2023, except as otherwise modified by these conditions.
2. As per Finding 7-e, construct improvements along the subject property's frontage on Balfour Street, including curb, gutter, and sidewalk; or request to pay a fee in lieu of construction (FILOC) as provided by Milwaukie Municipal Code (MMC) Chapter 13.32. For constructed improvements, engineered plans must be reviewed and approved by the City's Engineering Department in conjunction with processing of the associated right-of-way permit.
3. As per Finding 7-f, provide a 10-ft public utility easement (PUE) along the subject property's frontage on Balfour Street, to accommodate future utility needs.

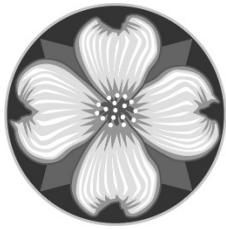
Additional Requirements

The following items are not conditions of approval necessary to meet applicable land use review criteria. They relate to other development standards and permitting requirements contained in the Milwaukie Municipal Code and Public Works Standards that are required at various points in the development and permitting process.

1. Expiration of Approval

As per MMC Subsection 19.1001.7.E, the land use approval granted with this decision will expire and become void unless the following criteria are satisfied. For proposals requiring any kind of development permit, the development must complete both of the following steps:

- a. Obtain and pay for all necessary development permits and start construction within two years of land use approval.
- b. Pass final inspection and/or obtain a certificate of occupancy within four years of land use approval.

**MILWAUKIE PLANNING**

6101 SE Johnson Creek Blvd
Milwaukie OR 97206
503-786-7630
planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: CSU-2023-002

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| <input type="checkbox"/> Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input checked="" type="checkbox"/> Community Service Use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance: |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Director Determination | <input type="checkbox"/> Natural Resource Review** | <input type="checkbox"/> Willamette Greenway Review |
| <input type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input type="checkbox"/> Historic Resource: | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| <input type="checkbox"/> Status Deletion | | • Appeal |

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): Peter Passarelli

Mailing address: 10722 SE Main Street, Milwaukie, OR State/Zip: 97222

Phone(s): 503.786.7614 Email: PassarelliP@milwaukieoregon.gov

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above): Matt Hastie, AICP

Mailing address: 506 SW 6th Ave, Suite 400, Portland, OR State/Zip: 97204

Phone(s): 503-539-7680 Email: mhastie@migcom.com

SITE INFORMATION:

Address: 3039 SE Balfour St. Map & Tax Lot(s): 11E25CA07000

Comprehensive Plan Designation: MD Zoning: R-MD Size of property: 35,600 sf

PROPOSAL (describe briefly):

Low-impact clearing and regrading, and selective tree removal is proposed and will allow for proposed park features, which include a play area, nature play features, walking trails, a shelter, and other amenities.

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by: 

Date: 06/23/2023

IMPORTANT INFORMATION ON REVERSE SIDE

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT <small>(after discount, if any)</small>	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	CSU-2023-002	\$ 2,000	100%	City-sponsored application	Materials submitted 6/23/2023 (no payment required)
Concurrent application files		\$			
		\$			
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ ---			RECEIPT #:		RCD BY:

Associated application file #s (appeals, modifications, previous approvals, etc.):

Neighborhood District Association(s): Ardenwald-Johnson Creek

Notes:

Milwaukie Parks Land Use
Planning and Permitting
Balfour Park

Community Service Use Review
APPLICATION

Submitted to:

City of Milwaukie

Submitted by:

Matt Hastie, AICP, MIG | APG

July 2023

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List of Attachments:

- A. 30% Design Concept Drawings
- D. Stormwater Drainage Report
- G. Proof of Ownership (deed)
- H. Picnic Shelter and Play Area Amenities – Examples
- K. Tree Inventory
- N. Balfour Park Concept Plan, NCPRD, 2015

1. Introduction

Project Team

Owner

City of Milwaukie
Adam Moore
10722 SE Main Street
Milwaukie, OR 97222
503-786-7624
moorea@milwaukieoregon.gov

Survey

KPFF
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Landscape Architect

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503-222-5612
benj@greenworkspc.com

Land Use Planners

MIG
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mhastie@migcom.com

Civil

KPFF
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111 SW 5th Avenue, Suite 2400
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503-542-3860
jessica.zink@kpff.com

Consulting Arborist

Teragan & Associates
Terrence P. Flanagan
3145 West View Circle
Lake Oswego, OR 97034
503-697-1975
terry@teragan.com

Project Summary

Site Description:

The site is located at 3039 SE Balfour St. (tax lot 7000 and tax lot 6900) and defined by SE Balfour St. to the south, and residential properties to the east, west and north. The total site area is 35,600 square feet (sf) in size and is currently undeveloped although it has been planned for use as a future park since 2008 when it was purchased with funds from the Metro regional natural areas bond measure. The site was the subject of a previous concept planning process conducted by the North Clackamas Park and Recreation District in 2015 as described in more detail below.

The site is zoned Moderate Density Residential (R-MD). Per the Comprehensive Plan, the site is designated for Moderate Density residential land use. "The moderate density residential zone is intended to create, maintain, and promote neighborhoods and allow a broad range of housing types. Some non-residential uses are allowed, but overall the character is one of residential neighborhoods." Parks are permitted in the R-MD zone as a Community Service Use, subject to Subsection 19.904 of the City of Milwaukie Zoning Ordinance.

Proposed Improvements:

A variety of changes and improvements are proposed at the site, including the following as shown on the accompanying figure:

- Low-impact clearing and regrading.
- Selective tree removal to allow for proposed park features and to removed unhealthy trees. See Attachment A, sheet L11.01 for details.
- A new play area will be constructed. It will include nature play features and other small equipment and be oriented towards younger children.
- Several new walking trails will be added. These trails will be made of pervious materials and meet the City's minimum width requirements (five feet) to minimize impacts while ensuring accessibility.
- A new picnic shelter will be constructed. It will be approximately 17 feet x 17 feet in size and 13 feet tall (see Attachment H for an example of the type of shelter that could be installed). It will include lighting placed within the structure under the peak of the roof. It will be oriented downwards to minimize any impacts on the surrounding area.
- Other amenities will include several wooden benches for seating, bicycle parking (three spaces), picnic tables, fencing and bollards, drinking fountain, and a water play feature.
- Four new trees and a large number of new shrubs will be planted on the site. The majority of the new plants will be native species. A stormwater feature will also be constructed.

Six (6) trees are proposed for removal. All of these trees are in poor condition, exhibit extensive die-back, and have been identified as diseased or dead and recommended for

removal by the project arborist (Teragan Associates). More detailed information about the trees proposed for removal is found in the tree protection plan (Attachment A, Sheet L.11.01) and arborist observations associated with this application (see Attachment K). The City will submit a tree removal application through a separate permitting process (per MMC section 16.32.026) and will address tree removal requirements in more detail at that time.

The proposed improvements to Balfour Park build on and incorporate the results of extensive concept planning and community engagement efforts conducted by the City and its planning team in 2022 and 2023. Throughout 2022, the city hosted three large public events, multiple online surveys and focus groups with Milwaukie's Black, Indigenous and People of Color (BIPOC) community members. After preparing and refining initial concepts, a revised draft Concept Plan for the park was approved by Milwaukie City Council on December 6, 2022. The proposed design and improvements build on and are generally consistent with those efforts.

The plans also build on concept planning efforts conducted by the North Clackamas Park and Recreation District in 2015. That plan assumed a similar set of amenities and features to those proposed in this application, including new pathways, a play area and equipment, seating, bicycle parking, and a variety of new plantings (trees, shrubs and other landscaping). That Concept Plan and adoption application are included as Attachment N.

As noted above, Attachment H includes examples of the types of amenities that may be included in the park. These should be considered as examples only and not as proposed final designs. The designs for specific park amenities are still under consideration and may be further refined as the City completes the detailed design and building permit process.

2. 19.301.4 Development Standards (R-MD Base Zone)

Response: The development standards in Subsection 19.301.4 are not applicable to the proposed park development, as they are written only for residential development. This project will meet all of the standards for Subsection 19.904 – Community Service Use as detailed in Section 3 of this application narrative.

3. 19.904.7-11 Community Service Use Standards

19.904.8 Specific Standards for Institutions—Public, Private, Religious, and Other Facilities not Covered by Other Standards

- a. *Utilities, streets, or other improvements necessary for the public facility or institutional use shall be provided by the agency constructing the use.*

Response: Per Sheet C13.00 – Utility Plan, all utilities for the park will be provided. Sheet 12.01 shows the existing utilities that will be preserved and protected as part of the site demolition process. Proposed utilities will include new water connections to provide water to the proposed water feature and drinking fountain and stormwater management facilities to manage stormwater from new impervious surfaces.

- b. *When located in or adjacent to a residential zone, access should be located on a collector street if practicable. If access is to a local residential street, consideration of a request shall include an analysis of the projected average daily trips to be generated by the proposed use and their distribution pattern, and the impact of the traffic on the capacity of the street system which would serve the use. Uses which are estimated to generate fewer than 20 trips per day are exempted from this subsection.*

Response: Primary pedestrian access to the site will be located on the south end of the site, off Balfour St. This site will provide relatively modest passive and active recreational features, including a picnic shelter, modest play area, pathways, open space and natural areas which are intended to serve the residents of the neighborhood. It is not proposed as a regional or larger-scale community park and it is not anticipated to generate excessive traffic. The types of traffic associated with the proposed park will be those associated with the existing land use which will predominately consist of passenger vehicles. A majority of park users are expected to access the park by walking or bicycling.

- c. *When located in a residential zone, lot area shall be sufficient to allow required setbacks that are equal to a minimum of $\frac{2}{3}$ the height of the principal structure. As the size of the structure increases, the depth of the setback must also increase to provide adequate buffering.*

Response: The principal structure proposed for the park is the picnic shelter which is 13 feet tall. The proposed setback is approximately 35 feet which is more than $\frac{2}{3}$ of the height of the shelter structure; therefore this standard is met.

- d. *The height limitation of a zone may be exceeded to a maximum height of 50 ft provided Subsection 19.904.8.C of this subsection is met.*

Response: The picnic shelter will not exceed the by-right maximum height; therefore this standard is not applicable.

- e. *Noise-generating equipment shall be sound-buffered when adjacent to residential areas.*

Response: No permanent noise generating equipment is proposed within the park. The site is not expected to generate any excessive amount of noise outside of those typically associated with a small-scale park facility. Park hours will be set to minimize disruptions to adjacent residential areas. In general, park use is expected to be limited to daytime hours. With the exception of lighting for safety, no significant lighting to enable night-time use is proposed.

- f. *Lighting shall be designed to avoid glare on adjacent residential uses and public streets.*

Response: Lighting will be designed to avoid glare on adjacent streets and properties. Some existing light fixtures will be preserved.

- g. *Where possible, hours and levels of operation shall be adjusted to make the use compatible with adjacent uses.*

Response: Standard operating hours for Milwaukie Parks are 30 minutes before sunrise to 30 minutes after sunset. This facility will follow those hours which were set to minimize impact on neighboring residential uses. As noted above, park use is expected to be limited to daytime hours.

- h. *A spire on a religious institution may exceed the maximum height limitation. For purposes of this subsection, "spire" means a small portion of a structure that extends above the rest of the roofline, or a separate structure that is substantially smaller than the main structure and extends above the roofline of the main structure. "Spire" includes but is not limited to ornamental spires, bell towers, other towers, minarets, and other similar structures or projections. The number of spires on a religious institution property is not limited, so long as the spires remain only a small portion of the area of the structures.*

- i. *The minimum landscaping required for religious institutions is the lesser of 15% of the total site area and the percentage required by the underlying zone.*

- j. *Park-and-ride facilities may be encouraged for institutions along transit routes that do not have days and hours in conflict with weekday uses (e.g., religious institutions or fraternal organizations). Such uses may be encouraged to allow portions of their parking areas to be used for park-and-ride lots.*

Response: The proposed park project is not a religious institution or other institutional use; therefore Standards H-J do not apply.

4. 19.901.4 Approval Criteria

An application for a community service use may be allowed if the following criteria are met:

- A. *The building setback, height limitation, and off-street parking and similar requirements governing the size and location of development in the underlying zone are met. Where a specific standard is not proposed in the CSU, the standards of the underlying zone are met;*

Response: As shown in the previous sections, standards for the underlying R-MD zone related to height and setbacks will be met. No off-street parking is proposed for the park, given that most visitors are expected to access the park by walking or bicycling, on-street parking is available on Balfour Street, and a passenger drop-off area is proposed to be located at the southwest corner of the park. As a result, this approval criterion is met.

- B. *Specific standards for the proposed uses as found in Subsections 19.904.7-11 are met;*

Response: As shown in Section 3 of this application, all standards for the Community Service Use are met and this approval criterion is met.

- C. *The hours and levels of operation of the proposed use are reasonably compatible with surrounding uses;*

Response: Standard operating hours for Milwaukie Parks are 30 minutes before sunrise to 30 minutes after sunset. As described in previous sections of this narrative, park use is expected to be limited to daytime hours and operating hours for the park will be set accordingly. As a result, this approval criterion is met.

- D. *The public benefits of the proposed use are greater than the negative impacts, if any, on the neighborhood; and*

Response: No negative neighborhood impacts are anticipated as part of this project and the nature of the area will be improved as the lot is currently vacant. This project provides recreational opportunities that are currently lacking in the surrounding neighborhood. The project is designed to be accessible for all ages and abilities and will provide the community with opportunities to play and connect with nature through a combination of passive and active recreational activities. The level of use and associated traffic, noise and other impacts will be similar to and compatible with surrounding residential uses and will enhance the overall character and livability of the surrounding neighborhood. Minimal exterior lighting or other features that would impact surrounding homes are proposed. As a result, this approval criterion is met.

E. The location is appropriate for the type of use proposed.

Response: The proposed park is located on a currently undeveloped parcel in a residential neighborhood. A park facility is an improvement on the vacant lot and will improve the overall quality of the neighborhood by providing recreation and play facilities, plus opportunities for community gathering. As a result, this approval criterion is met.

Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit A – 30% Design Drawings

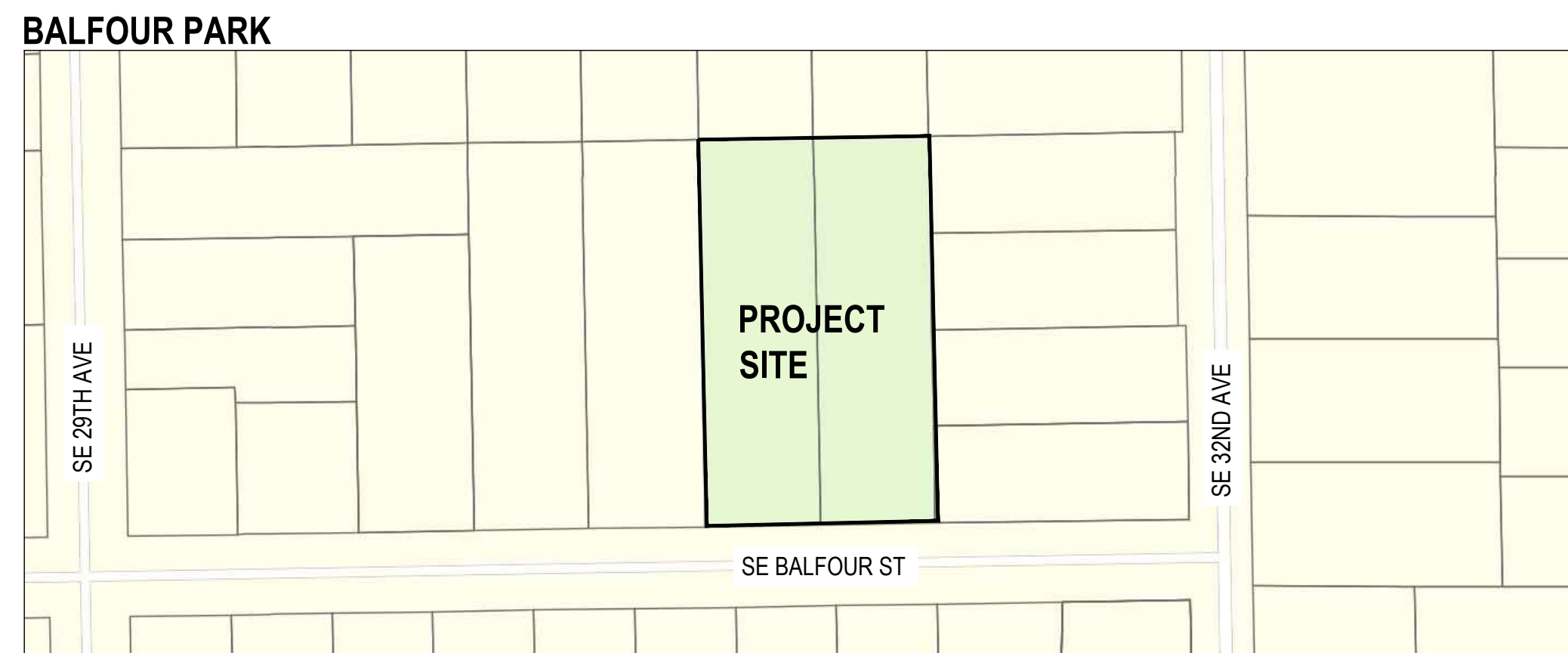
PROJECT DESCRIPTION

SCOTT PARK: LOCATED AT 10660 SE 21ST AVE. AND DEFINED BY LEDDING LIBRARY TO THE SOUTH, POND TO THE EAST AND ADJACENT DEVELOPMENTS AND PARKING AREAS TO THE NORTH AND WEST. TOTAL SITE AREA IS 20,400 SF. THE EXISTING PATH AND PART OF THE LAWN WILL BE DEMOLISHED FOR THE PLANNED SITE FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, POND OVERLOOK AND OTHER AMENITIES. THE EXISTING PARKING, SIDEWALK, AMPHITHEATER AND WAR MEMORIAL WILL REMAIN.

BALFOUR PARK: LOCATED AT 3039 SE BALFOUR ST. AND DEFINED BY SE BALFOUR ST TO THE SOUTH, AND RESIDENTIAL PROPERTIES TO THE EAST, WEST AND NORTH. THE TOTAL SITE AREA IS 35,600 SF. LOW-IMPACT CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, NATURE PLAY FEATURES, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

BOWMAN BRAE PARK: LOCATED AT 4267 SE BOWMAN ST. AND DEFINED BY SE BOWMAN ST TO THE SOUTH, PRIVATE DRIVE TO THE EAST AND ADJACENT RESIDENTIAL PROPERTIES TO THE NORTH AND WEST. TOTAL SITE AREA IS 30,000 SF. CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

VICINITY MAPS



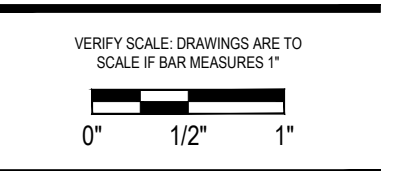
Scott Park, Balfour Park, & Bowman Brae Park

Milwaukie, OR 97222



SHEET INDEX

SHEET #	SHEET TITLE	SHEET COUNT	SHEET #	SHEET TITLE	SHEET COUNT
ALL PARKS					
G0.00	COVER SHEET & SHEET INDEX	01	C22.00	UTILITY PLAN	34
G0.01	GENERAL NOTES AND ABBREVIATIONS	02	C22.01	FRONTAGE IMPROVEMENTS	35
			C22.02	EROSION CONTROL PLAN AND DETAILS	36
SCOTT PARK					
L1.01	EXISTING CONDITIONS PLAN	03	L22.01	MATERIALS NOTES	37
L2.01	TREE PROTECTION PLAN	04	L22.01	MATERIALS PLAN	38
L3.01	DEMOLITION PLAN	05	L23.01	LAYOUT PLAN	39
			L24.01	GRADING PLAN	40
C3.00	UTILITY PLAN	06	L25.00	IRRIGATION SCHEDULE AND NOTES	41
C3.01	EROSION CONTROL PLAN AND DETAILS	07	L25.01	IRRIGATION PLAN	42
			L26.00	PLANT SCHEDULE AND NOTES	43
L4.00	MATERIALS NOTES	08	L26.01	PLANTING PLAN	44
L4.01	MATERIALS PLAN	09	L27.01	SITE SECTIONS	45
L5.01	LAYOUT PLAN	10	ALL PARKS		
L6.01	GRADING PLAN	11	C28.01	CIVIL DETAILS	46
L7.00	IRRIGATION SCHEDULE AND NOTES	12	C28.02	CIVIL DETAILS	47
L7.01	IRRIGATION PLAN	13	L28.01	SITE DETAILS	48
L8.00	PLANT SCHEDULE AND NOTES	14	L28.02	SITE DETAILS	49
L8.01	PLANTING PLAN	15	L29.01	IRRIGATION DETAILS	50
L9.01	SITE SECTIONS	16	L29.02	IRRIGATION DETAILS	51
			L30.01	PLANTING DETAILS	52
BALFOUR PARK					
L10.01	EXISTING CONDITIONS PLAN	17			
L11.01	TREE PROTECTION PLAN	18			
L12.01	DEMOLITION PLAN	19			
C13.00	UTILITY PLAN	20			
C13.01	EROSION CONTROL PLAN AND DETAILS	21			
L13.00	MATERIALS NOTES	22			
L13.01	MATERIALS PLAN	23			
L14.01	LAYOUT PLAN	24			
L15.01	GRADING PLAN	25			
L16.00	IRRIGATION SCHEDULE AND NOTES	26			
L16.01	IRRIGATION PLAN	27			
L17.00	PLANT SCHEDULE AND NOTES	28			
L17.01	PLANTING PLAN	29			
L18.01	SITE SECTIONS	30			
BOWMAN BRAE PARK					
L19.01	EXISTING CONDITIONS PLAN	31			
L20.01	TREE PROTECTION PLAN	32			
L21.01	DEMOLITION PLAN	33			



Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukie
 10722 SE Main Street
 Milwaukie, OR 97222
 503-786-7555

Submittal: Design Development
 Sheet Title:
 Cover

PROJECT DIRECTORY

OWNER / CONTACT	LANDSCAPE ARCHITECT	CIVIL ENGINEER	SITE SURVEY	ARBORIST
CITY OF MILWAUKIE 10722 SE MAIN ST MILWAUKIE, OR 97222 PROJECT CONTACT: Adam Moore PHONE: 503-786-7624 EMAIL: moorea@milwaukieoregon.gov	GREENWORKS, P.C. 110 SE MAIN ST, SUITE 100 PORTLAND, OR 97214 PROJECT CONTACT: Ben Johnson PHONE: 503-222-5612 EMAIL: benj@greenworkspc.com	KPFF 111 SW 5TH AVE, SUITE 2400 PORTLAND, OR 97204 PROJECT CONTACT: Jessica Zink PHONE: 503-542-3860 EMAIL: jessica.zink@kpff.com	KPFF 111 SW 5TH AVE, SUITE 2400 PORTLAND, OR 97204 PROJECT CONTACT: John R. Davis PHONE: 503-542-3860 EMAIL: john.davis@kpff.com	TERAGAN & ASSOCIATES 3145 WESTVIEW CIRCLE LAKE OSWEGO, OR 97034 PROJECT CONTACT: Terrence P. Flanagan PHONE: 503-697-1975 EMAIL: terry@teragan.com

SUBMITTAL

30% CONSTRUCTION DOCUMENTS
 ISSUE DATE: APRIL 11, 2023
 REVISION DATE:

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC

Checked By: BJ/GM

Job No. 210234.1

Approved: GW

GO.00

Sheet No. 01 of 52

GENERAL NOTES

- ALL WORK PERFORMED IN CONNECTION WITH THE CONTRACT DOCUMENTS, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, PRACTICES AND REQUIREMENTS OF THE APPLICABLE FEDERAL, STATE AND LOCAL AUTHORITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH ALL CONSTRUCTION ACTIVITIES. THE LOCATIONS AND IDENTIFICATION OF UTILITIES WITHIN THIS DOCUMENT IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. ANY DISCREPANCIES BETWEEN SURVEY INFORMATION AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT SHALL BE UNDERSTOOD THAT THE IMPROVEMENTS SHOWN ON THE DRAWINGS AND SPECIFICATIONS ARE MEANT TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. MODIFICATIONS, CONFLICTS, OR ISSUES THAT WOULD CONTRADICT RELEVANT CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- COMPLY WITH OREGON LAW REQUIRING ADHERENCE TO THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. NOTIFY THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. PHONE CONTACT FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344 (or 811).
- REPAIR AT OWN EXPENSE ANY DAMAGE DONE TO UTILITY SYSTEMS, SURFACE PAVEMENTS, SITE FEATURES, AND STRUCTURES, WHETHER INSIDE OR OUTSIDE OF THE PROJECT LIMITS, THAT ARE NOT DIRECTLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION.
- ALL QUANTITIES SHOWN ON THE DRAWINGS OR SPECIFICATIONS ARE FOR CONVENIENCE ONLY.
- UPON PROJECT COMPLETION, THE PROJECT AREA AND ADJACENT SPACES SHALL BE FREE AND CLEAR OF ALL CONSTRUCTION MATERIALS, WASTE AND DEBRIS. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL MATERIALS AS INDICATED IN THE PROJECT CONTRACT DOCUMENTS AND MUST MEET ALL APPLICABLE REGULATIONS OVERSEEING WASTE DISPOSAL.

GENERAL LEGEND

SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		BUILDING OUTLINE WITH DOOR
	SIGN		CONCRETE SURFACE
	BOLLARD		ASPHALT SURFACE
	BIKE RACK		WALL
	ROOF DRAIN		BUILDING OVERHANG
	ELECTRICAL JUNCTION BOX		CURB LINE
	ELECTRICAL METER		EDGE OF ASPHALT
	ELECTRICAL OUTLET		ELECTRICAL LINE
	ELECTRICAL CABINET		STORM LINE
	ELECTRICAL SWITCH		WATER LINE
	ELECTRICAL VAULT		EDGE OF WATER
	TRANSFORMER		CHAIN LINK FENCE
	LUMINAIRE		WOOD FENCE
	GROUND FLOOD LIGHT		MAJOR CONTOUR
	OVERHEAD LIGHT		MINOR CONTOUR
	STORM MANHOLE WITH STRUCTURE		DECIDUOUS TREE
	SANITARY/STORM CLEAN OUT		CONIFEROUS TREE
	SANITARY STORM STRUCTURE		SHRUB
	WATER VALVE		HOSE BIB
	FIRE HYDRANT		IRRIGATION CONTROL VALVE
	WATER METER		PROJECT CONTROL POINT

TABLE OF ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS REFERENCED IN DRAWINGS. ABBREVIATIONS MAY BE SHOWN WITH OR WITHOUT PERIODS.

@	AT	MIN	MINIMUM
ALUM	ALUMINUM	MH	MANHOLE
APPROX	APPROXIMATE	NIC	NOT IN CONTRACT
ARCH	ARCHITECT	NOM	NOMINAL
AC	ASPHALT CONCRETE	NPS	NOMINAL PIPE SIZE
BC	BOTTOM OF CURB	NTS	NOT TO SCALE
B&B	BALLED AND BURLAP	OH	OVER HEAD
BLDG	BUILDING	OC	ON CENTER
BM	BENCHMARK	OD	OUTSIDE DIAMETER
BPRD	BEND PARKS & RECREATION DISTRICT	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
BS	BOTTOM OF STAIR	PA	PLANTING AREA
BR	BOTTOM OF RAMP	PC	POINT OF CURVATURE
BOW	BOTTOM OF WALL (ELEV. BELOW FINISH GRADE)	PCC	POINT OF COMPOUND CURVATURE / PORTLAND CEMENT CONCRETE
BW	BOTTOM OF WALL (ELEV. AT FINISH GRADE)	PI	POINT OF INTERSECTION
CB	CATCH BASIN	PIP	POURED-IN-PLACE
CF	CUBIC FEET	PL	PLATE
CAL	CALIPER	PLS	PURE LIVE SEED
CJ	CONTRACTION JOINT	POT	POINT OF TANGENCY
CLR	CLEAR	PT	PRESSURE TREATED
CIP	CAST-IN-PLACE	PERF	PERFORATED
CONT	CONTAINER / CONTINUOUS	PK	POINT KNOWN
CL / €	CENTER LINE	PP	POWER POLE
CP	CENTER POINT	PVC	POLYVINYL CHLORIDE PIPE
CT	CURRENT TRANSFORMER	R	RADIUS
DIM	DIMENSION	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCED / REINFORCEMENT
DEMO	DEMOLISH	REQ'D	REQUIRED
DOM	DOMESTIC WATER LINE	ROW	RIGHT-OF-WAY
(E)	EXISTING	RPZ	ROOT PROTECTION ZONE
EA	EACH	RT	RIGHT
EJ	EXPANSION JOINT	SAN	SANITARY
ELC	EXTERIOR LIGHTING CONTROL	SD	STORM DRAIN
ELEV	ELEVATION	SEC	SECONDARY
ENG	ENGINEER	SIM	SIMILAR
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EQ	EQUAL	SSTL	STAINLESS STEEL
EST	ESTIMATE	STA	STATION
FB	FLAT BAR	STD	STANDARD
FD	FIELD DRAIN	STR	STRUCTURAL
FG	FINISH GRADE	TD	TRENCH DRAIN
FL	FLOW LINE	TEL	TELEPHONE
FOC	FACE OF CURB	THK	THICK
FTG	FOOTING	TOPO	TOPOGRAPHY
GALV	GALVANIZED	TC	TOP OF CURB
GA	GAUGE	TR	TOP OF RAMP
GFI	GROUND FAULT INTERRUPTER	TS	TOP OF STAIR
GB	GROUND BREAK	TPZ	TREE PROTECTION ZONE
GND	GROUND	TYP	TYPICAL
HDG	HOT DIP GALVANIZED	TW	TOP OF WALL
HMAC	HOT MIX ASPHALT CONCRETE	UG	UNDERGROUND
MHMAC	MINOR HOT MIX ASPHALT CONCRETE	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	VAR	VARIES
HP	HIGH POINT	VC	VERTICAL CURVE
HSS	HOLLOW STRUCTURAL SECTION	VOL	VOLUME
ID	INSIDE DIAMETER	W	WITH
IE	INVERT ELEVATION	W/O	WITHOUT
INT	INTERMEDIATE	WM	WATER METER
IR	IRON ROD	WP	WORK POINT
JT	JOINT	WT	WEIGHT
LT	LEFT	WWM	WELDED WIRE MESH
LF	LINEAR FEET	YD	YARD
LP	LOW POINT		
MAX	MAXIMUM		

SYMBOLS LEGEND

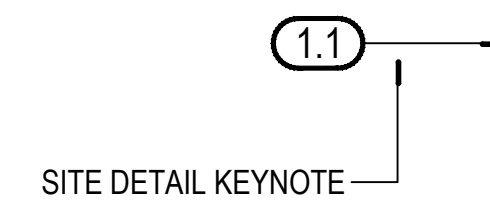
SYMBOL	ITEM
XXX ———→	LEADER LABEL
TYP (1) ———→	REFERENCE KEYNOTE
XXX (X) LX.XX ———→	DETAIL REFERENCE
(X) LX.XX ———→	ELEVATION DETAIL REFERENCE
(X) LX.XX ———→	SECTION DETAIL REFERENCE
(X) ———→	SECTION REFERENCE (WITHIN DETAIL)
(X) ———→	ELEVATION REFERENCE (WITHIN DETAIL)
(X) LX.XX []	ENLARGEMENT REFERENCE
1'-0"	LINEAR DIMENSION
R=3"	RADIUS DIMENSION
90°	ANGLE DIMENSION
MATCHLINE SEE SHEET LX.XX	SHEET MATCHLINE
SCALE: 1" = 10'-0"	SCALE BAR
NORTH	NORTH ARROW
# []	REVISION TRIANGLE AND CLOUD
LIMIT OF WORK	LIMIT OF WORK LINE

SITE DETAIL KEYNOTE SYSTEM LEGEND

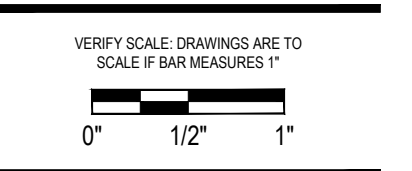
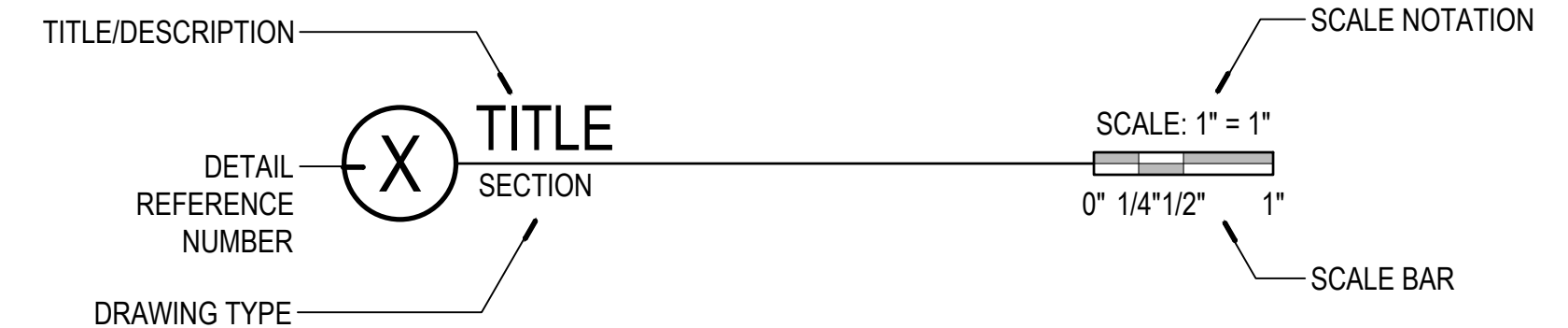
SITE DETAIL KEYNOTES			
KEYNOTE CATEGORY HEADING NUMBER AND TITLE	NUMBER	ITEM	DETAIL / SHEET
(1.0) PAVING / CURBS / RAMPS	1.1		XX / LX.XX
	1.2		XX / LX.XX
	1.3		XX / LX.XX
	1.4		XX / LX.XX
	1.5		XX / LX.XX
	1.6		XX / LX.XX
			000000
			000000
			000000
			000000
			000000
			000000

THE FOLLOWING KEYNOTE CATEGORIES HAVE BEEN PROPOSED IN THIS PROJECT:

- 1.0 PAVING / CURBS / RAMPS
- 2.0 JOINTING
- 3.0 STAIRS
- 4.0 WALLS
- 5.0 SITE FURNISHINGS
- 6.0 RAILINGS
- 7.0 DRAINAGE
- 8.0 IRRIGATION
- 9.0 PLANTING
- 10.0 PLAY
- 11.0 LIGHTING



DETAIL FRAME LEGEND



Project: Scott Park, Balfour Park, & Bowman Brae Park
 City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53228
 503-786-7555

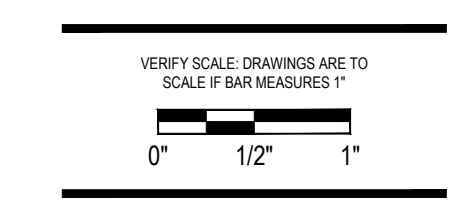
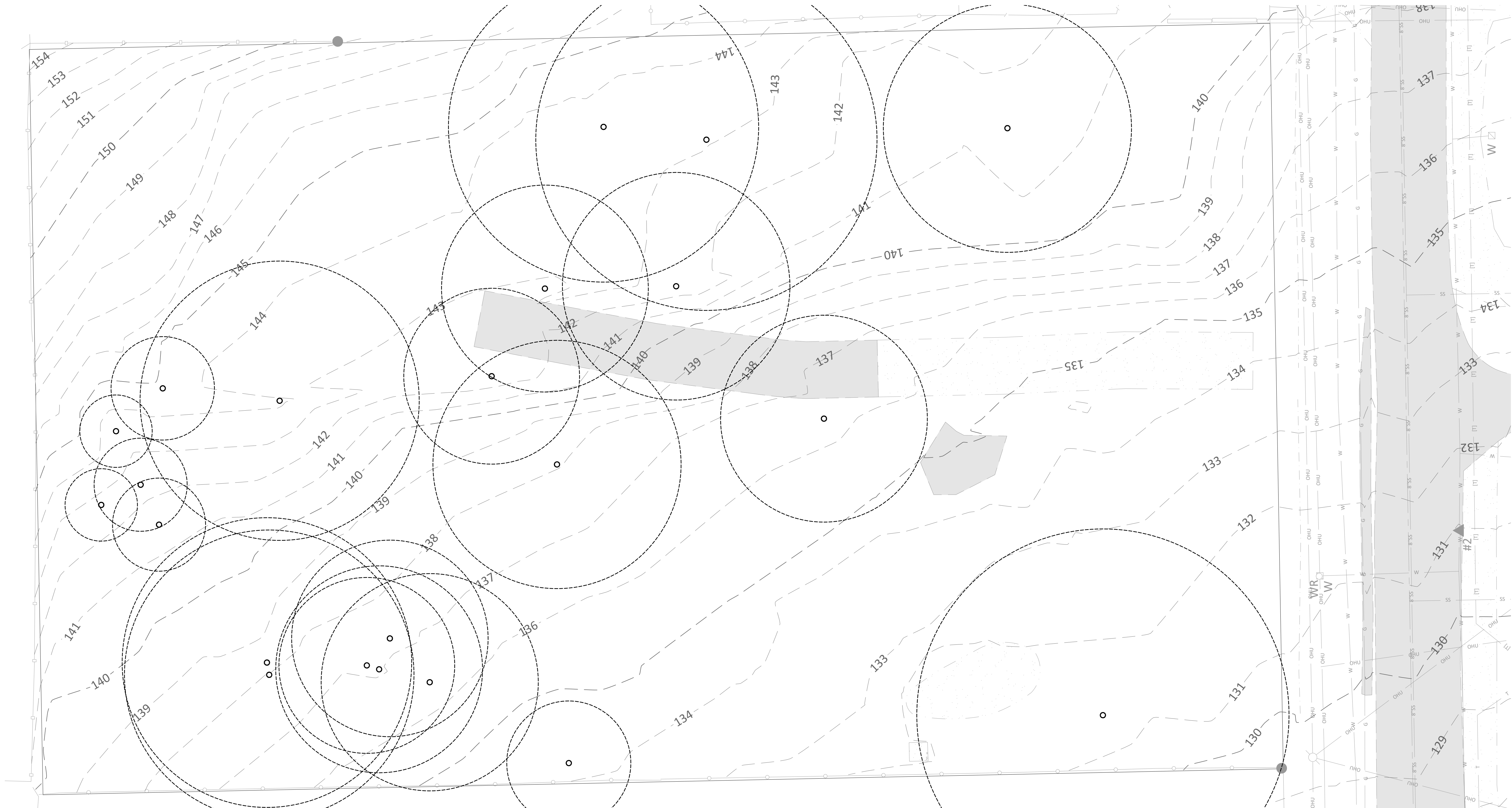
General Legend, Notes, and Abbreviations

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Date: 04/11/2023
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Drawn By: GM/YC
 Checked By: BJ/GM
 Job No. 210234.1
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G0.01
 Sheet No. 02 of 52



CITY OF MILWAUKIE

Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

Submittal: Design Development
Sheet Title – Balfour Park :
Existing Conditions Plan

UTILITY LOCATES

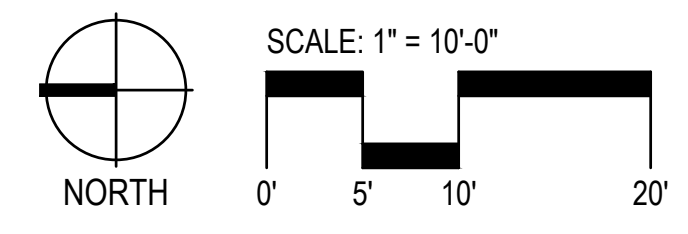
- UTILITY LOCATIONS SHOWN ARE PER FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.

BASIS OF ELEVATION

- THE VERTICAL DATUM IS NAVD 88 (GEOD 12A). ELEVATION WAS ESTABLISHED THROUGH A GPS OBSERVATION ON CONTROL POINT NO. 1 USING THE OREGON REAL-TIME GPS NETWORK (ORGN).
- BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON COORDINATE REFERENCE SYSTEM (OCRS), PORTLAND ZONE. THE RESULTANT BEARING FROM CONTROL POINT 1 TO CONTROL POINT 2 IS SOUTH 06°38'53" EAST..

EXISTING CONDITIONS GENERAL NOTES

- REFER TO SHEETS L10.00 - L10.01 FOR EXISTING CONDITIONS PLANS.
- SURVEY PROVIDED BY KPFF ON APRIL 12, 2022
- THE SCALE OF THE EXISTING CONDITIONS DRAWINGS ARE HALF THE SCALE INDICATED ON THE PLANS WHEN THE DRAWINGS ARE SIZE 11"x17".



EXISTING CONDITIONS LEGEND

SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		BUILDING OVERHANG		SANITARY SEWER LINE		EXISTING TREE
	SANITARY STRUCTURE		CURB LINE		WATER LINE		PROJECT CONTROL POINT
	SANITARY MANHOLE WITH STRUCTURE		EDGE OF ASPHALT		GAS LINE		CONCRETE SURFACE
	SANITARY CLEAN OUT		RIGHT-OF-WAY LINE		OVERHEAD UTILITY LINES		ASPHALT SURFACE
	POWER POLE		EASEMENT LINE		CHAIN LINK FENCE		WALL
	TELECOM RISER		LOT LINE		TELECOM LINE		WOOD FENCE
	WATER METER		PROPERTY LINE		MAJOR CONTOUR		
	WATER RISER		ELECTRICAL LINE		MINOR CONTOUR		

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Date: 04/11/2023

Revisions:

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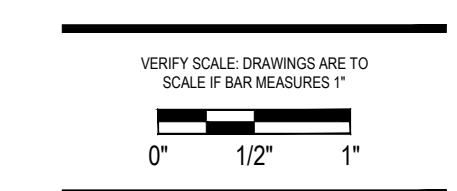
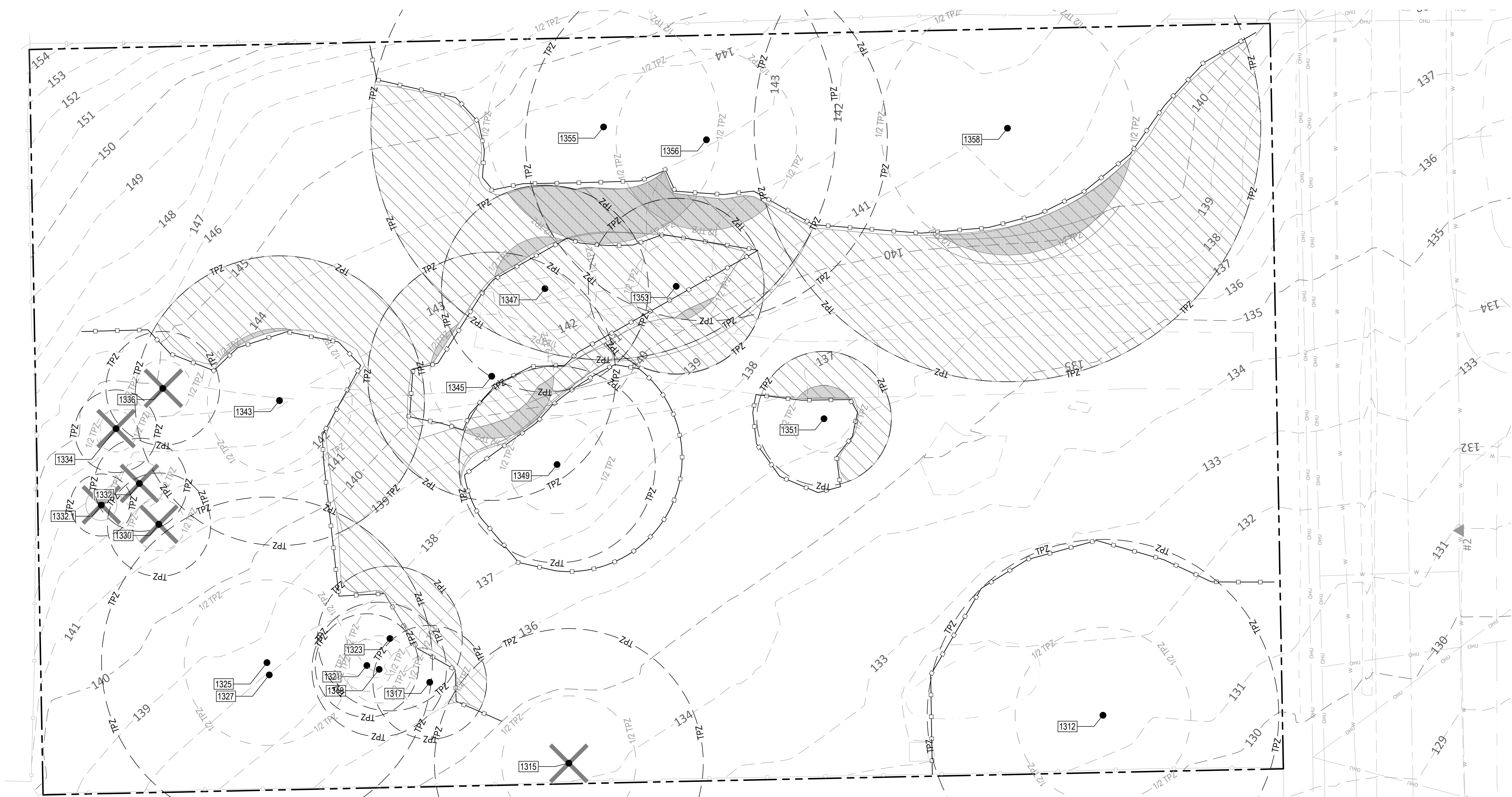
Checked By: BJ/GM

Job No. 210234.1

Approved: GW

L10.01
 Sheet No. 17 of 52

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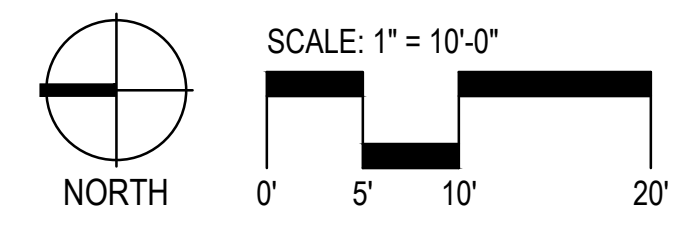
CITY OF MILWAUKEE

Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

Submittal: Design Development
 Sheet Title - Balfour Park :
 Tree Protection Plan

TREE PROTECTION GENERAL NOTES

1. REFER TO 'TREE PROTECTION PLAN' FOR ALL TREE NUMBERS, SPECIES IDENTIFICATION, AND TREE HEALTH.
2. NO CONSTRUCTION ACTIVITIES ALLOWED TO IMPACT ONE-HALF TREE PROTECTION ZONE (TPZ) AREA.
3. TRUNK PROTECTION AND SUPPLEMENTAL WATERING MAY BE REQUIRED AT THE DISCRETION OF THE PROJECT ARBORIST.
4. ANY CONSTRUCTION WORK INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING AND TRENCHING IN ANY TPZ SHALL ONLY BE DONE WITH WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE. CUT AND GRIND ALL STUMPS EXCEPT AS NOTED.
5. NO PARKING, EXCAVATION, TRENCHING, GRADING, ROOT PRUNING, STOCKPILING OF ANY MATERIALS OR OTHER ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION FENCING UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
6. TREE PROTECTION FENCING NOT TO BE MOVED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.

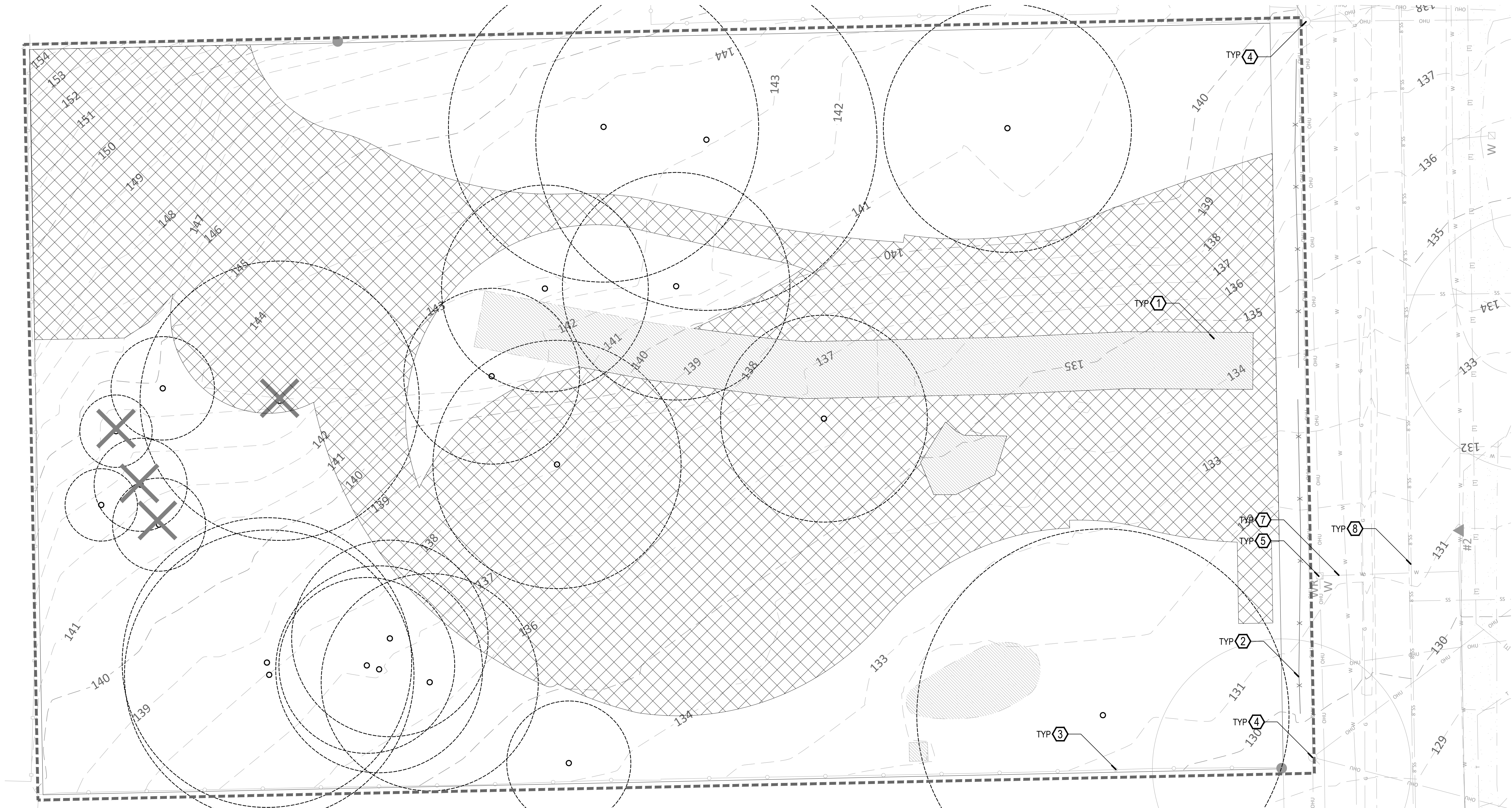
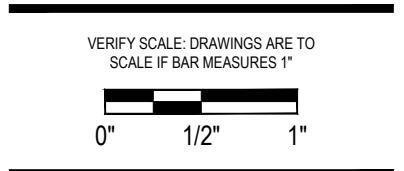


TREE PROTECTION LEGEND	
SYMBOL	ITEM
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	TREE IDENTIFICATION LABEL
	TREE PROTECTION FENCING
	WORK AREA IN THE TREE PROTECTION ZONE
	WORK AREA IN THE CRITICAL ROOT ZONE
	TREE PROTECTION ZONE (TPZ)

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L11.01
 Sheet No. 18 of 52



SITE DEMOLITION REFERENCE NOTES

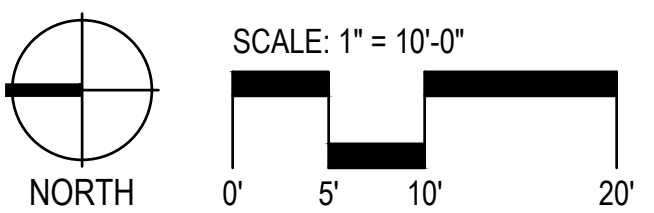
1. REMOVE AND DISPOSE OF PAVEMENT OR GRAVEL IN ITS ENTIRETY, INCLUDING SUB-BASES.
2. REMOVE AND DISPOSE OF EXISTING CHAIN STANCHION WITHIN LIMIT OF WORK AREA.
3. PRESERVE AND PROTECT EXISTING FENCE.
4. PRESERVE AND PROTECT EXISTING POWER LINE.
5. PRESERVE AND PROTECT EXISTING UTILITY STRUCTURE. REFERENCE CIVIL DRAWINGS.
6. PRESERVE AND PROTECT EXISTING STORM DRAIN. REFERENCE CIVIL DRAWINGS.
7. PRESERVE AND PROTECT EXISTING WATER MAIN.
8. PRESERVE AND PROTECT EXISTING STORM AND SEWER LINE.

SITE DEMOLITION GENERAL NOTES

1. ITEMS ENCOUNTERED ON SITE (INCLUDING BELOW GRADE) WITHIN THE LIMITS OF WORK OR OTHERWISE FORTHCOMING WORK AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
2. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO COMPLETING BEGINNING ANY DEMOLITION WORK TO VERIFY WORK LIMITS AND IDENTIFY VEGETATION TO REMAIN.
3. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS IS APPROXIMATE AND MAY VARY IN THE FIELD. ADDITIONAL UTILITIES MAY EXIST ON SITE THAT ARE NOT SHOWN ON THE DRAWINGS. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.
4. SEE SPECIFICATIONS FOR GENERAL DEMOLITION, SALVAGE, CLEARING AND GRUBBING REQUIREMENTS.
5. ALL TREES EXCEPT THOSE SPECIFICALLY DESIGNATED ON THIS DRAWING TO BE REMOVED SHALL BE PROTECTED IN-PLACE. ADD TREE PROTECTION FENCING PRIOR TO DEMOLITION.
6. EROSION CONTROL FENCING SHALL BE INSTALLED BY CONTRACTOR PRIOR TO SITE DEMOLITION AND MUST REMAIN IN PLACE DURING ALL CONSTRUCTION PHASES.
7. SEE NOTES BELOW FOR HANDLING AND REUSE OF SALVAGED MATERIAL.
8. SEE GRADING PLAN AND DETAILS FOR REQUIRED EXCAVATION DEPTHS FOR SIDEWALKS, PAVEMENTS, PLAYGROUNDS AND LANDSCAPE AREAS.
9. ELEMENTS ON THE DRAWINGS SHOWN TO BE REMOVED SHALL BE REMOVED TO THE FULL DEPTHS OF THEIR CONSTRUCTION.
10. WORK AREAS INDICATED BY THE LIMIT OF WORK LINE SHALL BE COMPLETELY ENCLOSED WITH ABOVE GROUND SUPPORTED TEMPORARY CHAIN LINK FENCING A MINIMUM OF 6 FEET IN HEIGHT.
11. ALL SALVAGED ITEMS SHALL BE REUSED OR RETURNED TO THE OWNER'S REPRESENTATIVE AS INDICATED ON THE DRAWINGS.
12. DISPOSE ALL REMOVED MATERIALS OFF SITE IN AN APPROVED MANNER.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE CONSTRUCTION SITE, CONSTRUCTION EQUIPMENT, AND TO KEEP THE PUBLIC FROM HARM DUE TO CONSTRUCTION ACTIVITIES AND WORK IN PROGRESS.

DEMOLITION LEGEND

SYMBOL	ITEM
---	LIMIT OF WORK
[Hatched Box]	PAVING, GRAVEL, OR PAVER TO BE REMOVED
[Cross-hatched Box]	CLEAR AND GRUB
-x-	CHAIN LINK TO BE REMOVED
(X)	TREE TO BE REMOVED



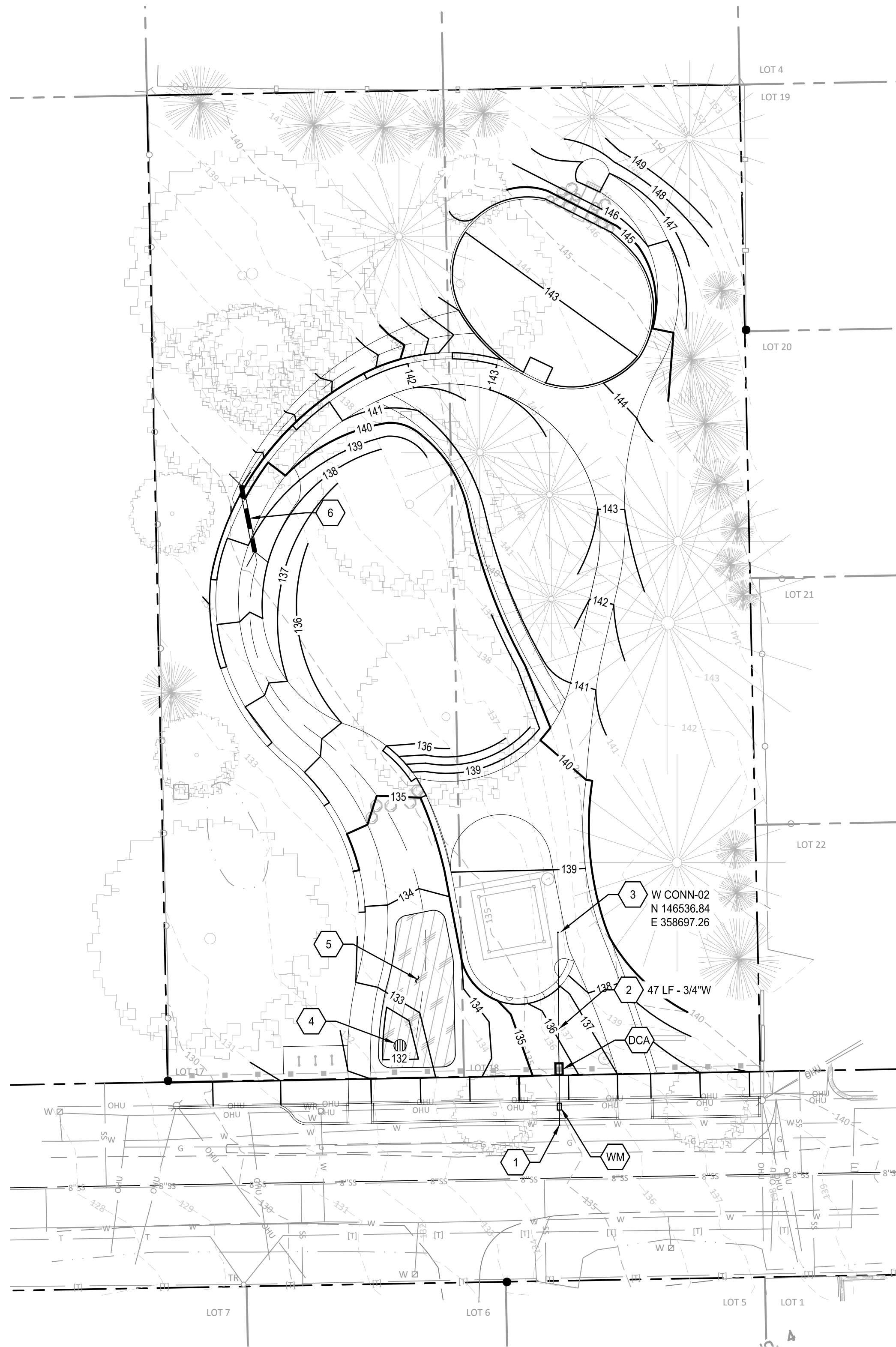
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F: 503.274.4681
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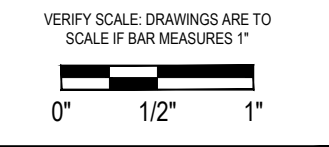


LANDSCAPE ARCHITECTURE
ENVIRONMENTAL DESIGN
110 SE Main St., Suite 100
Portland, OR 97214
Ph: 503.222.5612
Fax: 503.222.2283
Email: info@greenworkspc.com



SHEET NOTES

1. PIPE BEDDING AND BACKFILL FOR ALL UTILITIES PER CITY OF MILWAUKIE STANDARD DETAIL 510/C28.00.
2. STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE.
3. INSTALL THRUST BLOCK ON WATER LINES PER DETAIL 1/C28.00.

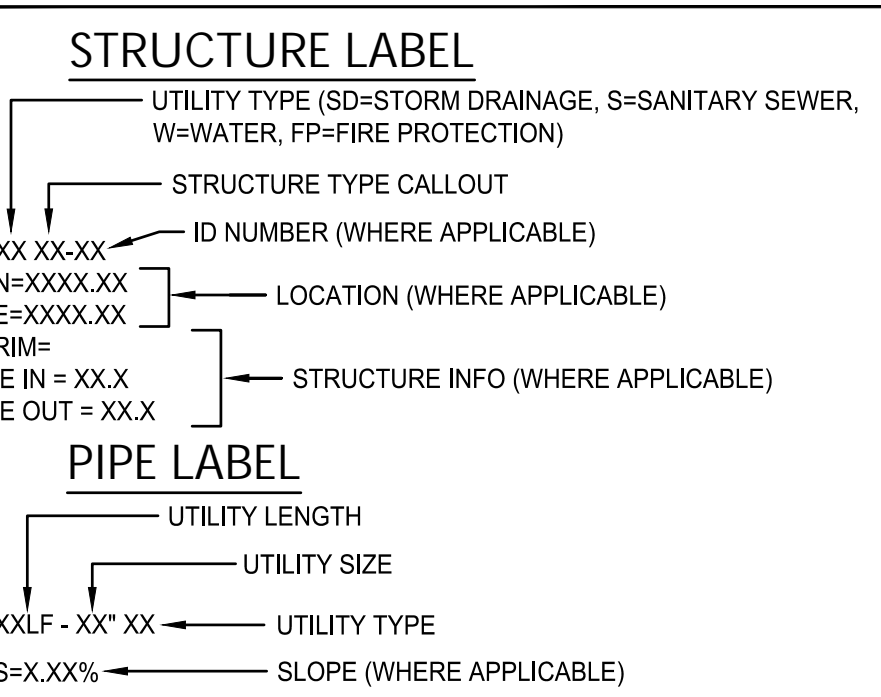


UTILITY KEY NOTES

NOTE	DESCRIPTION	DETAIL REF.
1	INSTALL NEW WATER SERVICE CONNECTION TO CITY MAIN.	401/C28.00
2	INSTALL NEW 3/4" WATER LINE	
3	CONNECT TO WATER FOUNTAIN FEATURE, SEE LANDSCAPING PLANS FOR DETAILS.	
4	INSTALL OVERFLOW INLET.	
5	STORMWATER PLANTER	
6	INSTALL 10" CULVERT	
WM	INSTALL WATER METER.	401/C28.00
DCA	INSTALL DOUBLE CHECK BACKFLOW ASSEMBLY.	2/C28.00
!!	UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.	3/C28.00



UTILITY LABEL LEGEND



STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
CO	CLEANOUT TO GRADE	
DCA	DOUBLE CHECK BACKFLOW ASSEMBLY	2/C28.00
OF	OUTFALL	
OV	OVERFLOW INLET	
WM	WATER METER	401/C28.00

Project:
Scott Park, Balfour Park,
& Bowman Brae Park

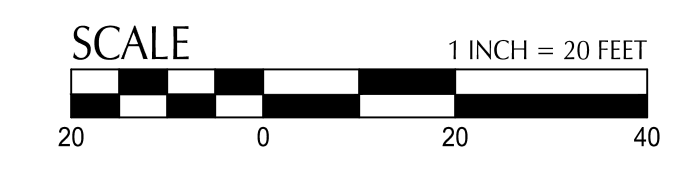
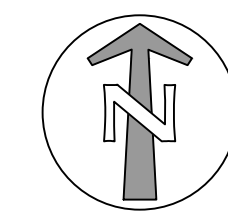
City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7555

Submittal: Design Development
Sheet Title - Balfour Park:
UTILITY PLAN

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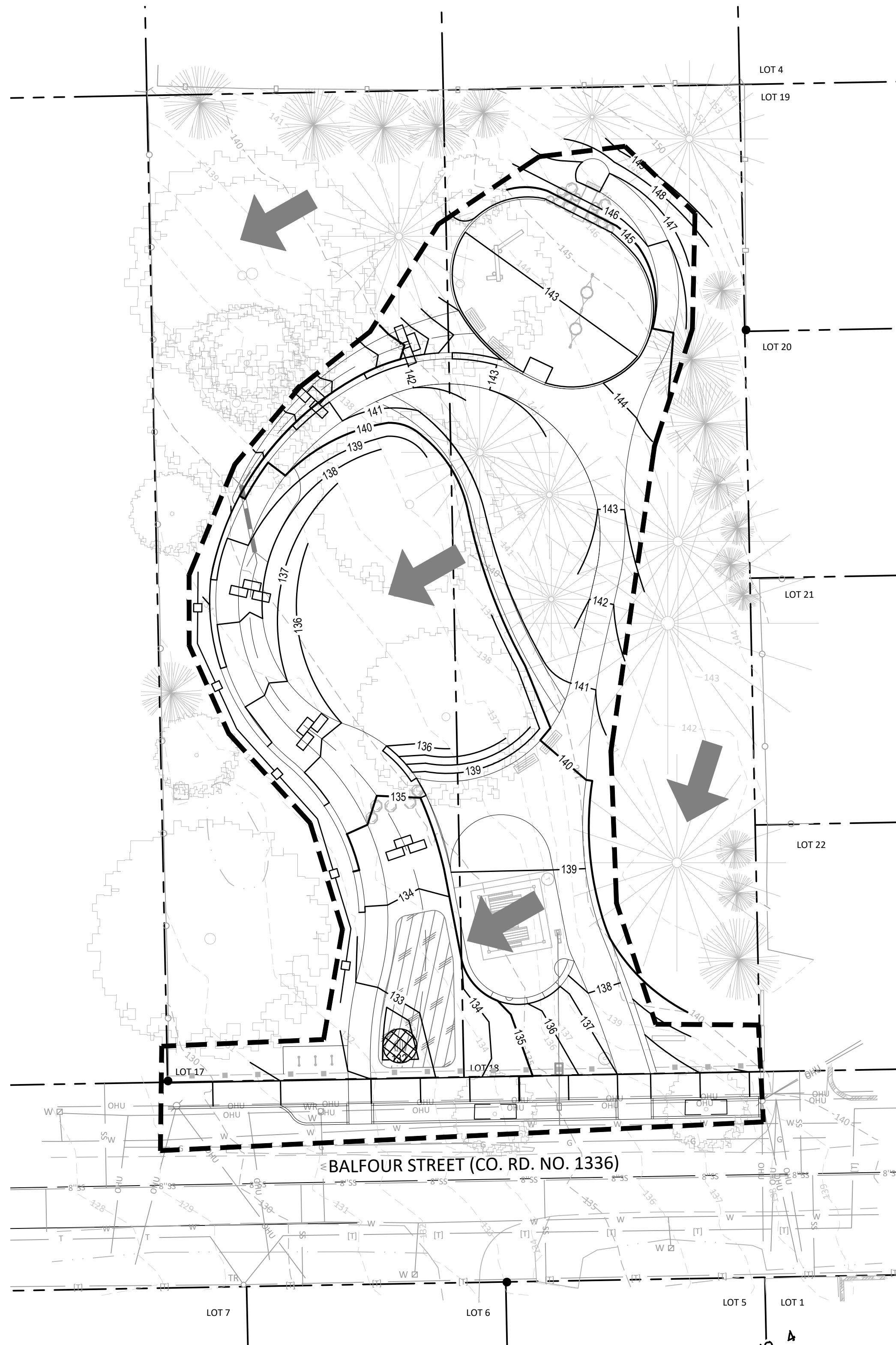
C13.00
Sheet No. 20 of 52



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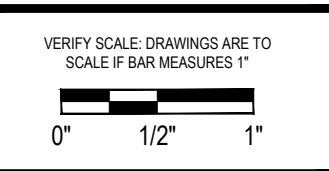


LANDSCAPE ARCHITECTURE
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Email: info@greenworkspc.com



EROSION PREVENTION AND SEDIMENT CONTROL (ECS) NOTES:

- ALL EROSION PREVENTION MEASURES SHALL BE IN PLACE, FUNCTIONAL, AND APPROVED IN ACCORDANCE WITH THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. ALL SOIL DISTURBING AND CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH MMC CHAPTER 16.28 EROSION CONTROL AND ANY APPLICABLE LOCAL, STATE OR FEDERAL REQUIREMENTS.
- ALTERNATIVE SEDIMENT CONTROLS MUST PROVIDE A DISCHARGE THAT IS CLEAN AND FREE OF SEDIMENT, SURFACTANTS, AND OTHER POLLUTANTS PRIOR TO ENTERING THE STORM SYSTEM. APPROVAL OF ALTERNATIVE SEDIMENT CONTROLS BY THE CITY OF MILWAUKIE WASTEWATER DIVISION MANAGER IS REQUIRED PRIOR TO INSTALLATION.
- WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES SHALL BE DEVELOPED, MAINTAINED, AND IMPLEMENTED ON THE CONSTRUCTION SITE.
- DUMPING OR DISPOSAL OF SPOIL MATERIALS INTO ANY STREAM CORRIDOR, WETLANDS, SURFACE WATERS OR ON ANY PUBLIC OR PRIVATE PROPERTY NOT SPECIFIED FOR SAID PURPOSE IS PROHIBITED.
- SEDIMENT AND POLLUTANTS SHALL NOT BE WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES. DRY SWEEPING SHALL BE IMPLEMENTED TO CLEAN UP CONSTRUCTION AREAS TO PREVENT RELEASE OF SEDIMENTS INTO THE STORM SYSTEM.
- DISPOSAL OF SEDIMENT LADEN WATER INTO THE WASTEWATER SYSTEM IS PROHIBITED, UNLESS PRIOR WRITTEN APPROVAL IS RECEIVED FROM THE CITY OF MILWAUKIE WASTEWATER DIVISION MANAGER. SEDIMENT LADEN WATER SHALL BE PUMPED THROUGH AN APPROVED SEDIMENT CONTROL BMP PRIOR TO DISPOSAL INTO THE WASTEWATER SYSTEM.
- SAWCUTTING SLURRY AND DEBRIS SHALL BE VACUUMED AND REMOVED FROM ALL IMPERVIOUS SURFACES. VACUUMED SAWCUTTING SLURRY SHALL BE PROPERLY DISPOSED OF AND NOT DISCHARGED INTO THE STORM SYSTEM.
- WATER TIGHT TRUCKS SHALL BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE.
- TEMPORARY STABILIZATION AND COVERING OF SOIL STOCKPILES SHALL OCCUR AT THE END OF EACH WORK DAY.
- ALL TOXIC OR HAZARDOUS MATERIALS SHALL BE PROPERLY STORED, APPLIED, AND DISPOSED.
- AN AREA SHALL BE DESIGNATED FOR WASHING OUT CONCRETE TRUCKS SUCH THAT RUNOFF FROM WASHING ACTIVITIES ARE CONTAINED AND DO NOT LEAVE THE SITE OR ENTER THE STORM SYSTEM.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE WASHED TO THE STREET OR STORM SYSTEM. SWEEPINGS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN THE TRASH.
- PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUNOFF INTO THE STORM SYSTEM IS PROHIBITED.
- TRACKING OF DIRT AND DEBRIS ONTO IMPERVIOUS SURFACES, SUCH AS STREETS AND PARKING LOTS, IS PROHIBITED. IMPERVIOUS SURFACES SHALL BE KEPT FREE OF DIRT AND DEBRIS AT ALL TIMES IF IT CAN BE SPREAD BY TRAFFIC OR CAN ENTER THE STORM SYSTEM.
- GRAVEL OR DIRT CURB RAMPS ARE PROHIBITED. ONLY WOOD STEP STYLE CURB RAMPS ARE ALLOWED.
- UPON COMPLETION OF SITE RESTORATION AND APPROVAL FROM THE CITY OF MILWAUKIE ENGINEERING DIRECTOR, ALL TEMPORARY EROSION CONTROL MEASURES MAY BE REMOVED.
- DRAINAGE FROM SPRINGS OR GROUNDWATER MUST BE ADDRESSED DURING CONSTRUCTION BY THE CONTRACTOR. DISCHARGE FROM GROUNDWATER ENCOUNTERED ON THE SITE MUST BE CLEAN OF SEDIMENT OR POLLUTANTS.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCH, OR OTHER APPROVED MEASURES.
- DATES OF IMPLEMENTATION OF WET WEATHER MEASURES ARE OCTOBER 1ST TO APRIL 30TH.
- MATERIALS SHALL NOT BE STOCKPILED ON PUBLIC STREETS OR IN THE RIGHT OF WAY FOR LONGER THAN IMMEDIATE USE.



Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, OR 97222
503-786-7555

Submittal: Design Development

Sheet Title - Balfour Park:

EROSION CONTROL PLAN

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Date: 03/21/2023

Revisions:

Drawn By: CK/RC

Checked By: JZ

Job No. 210234.1

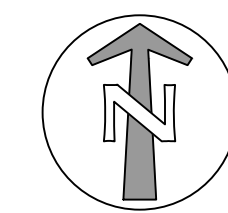
Approved: CV

C13.01

Sheet No. 21 of 52

SHEET LEGEND

	PROPERTY LINE		INLET PROTECTION	
	EX. CONTOUR MINOR		SURFACE FLOW DIRECTION	
	EX. CONTOUR MAJOR		TREE PROTECTION FENCE	
	PROP. CONTOUR MINOR		TEMPORARY GRASS SEED MIX	SEE LANDSCAPE PLANS FOR MORE INFORMATION.
	PROP. CONTOUR MAJOR			
	EXTENT OF WORK			
	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).			
	BIO BAGS			



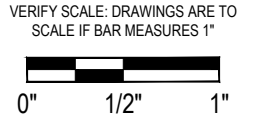


LANDSCAPE ARCHITECTURE
ENVIRONMENTAL DESIGN

110 SE Main St., Suite 100
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Ph: 503 222 2612
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Email: info@greenworkspc.com

SITE MATERIALS KEY NOTES

ITEM	DETAIL /SHEET(S)	SPEC SECTION
1.0 PAVEMENTS, CURBS, SURFACING		
1.1	PERMEABLE CONCRETE PAVING	1/L28.01
1.2	WOOD FIBER PLAY SURFACING	7/L28.01
1.3	CONCRETE CURB	8/L28.01
2.0 JOINTING, STRIPING		
2.1	DOWELED EXPANSION JOINT	2/L28.01
2.2	CONTRACTION JOINT	2/L28.01
2.3	DUMMY JOINT	2/L28.01
3.0 RAMPS		
3.1	PLAY AREA RAMP	
4.0 WALLS		
4.1	CONCRETE RETAINING WALL	9/L28.01
5.0 FENCES		
5.1	SPLIT RAIL FENCE	
6.0 SITE LIGHTING		
6.1	EXISTING LAMP	
6.2	PROPOSED LAMP	
7.0 MISCELLANEOUS SITE FEATURES		
7.1	PICNIC TABLE	3/L28.02
7.2	6' BENCH	1/L28.02
7.3	BICYCLE RACK	2/L28.02
7.4	BOULDER	
7.5	DRINKING FOUNTAIN	
7.6	PARK SIGN	
7.7	WATER PUMP FEATURE	



SITE MATERIALS GENERAL NOTES

- REFER TO SHEET L13.00 FOR SITE MATERIALS NOTES AND LEGEND.
- GENERAL MATERIALS NOTES APPLY TO ALL SITE MATERIALS DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE MATERIALS PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.

Project:
**Scott Park, Balfour Park,
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City of Milwaukee
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**Sheet Title – Balfour Park :
Materials Notes**

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC

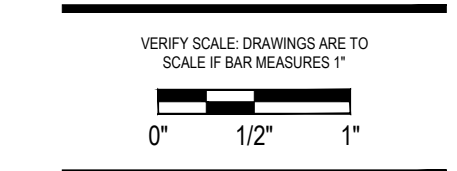
Checked By: B/J/GM

Job No. 210234.1

Approved: GW

L13.00

Sheet No. 22 of 52



Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park

City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

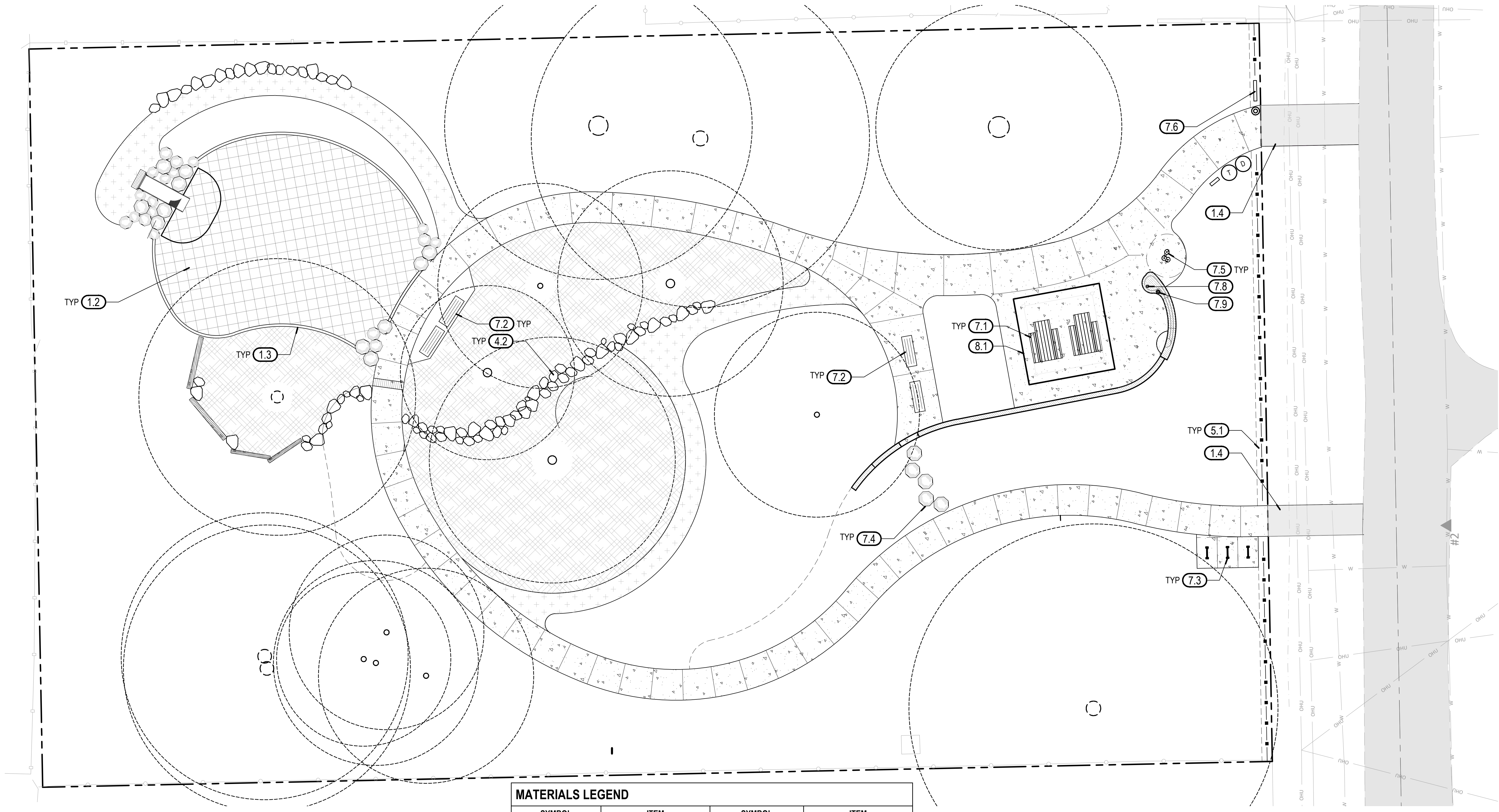
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Sheet Title – Balfour Park :
Materials Plan

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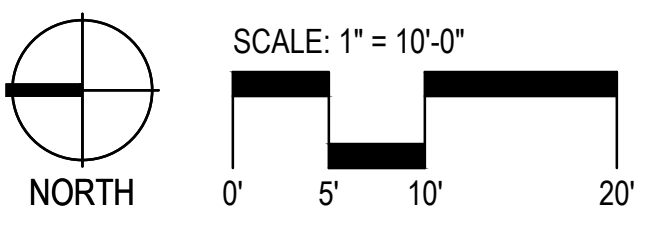
Date: 06/15/2023
 Revisions:

Drawn By: GM/YC
 Checked By: BJ/GM
 Job No. 210234.1
 Approved: GW

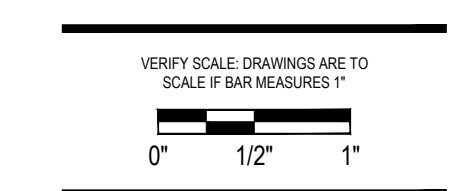
L13.01
 Sheet No. 23 of 52



MATERIALS LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	PERMEABLE CONCRETE PAVING		DOWELED EXPANSION JOINT
	COMPACTED GRAVEL PATH		CONTRACTION JOINT
	RUBBER TILE		DUMMY JOINT
	CONCRETE CURB OR WALL		WOOD BENCH
	BOLLARD & CABLE FENCE		BICYCLE RACK
	PICNIC TABLE		NATURE PLAY BOULDER
	ENGINEERED WOOD FIBER - 6" DEPTH		LOG EDGE



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Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

Submital: Design Development
Sheet Title - Balfour Park :
Layout Plan

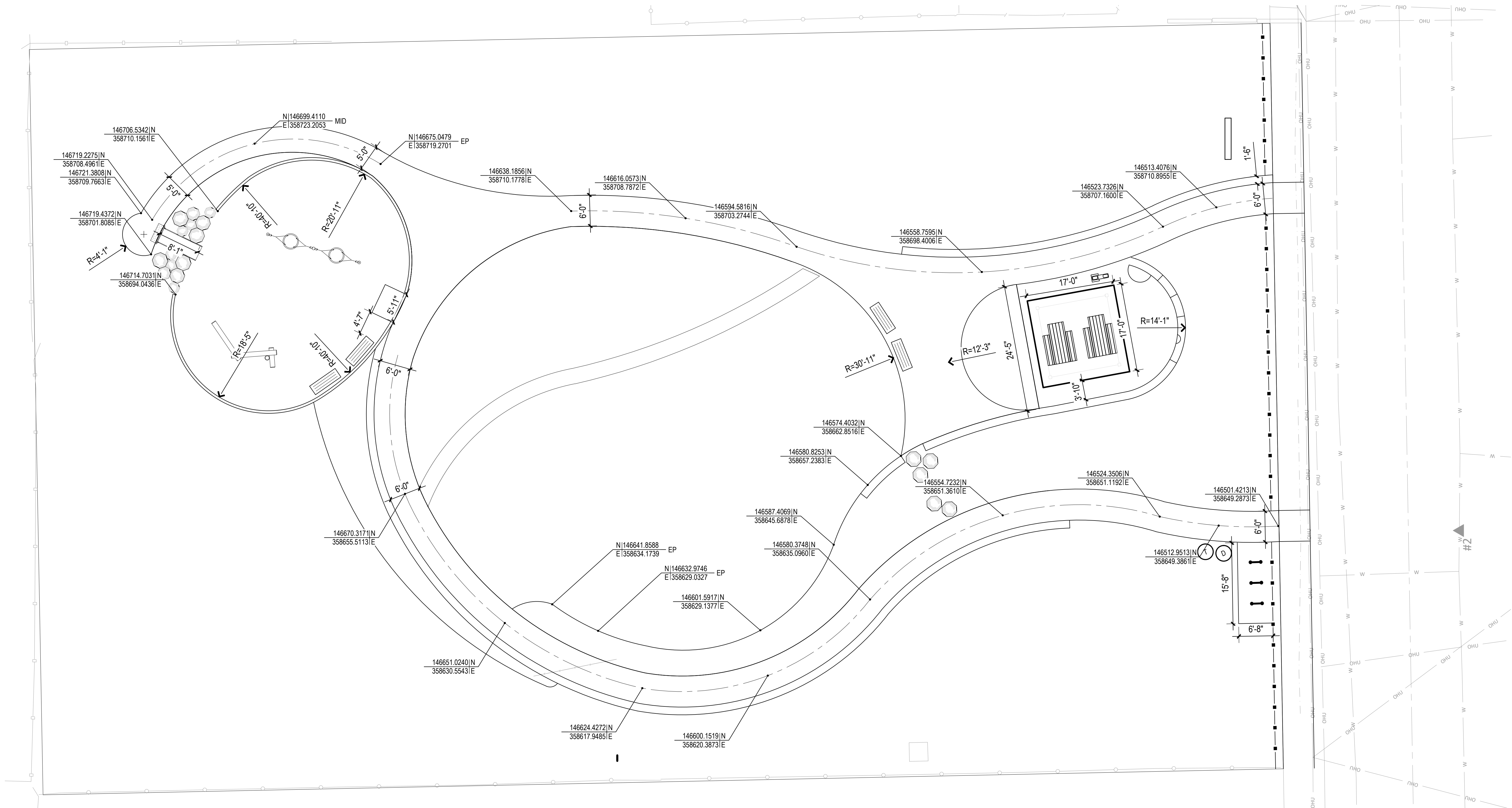
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Drawn By: GM/YC
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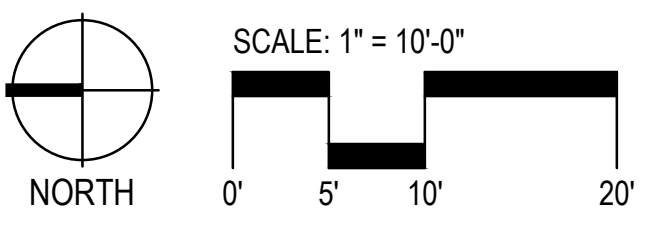
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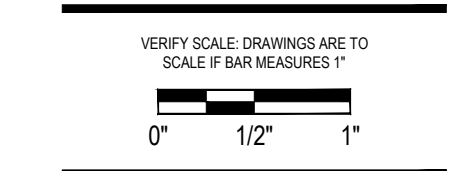


- SITE LAYOUT GENERAL NOTES**
1. REFER TO SHEET L5.00 FOR SITE LAYOUT NOTES AND LEGEND.
 2. GENERAL LAYOUT NOTES APPLY TO ALL SITE LAYOUT DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE LAYOUT PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.
 3. VERIFY ALL DIMENSIONS AND PROJECT LAYOUT PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF MATERIALS. IF LAYOUT CONFLICTS ARISE, CONTACT THE OWNER'S REPRESENTATIVE.
 4. DIMENSIONS ARE TO FACE OF BUILDING, PAVING, WALLS, AND CURBS, ETC. UNLESS INDICATED OTHERWISE.
 5. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE OF PLANS
 6. DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF LAYOUT CONFLICTS ARISE IN FIELD, CONTACT OWNER'S REPRESENTATIVE FOR RESOLUTION.
 7. ALL CURVED WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED.
 8. CONTRACTOR SHALL STAKE PATHS AND PAVING AREAS. FINAL LAYOUT WILL BE APPROVED BY OWNER'S REPRESENTATIVE.
 9. OWNER'S REPRESENTATIVE TO APPROVE FORMWORK FOR PATHS PRIOR TO CONTRACTOR PLACING CONCRETE.

LAYOUT LEGEND

SYMBOL	ITEM
	CENTERLINE
	LINEAR DIMENSION
	RADIAL DIMENSION
	NORTHING AND EASTING COORDINATES





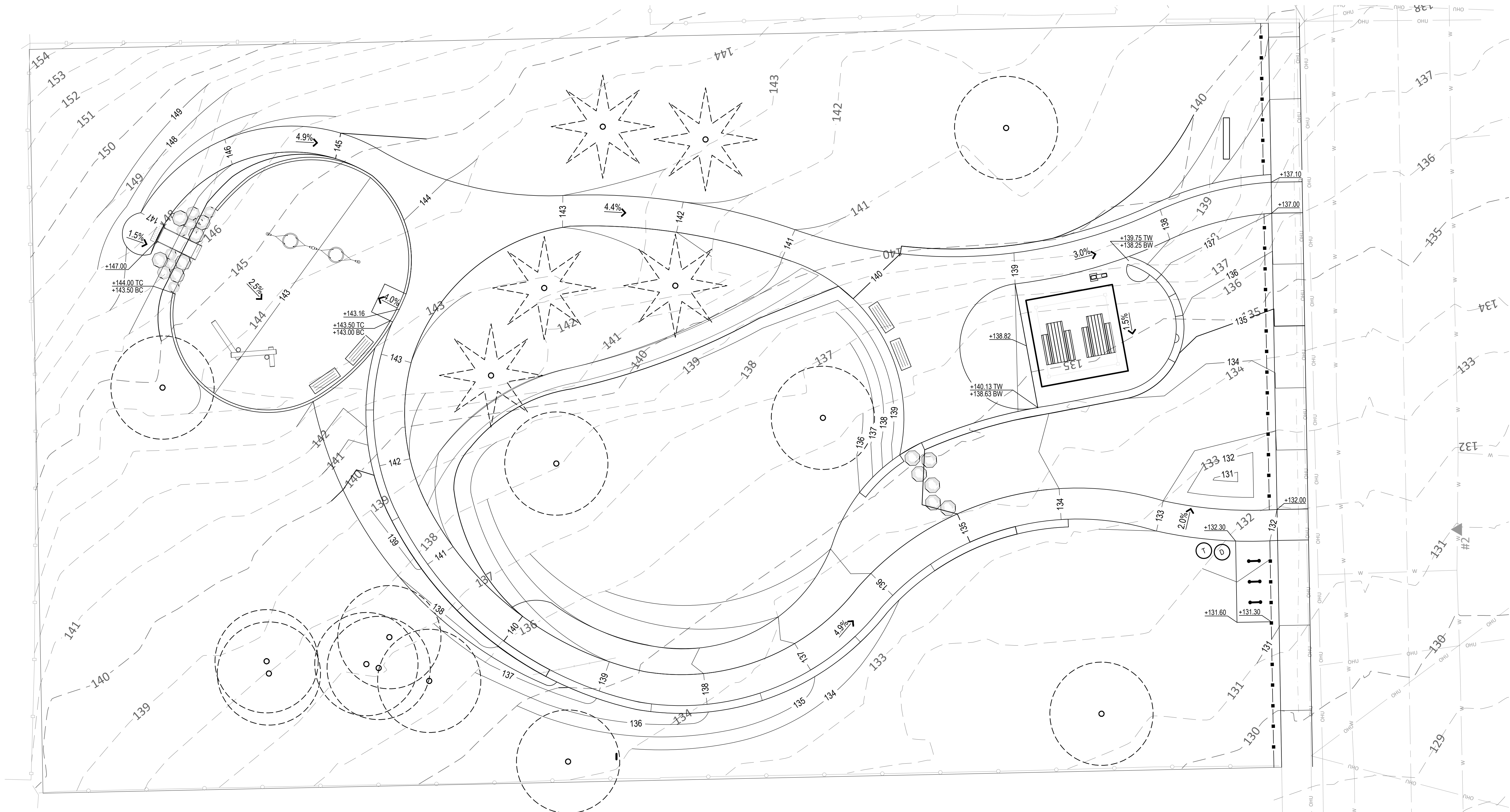
Project:
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Submittal: Design Development
**Sheet Title – Balfour Park :
 Grading Plan**

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 Revisions:

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 Checked By: BJ/GM
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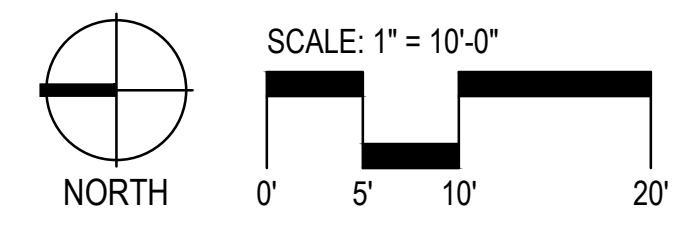
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 Sheet No. 25 of 52



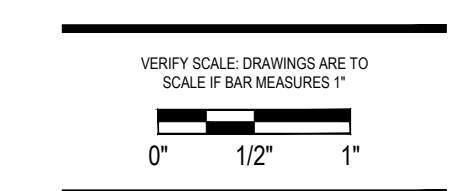
- # GRADING REFERENCE NOTES**
1. ALL CONCRETE PATHS SHALL NOT EXCEED 5% RUNNING SLOPE AND MUST MAINTAIN 1%-2% CROSS SLOPE.
 2. ALL GRAVEL AREAS AND TRAILS SHALL NOT EXCEED 5% RUNNING SLOPE AND MUST MAINTAIN 2% CROSS SLOPE.

- GRADING GENERAL NOTES**
1. GENERAL GRADING NOTES APPLY TO ALL SITE GRADING DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE GRADING PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.

GRADING LEGEND	
SYMBOL	ITEM
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR



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Project:
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 503-786-7555

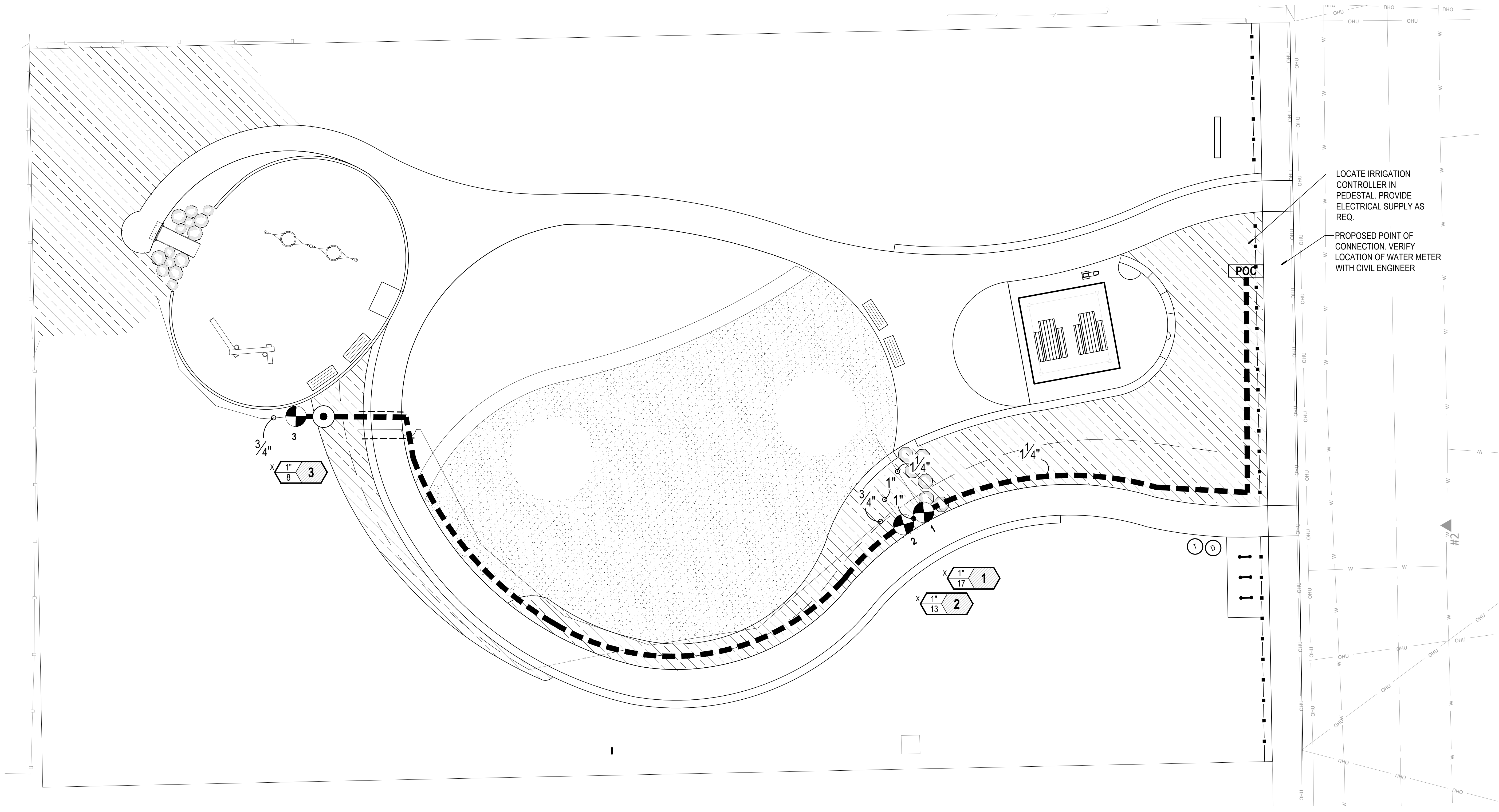
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Sheet Title – Balfour Park :
Irrigation Plan

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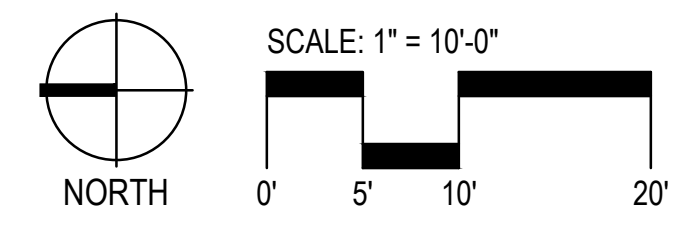
Date: 04/11/2023
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Drawn By: MM
 Checked By: BJ/GM
 Job No. 210234.1
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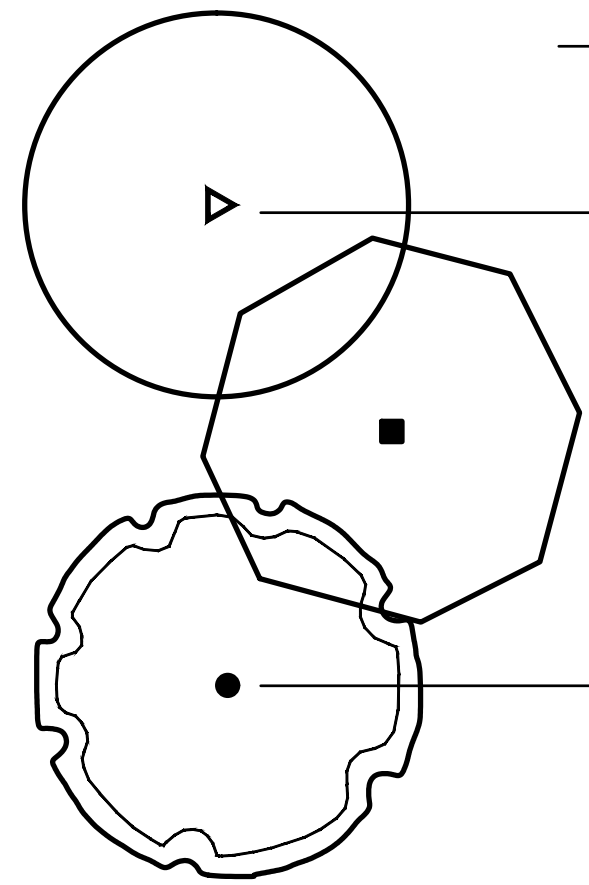
L16.01
 Sheet No. 27 of 52



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PLANT SCHEDULE



TREES

BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
PSEUDOTSUGA MENZIESII	DOUGLAS-FIR	4' HT, B&B	AS SHOWN	1
ACER MACROPHYLLUM	BIGLEAF MAPLE	2.0" CAL., B&B	AS SHOWN	1
PICEA PUNGENS	BLUE SPRUCE	2.0" CAL., B&B	AS SHOWN	2

SHRUBS / GROUNDCOVERS



BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
TURF SEED MIX:				
LOLIUM PERENNE	PERENNIAL RYEGRASS			
FESTUCA ARUNDINACEA	FINE FESCUE			
POA PRATENSIS	KENTUCKY BLUEGRASS			

SEE MANUFACTURER SPECS FOR APPLICATION RATE



BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
WOODLAND MIX:				
ARTEMISIA FRIGIDA	FRINGED SAGEBRUSH	PLUG-1" DIA., 6" HT.	18" O.C.	20%
ARTEMISIA CANA	SILVER SAGEBRUSH	PLUG-1" DIA., 6" HT.	18" O.C.	20%
ERIGERON PULCHELLUS	ROBIN'S PLANTAIN	PLUG-1" DIA., 6" HT.	24" O.C.	30%
GEUM TRIFLORUM	PRAIRIE SMOKE	PLUG-1" DIA., 6" HT.	12" O.C.	30%

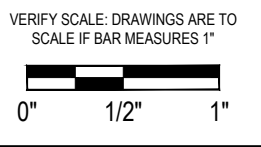


BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
BIOSWALE MIX:				
LUZULA SYLVATICA	GREATER WOOD RUSH	PLUG-1" DIA., 6" HT.	24" O.C.	20%
LIRIOPE MUSCARI	SILVERY SUNPROOF	PLUG-1" DIA., 6" HT.	12" O.C.	20%
'SILVERY SUNPROOF'	LILYTURF			
CAREX CARYOPHYLLEA	THE BEATLES	PLUG-1" DIA., 6" HT.	12" O.C.	15%
'THE BEATLES'	VERNAL SEDGE			
DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	PLUG-1" DIA., 6" HT.	24" O.C.	15%
MIMULUS GUTTATUS	SEEP-SPRING	PLUG-1" DIA., 6" HT.	12" O.C.	30%
	MONKEY FLOWER			

PLANT SAME SPECIES IN GROUPS OF 3, 5, OR 7

PLANTING REFERENCE NOTES

- EXISTING PLANTING AREA TO REMAIN, PRESERVE AND PROTECT.
- SEED ALL DISTURBED AREAS.



PLANTING GENERAL NOTES

- PROVIDE PLANTING SOIL AND BARK MULCH TO THE COMPOSITION AND DEPTHS IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- INSTALL PLANTS IN ACCORDANCE WITH THE DRAWINGS AND THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- PLANT QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. ALL COUNTS MUST BE VERIFIED PRIOR TO INSTALLATION. IN THE CASE OF A DISCREPANCY BETWEEN THE LEGEND AND THE PLAN, PLANTS INDICATED ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN THE LEGEND.
- UTILITY LOCATIONS SHOWN ON PLANS MAY DIFFER FROM FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE INSTALLATION. CONFLICTS BETWEEN ANY EXISTING AND PROPOSED UTILITIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- PLANTS INDICATED TO BE INSTALLED IN STORMWATER FACILITIES DESIGNED TO BE FREQUENTLY INUNDATED (TO WATER DEPTHS ABOVE THE SMALLEST INSTALLED PLANT HEIGHT) SHALL BE ENTIRELY DEWATERED PRIOR TO PLANT INSTALLATION. PLANTS INSTALLED IN STORMWATER FACILITIES WITH ANTICIPATED HIGH WATER LEVELS MAY BE INSTALLED OUTSIDE THE SPECIFIED PLANT INSTALLATION WINDOW IF ADDITIONAL SUPPLEMENTAL IRRIGATION IS PROVIDED.

Project:
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 & Bowman Brae Park**
 City of Milwaukee
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**Sheet Title – Balfour Park :
 Plant Schedule
 and Notes**

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Date: 04/11/2023

Revisions:

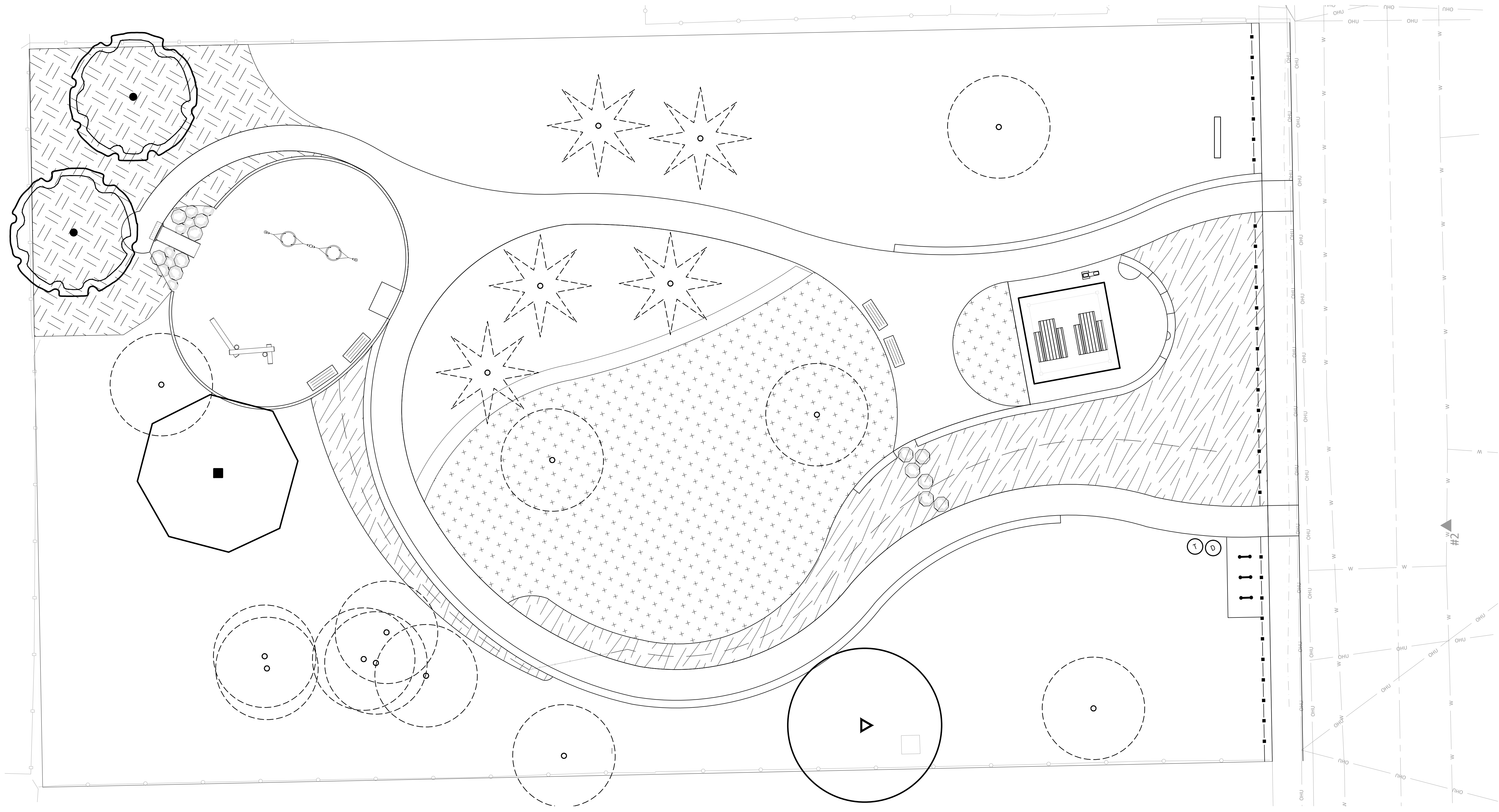
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Checked By: BJ/GM

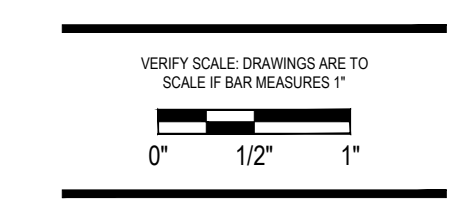
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 Sheet No. 28 of 52



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 LANDSCAPE ARCHITECTURE
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CITY OF MILWAUKIE

Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

Submital: Design Development
Sheet Title – Balfour Park :
Planting Plan

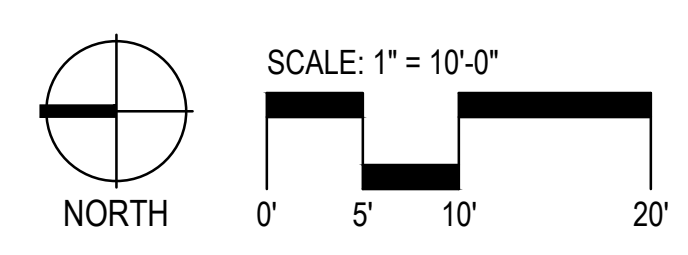
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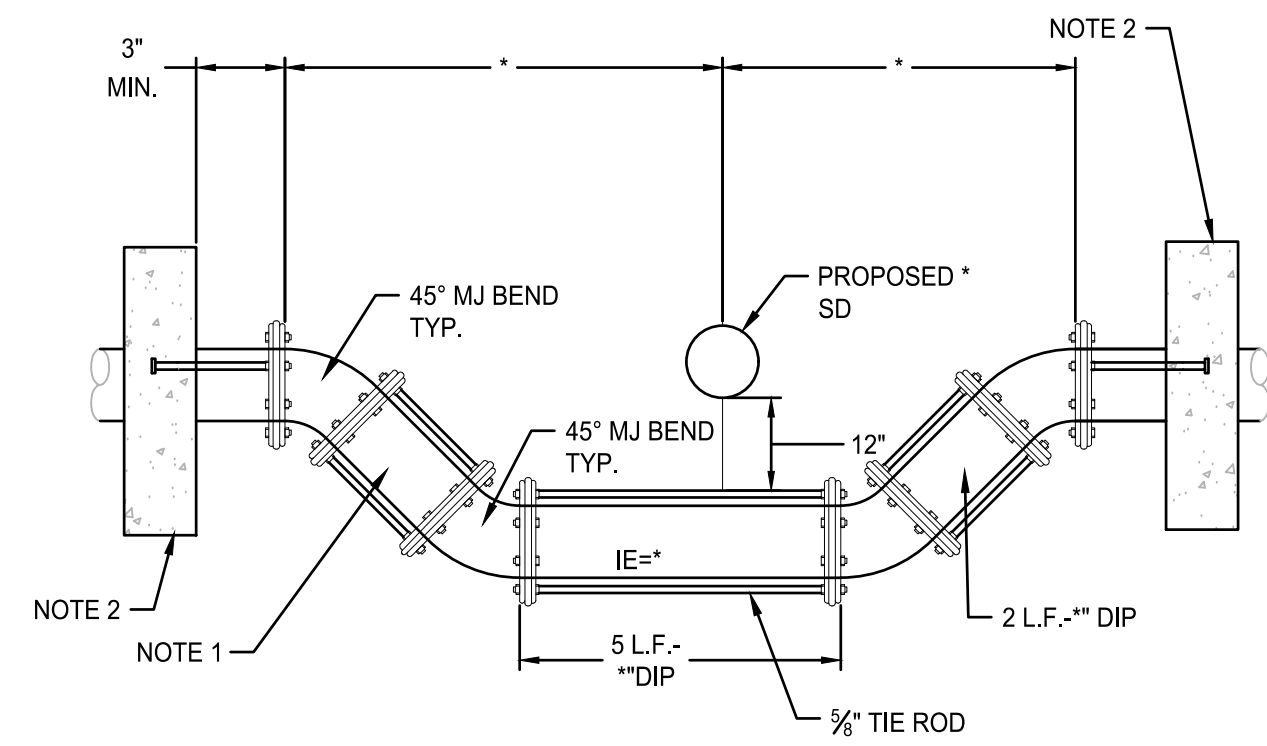
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Drawn By: GM/YC
 Checked By: BJ/GM
 Job No. 210234.1
 Approved: GW

L17.01
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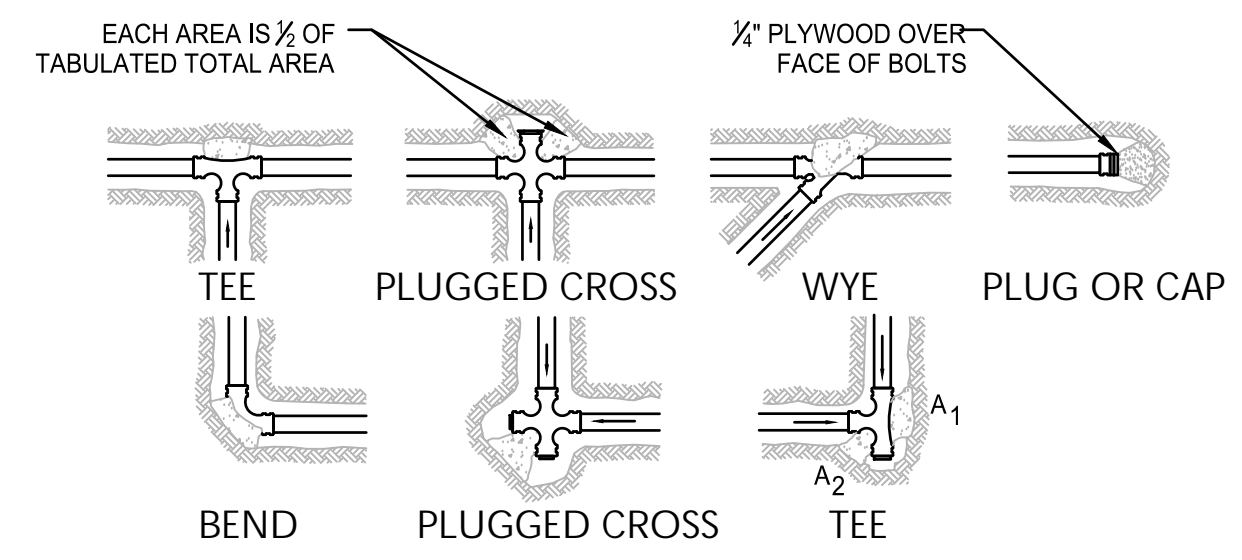
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- NOTES:
- DIP MJ SPOOL, * L.F.-* DIP CONTRACTOR TO VERIFY LENGTH OF * DIP NECESSARY TO MEET WATERLINE CLEARANCE TYP.
 - CONC. ANCHOR BLOCK W/ TIE BOLTS, DUCT LUGS OR STEEL PLATE AS APPROVED

3 TYPICAL WATERLINE UTILITY CROSSING
SCALE: NTS



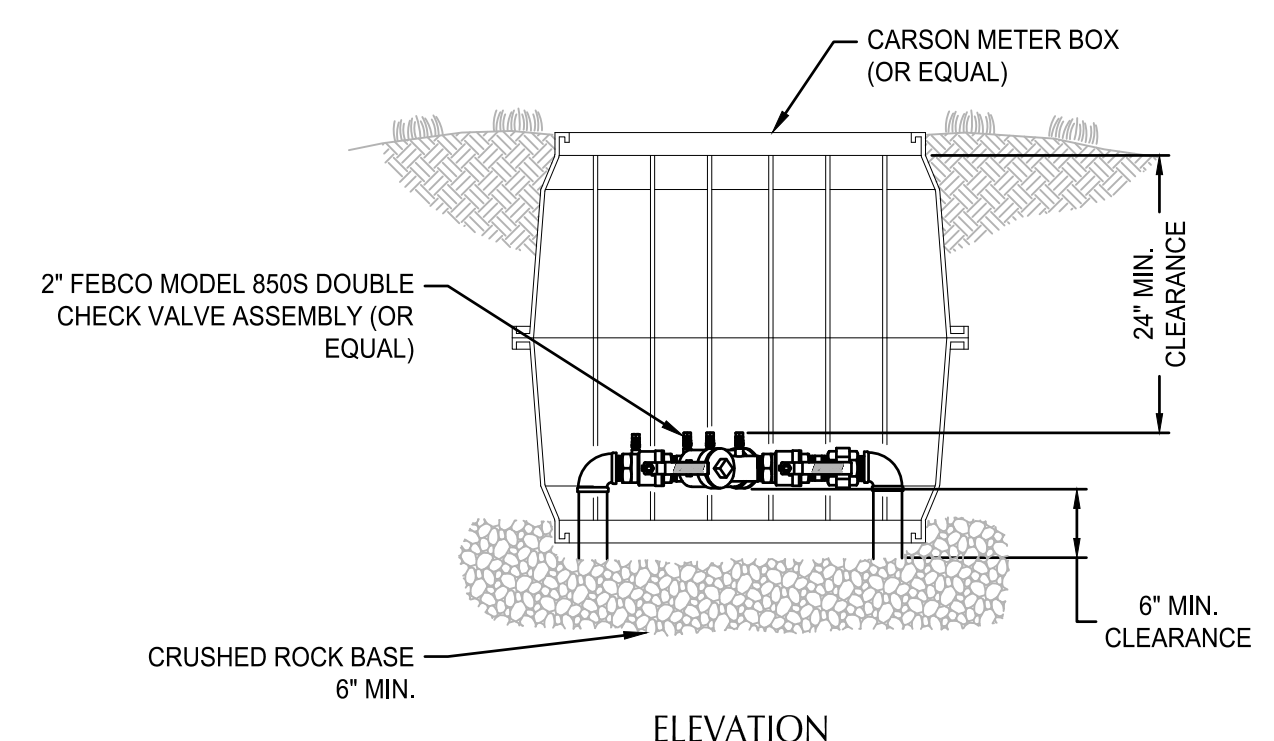
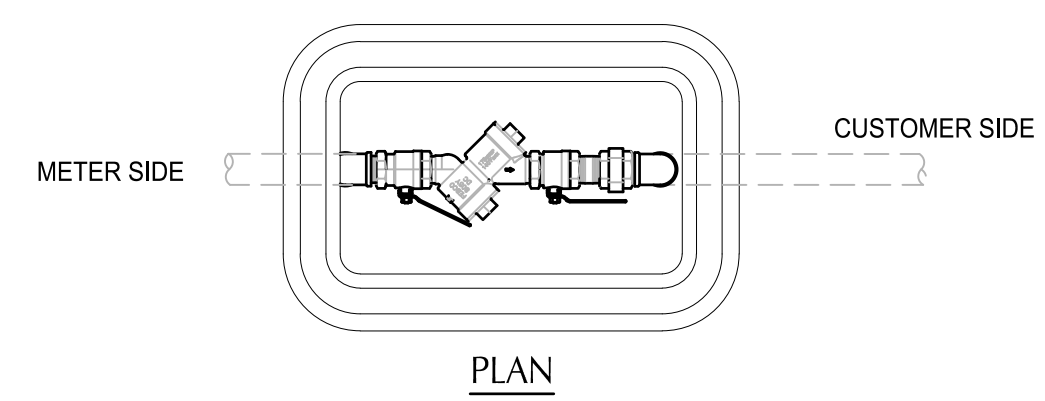
- CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
- KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
- THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENCIRCLED ON THE PLAN; e.g. 15 INDICATES 15 SQUARE FEET BEARING AREA REQUIRED.
- IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW, ADJUST IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS (ES) STATED IN THE SPECIAL SPECIFICATIONS.
- BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.

BEARING AREA OF THRUST BLOCK IN SQUARE FOOT

FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22 1/2° BEND	11 1/2° BEND
			A1	A2			
4	1.0	1.4	1.9	1.4	1.0		
6	2.1	3.0	4.3	3.0	1.6	1.0	
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0
10	5.9	8.4	11.8	8.4	4.6	2.4	1.2

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 p.s.i. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 p.s.i. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURE AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150)(X)2000/ SOIL BEARING STRESS(X)TABLE VALUE).

1 THRUST BLOCK
SCALE: NTS



NOTE: INSTALLATION SHOWN IS ONLY A SUGGESTION. THE DISTANCE FROM BOTTOM OF DEVICE TO FINISH GRADE, FREEZE PROTECTION, AND CLEARANCE FOR TESTING & REPAIR ARE THE MAJOR CONSIDERATIONS FOR INSTALLATION. PLUGS TO BE INSTALLED IN TEST COCKS OF BELOW GROUND INSTALLATIONS (NO DISSIMILAR METALS). IF FREEZE PROTECTION IS PROVIDED, THE 24" MIN CLEARANCE MAY BE REDUCED.

2 DOUBLE CHECK BACKFLOW ASSEMBLY
SCALE: NTS

CLASSIFICATION	DEPTH (IN.) WHICH EVER IS GREATER
ARTERIAL/INDUSTRIAL	8 OR EXISTING
COLLECTOR	6 OR EXISTING
LOCAL	4 OR EXISTING

NOTES:

- ADDITIONAL REPAIR IS REQUIRED FOR STREETS PAVED WITHIN THE LAST 5 YEARS; SEE STANDARD DETAIL NO. 511.
- FINAL SAWCUTS MUST BE 6" WIDER THAN THE WIDTH OF THE ROLLER USED FOR COMPACTION
- PAVING TO CONSIST OF LEVEL 3 ASPHALT CONCRETE AND BE PLACED IN LIFTS. EACH LIFT MUST HAVE A MAXIMUM DEPTH OF 3" & MINIMUM DEPTH OF 2".
- INFRARED ASPHALT REPAIRS MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER.
- UNDERMINED, BROKEN OR CRACKED PAVEMENT EDGES MUST BE SAWCUT AND REMOVED AT THE DISCRETION OF THE CITY ENGINEER.
- CONTROL DENSITY FILL (CDF) MAY BE REQUIRED AT CITY ENGINEER'S DISCRETION.
- ALL ROCK AND BACKFILL TO BE COMPACTED TO 95% MAX. DENSITY AASHTO T-180.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.
Trench Patch
DRAWING NO. 510

NO.	REVISIONS	DATE	BY
3	ADDED T-CUT LANGUAGE	12/14	AKR
4	DRAWING NUMBER CHANGED	11/18	TAP
5	UPDATED NOTES, DRAWING NUMBER CHANGE	06/19	TAP

NOTES:

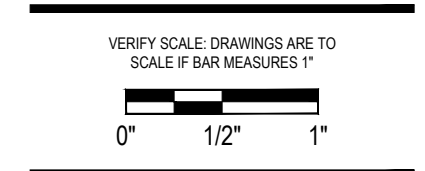
- IF COPPER TUBING CROSSES CATHODICALLY PROTECTED LINE, ENCASE COPPER IN POLYETHYLENE TUBING FOR 24" (CENTERED AT THE CROSSING LINE) AND FASTEN WITH 2" WIDE ADHESIVE TAPE THAT IS COMPATIBLE WITH POLYETHYLENE.
- PLACE METER BOXES (1) LOCATED BEHIND THE SIDEWALK WHERE THERE IS SUFFICIENT RIGHT-OF-WAY; (2) WITHIN THE PLANTER STRIP, EXCLUDING WATER QUALITY FACILITIES; (3) WITHIN THE SIDEWALK WITH THE BACK OF THE METER BOX AT THE BACK EDGE OF THE SIDEWALK.
- CONNECT GALVANIZED SERVICE PIPE; (1) AT EXISTING THREADED FITTING WITHIN 5 FEET OF WATER METER; (2) RETHREAD EXISTING GALVANIZED SERVICE PIPE; (3) IF EXISTING PIPE IS IN POOR CONDITION AND CANNOT BE RETHREADED, USE UNTHREADED GALVANIZED PIPE CONNECTION DETAIL.
- IF METER BOX IS LOCATED IN THE SIDEWALK, DIELECTRIC UNION WILL BE INSTALLED (1) 6" FROM BACK OF METER INSIDE OF METER BOX, (2) BEHIND BACK OF SIDEWALK.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.
3/4 to 1 Inch Water Service
DRAWING NO. 401

NO.	REVISIONS	DATE	BY
5	ADDED DIELECTRIC UNION NOTE	12/14	AKR
6	ADDED 3/4" WATER SERVICE	11/18	TAP
7	TITLE CHANGE	06/19	TAP

kpff
111 SW Fifth Ave., Suite 2600
Portland, OR 97204
O: 503.542.3860
F: 503.274.4681
www.kpff.com

GREEN WORKS
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL DESIGN
110 SE Main St., Suite 100
Portland, OR 97214
Ph: 503.222.6612
Fax: 503.222.2283
Email: info@greenworks-pc.com



CITY OF MILWAUKIE

Project: **Scott Park, Balfour Park, & Bowman Brae Park**
City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53228
503-786-7555

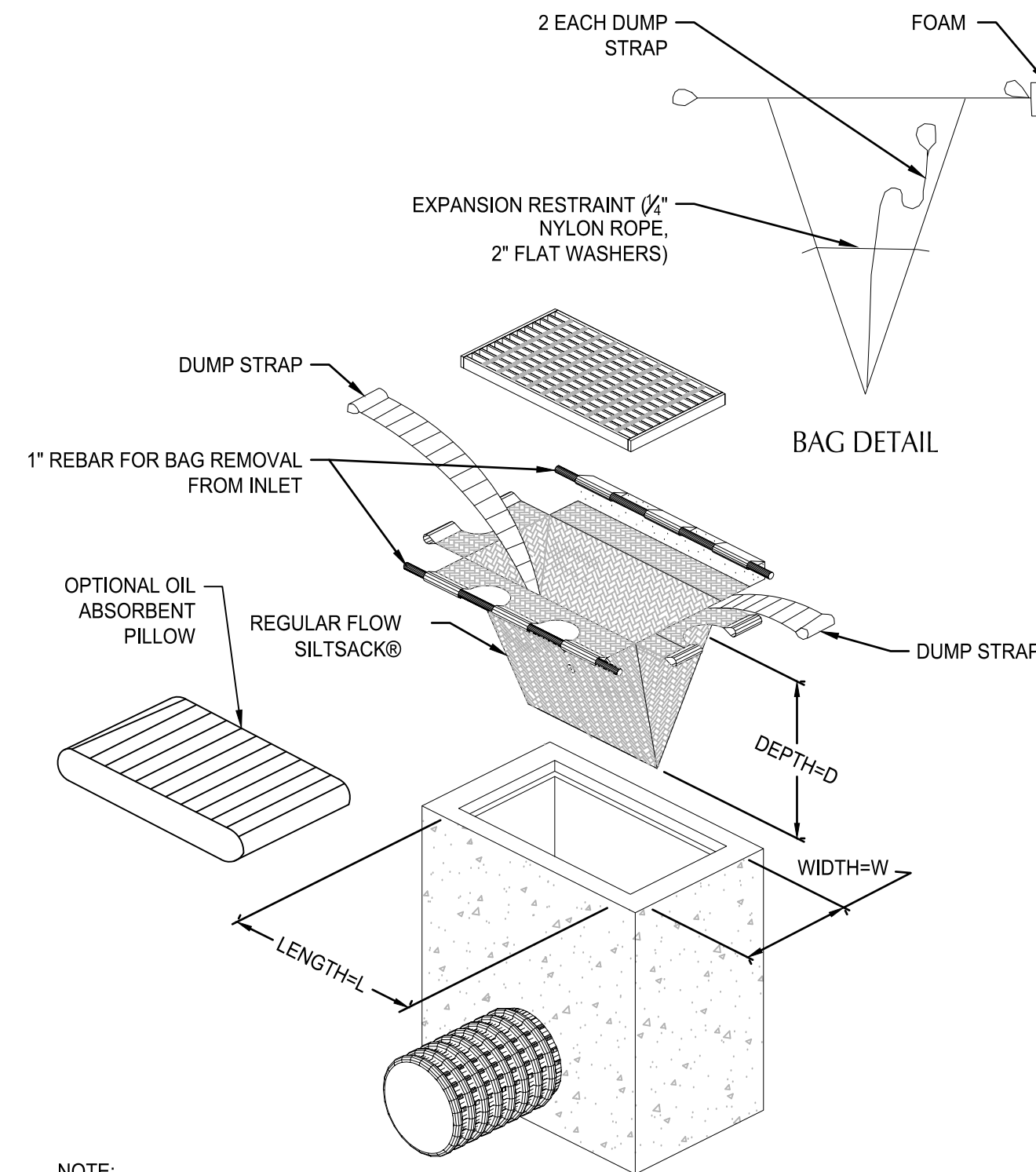
Submittal: Design Development
Sheet Title: **DETAILS**

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Date: 03/21/2023
Revisions:

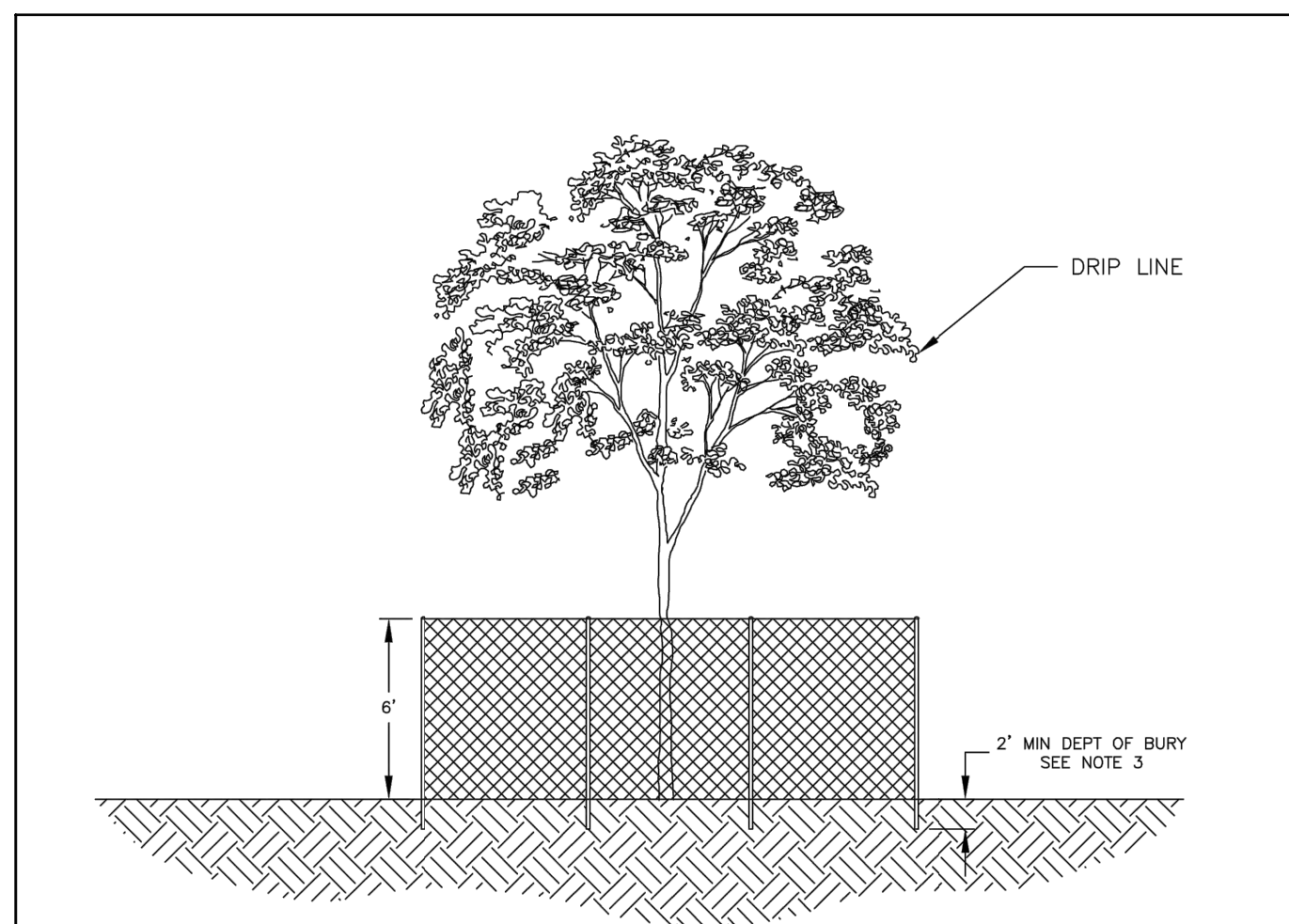
Drawn By: CK/RC
Checked By: JZ
Job No. 210234.1
Approved: CV

C28.00
Sheet No. 46 of 52



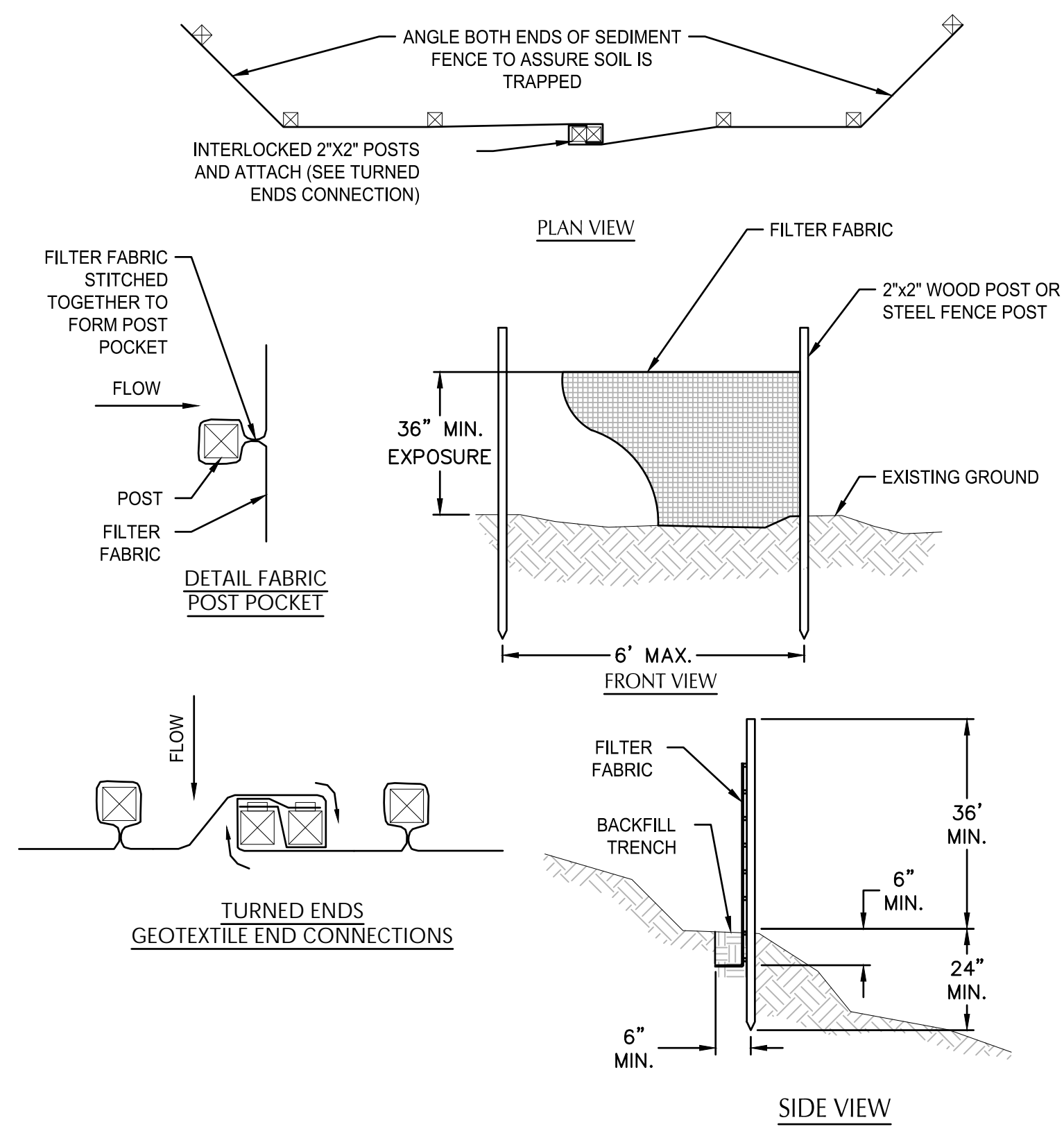
NOTE:
1. DO NOT USE HIGH FLOW INSERT BAGS.

2 INLET SEDIMENT PROTECTION
SCALE: NTS



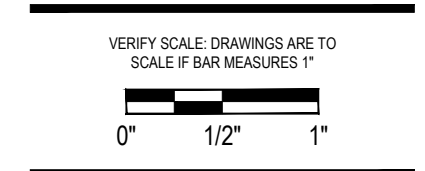
- NOTES**
- FENCE MUST BE 6 FEET IN HEIGHT AND SET AT THE TREE DRIP LINE.
 - FENCE MATERIALS TO CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1-1/2" DIA. STEEL OR ALUMINUM POST.
 - POST TO BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
 - TREE PROTECTION FENCING MUST BE INSTALLED, INSPECTED AND APPROVED BY THE CITY'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY EROSION CONTROL FENCING BEING INSTALLED OR ANY GRADING ACTIVITIES OCCUR.
 - FENCE MUST REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

CITY OF MILWAUKIE, OREGON – PUBLIC WORKS DEPT.		DRAWING NO. 524	
Tree Protection Fencing			
APPROVED:	NO. 1	REVISIONS	DATE 08/18
CITY ENGINEER	DATE 01/2021		BY TAP



- NOTES**
- THE FILTER FABRIC SHALL BE (36" MIN. WIDTH) PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACH AS SHOWN ON DETAIL SHEET.
 - THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6- FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
 - THE FILTER FABRIC SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION, SHALL BE BACKFILLED AND COMPACTED, ALONG THE ENTIRE DISTURBED AREA.
 - STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS WITH STAKES SHALL BE INSTALLED ON THE DOWN-HILL SIDE OF THE SLOPED AREA.
 - FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP-SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
 - FILTER FABRIC FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

1 SEDIMENT FENCE
SCALE: NTS



CITY OF MILWAUKIE

Project: Scott Park, Balfour Park, & Bowman Brae Park
City of Milwaukie
10722 SE Main Street
Milwaukie, OR 97222
503-786-7555

Submittal: Design Development
Sheet Title: DETAILS

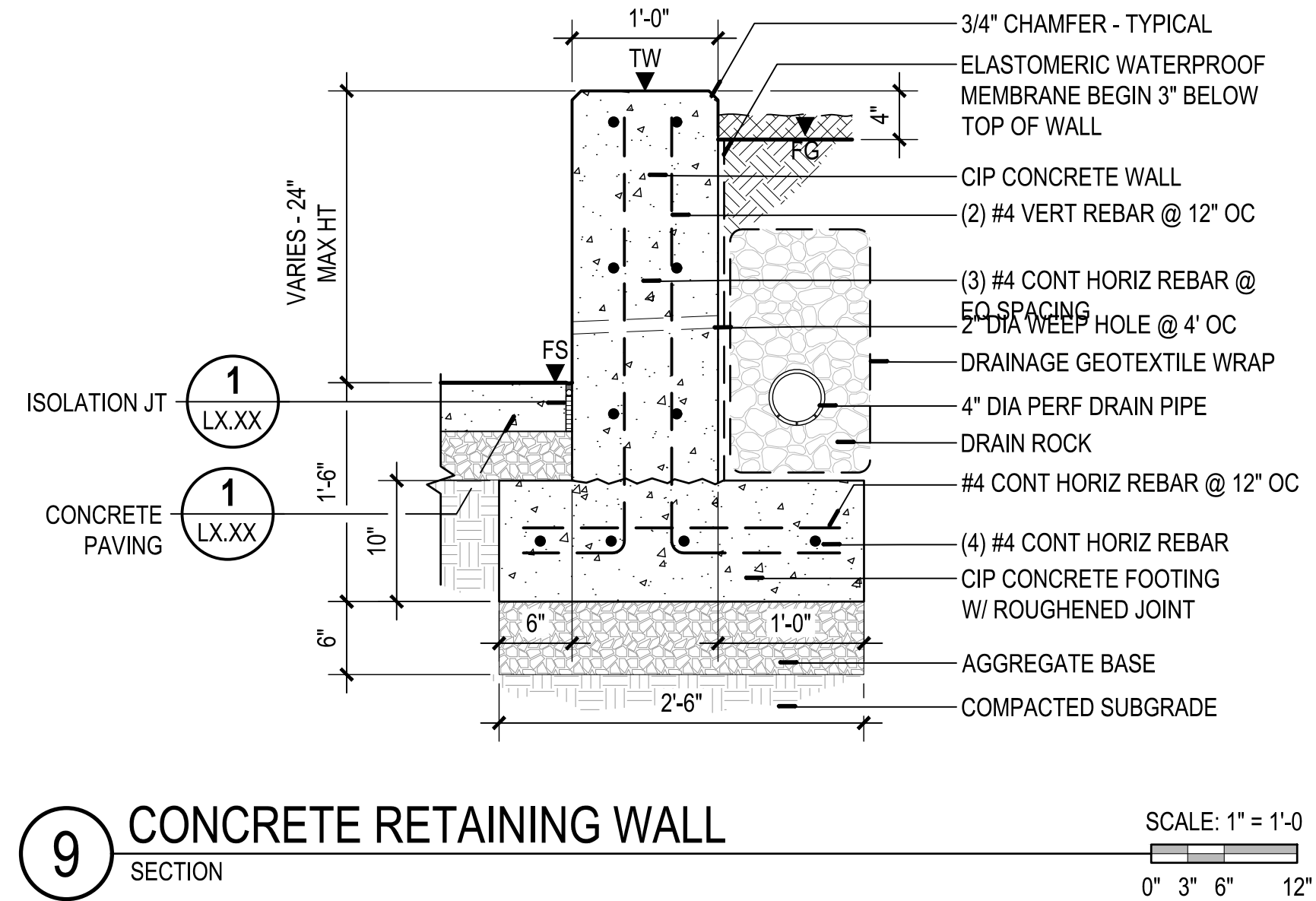
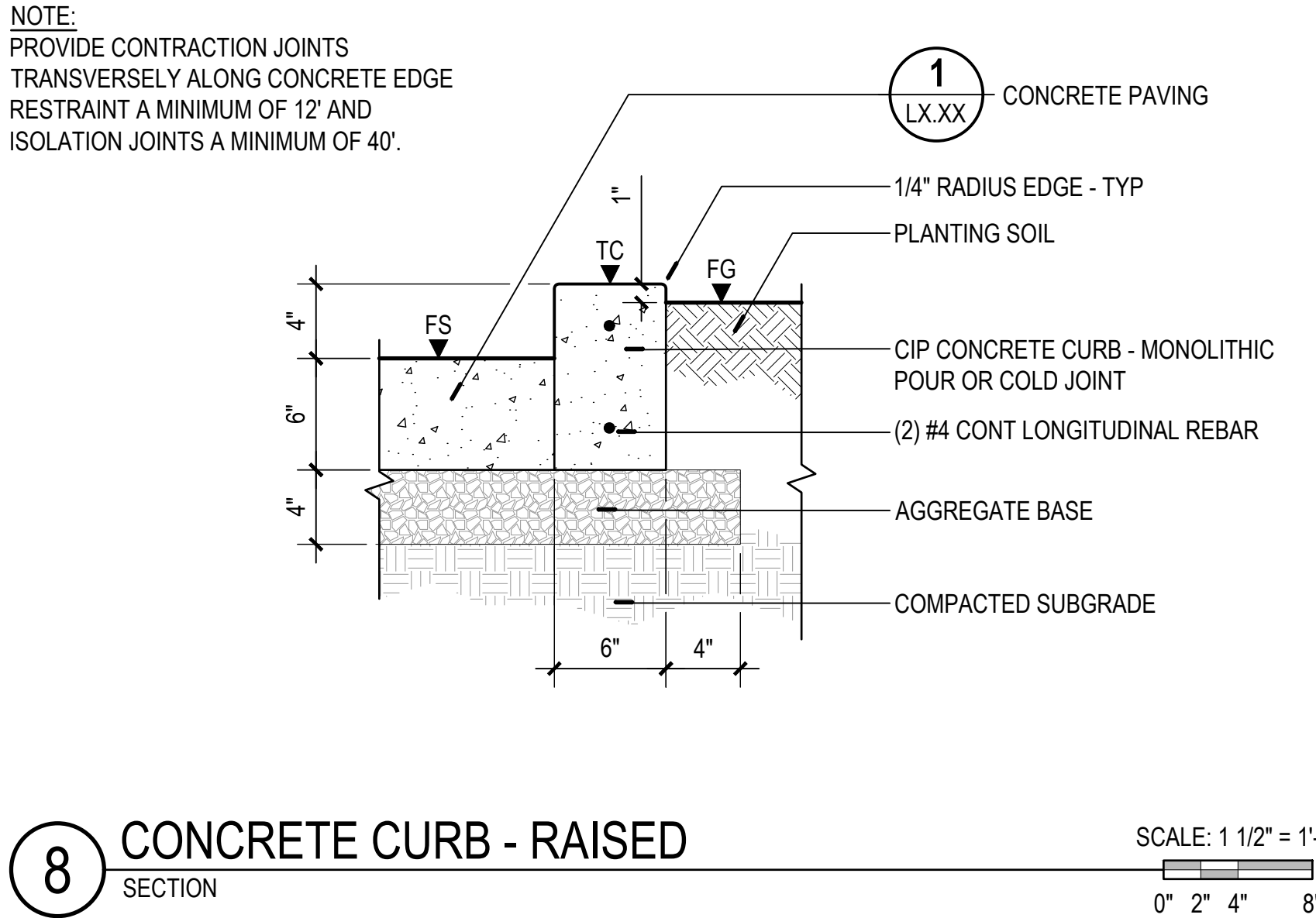
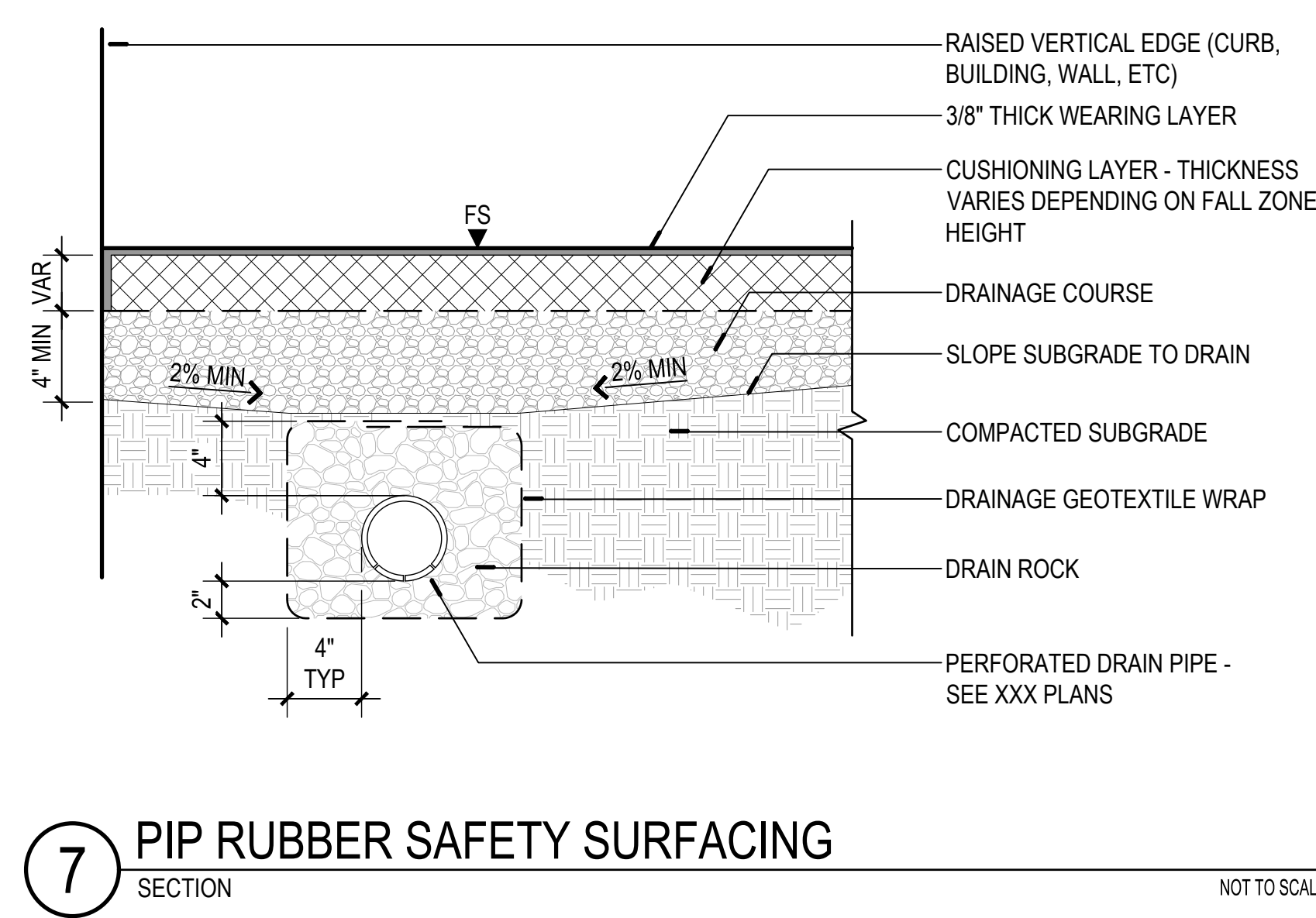
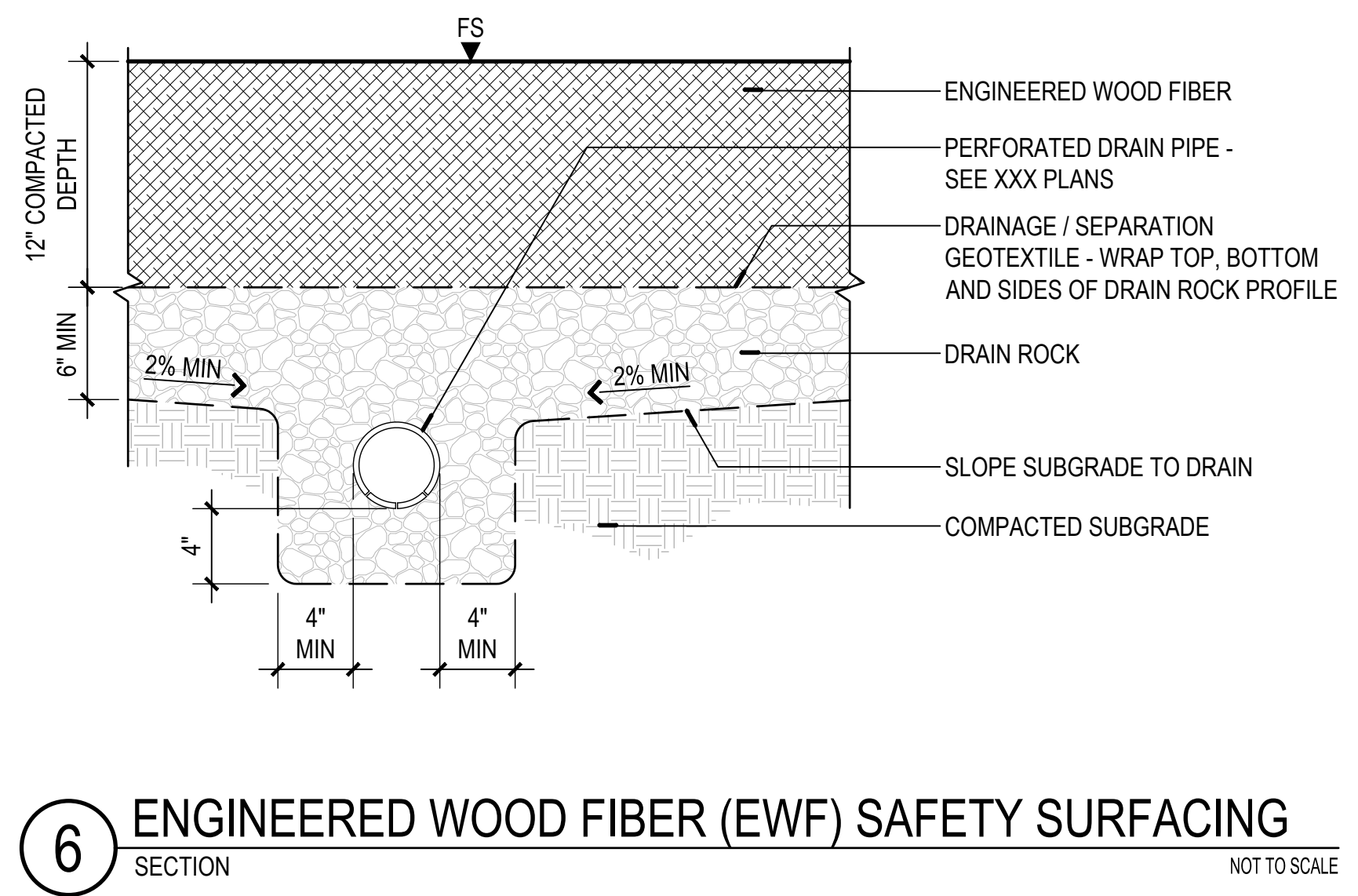
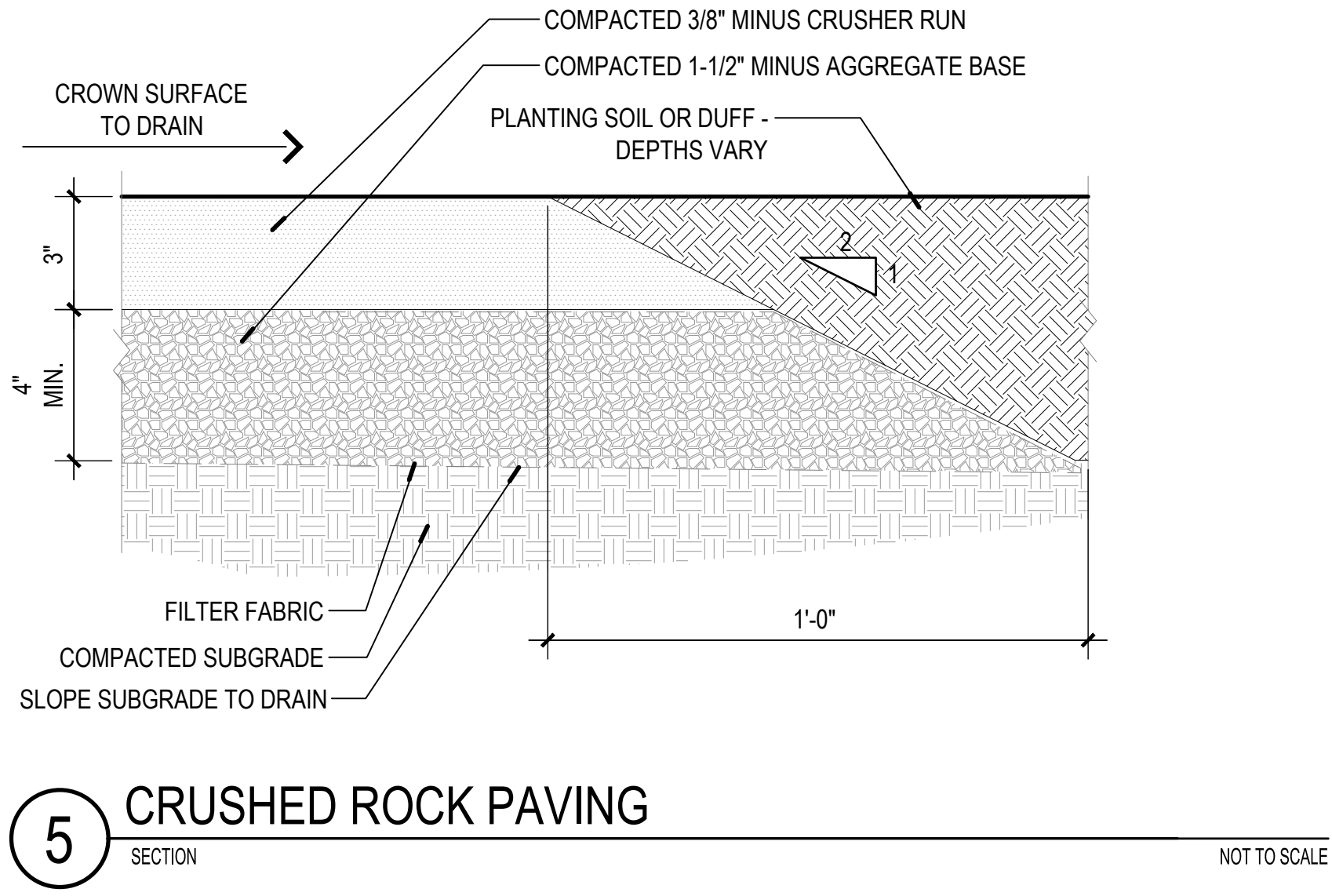
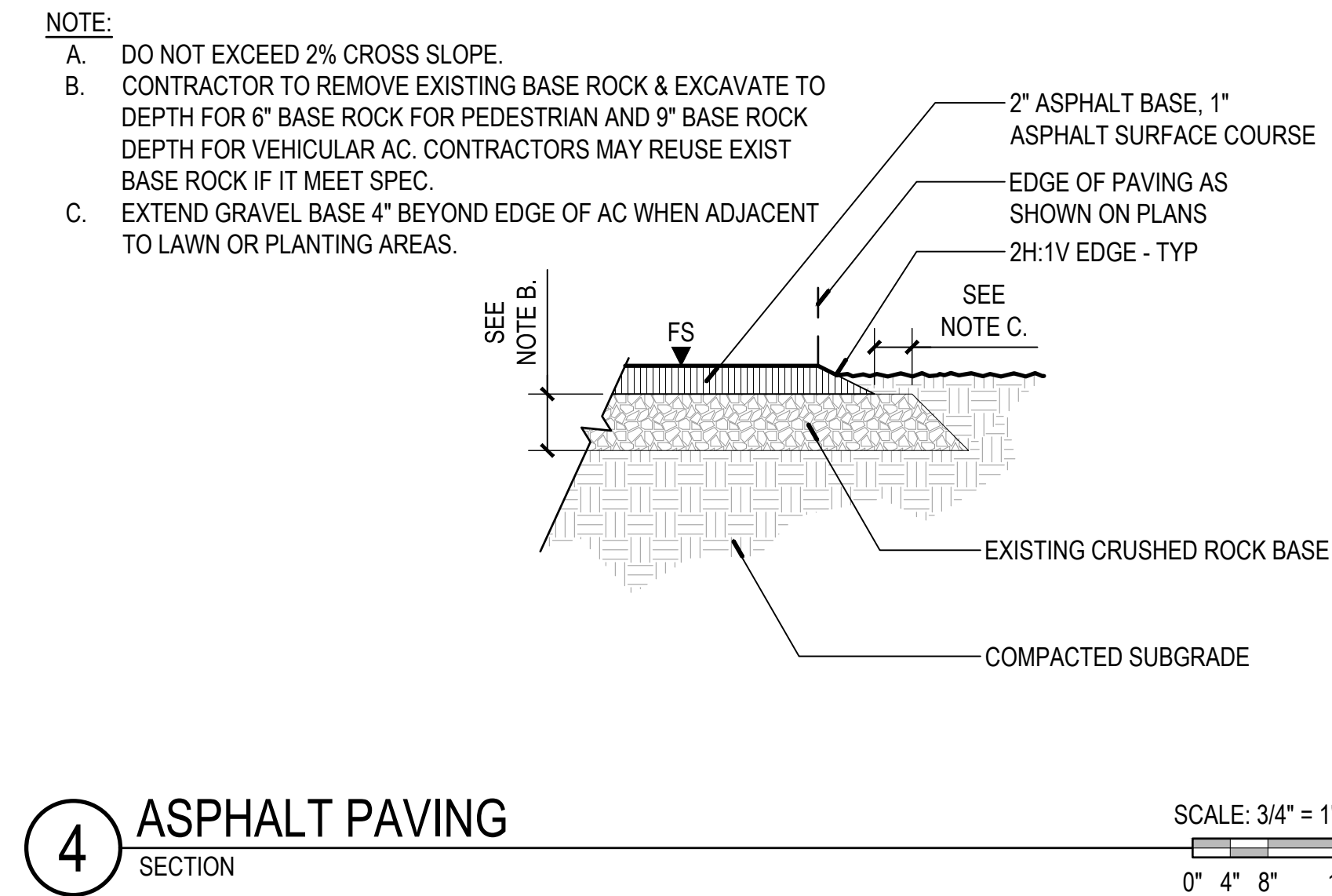
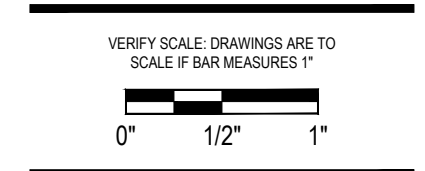
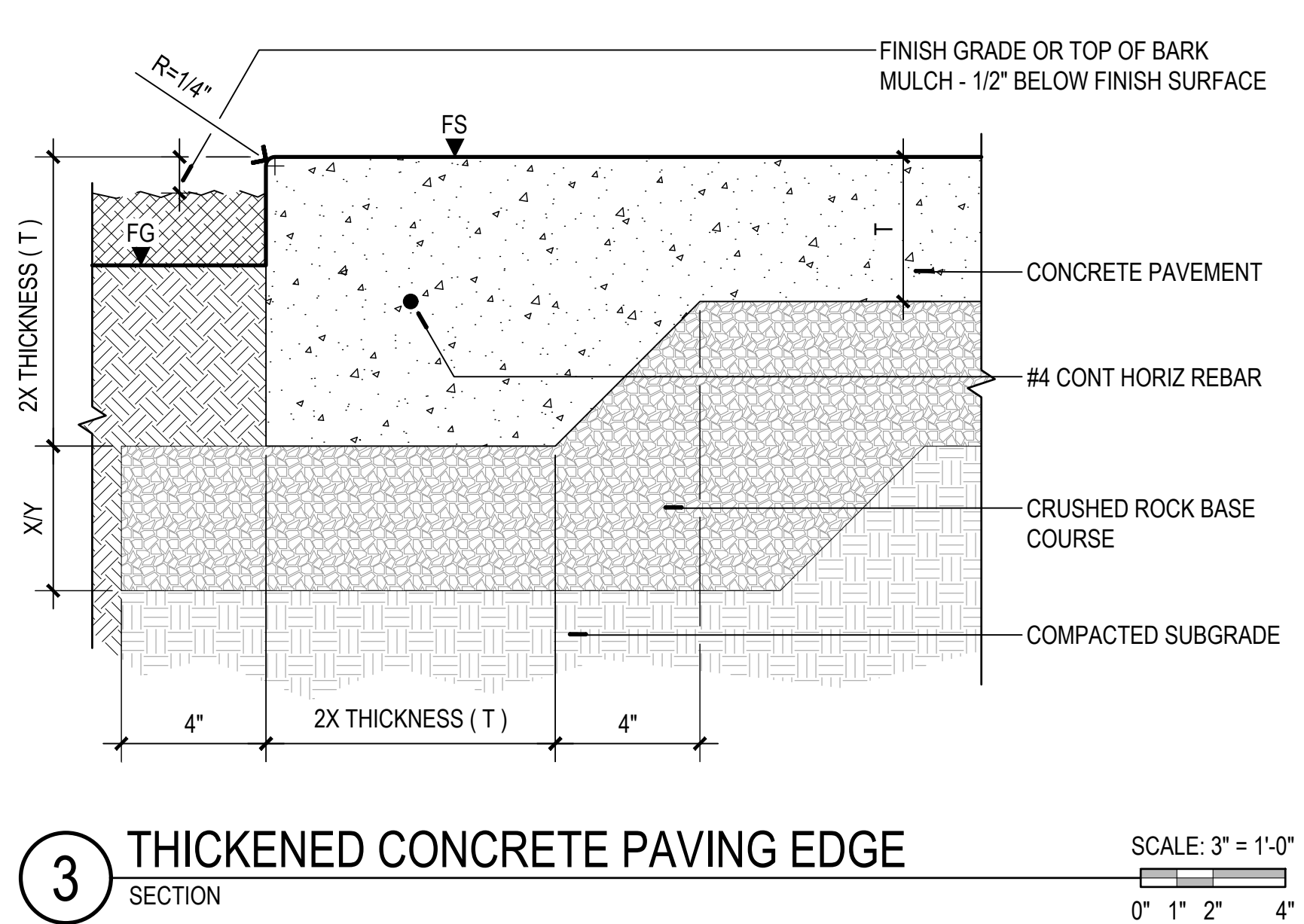
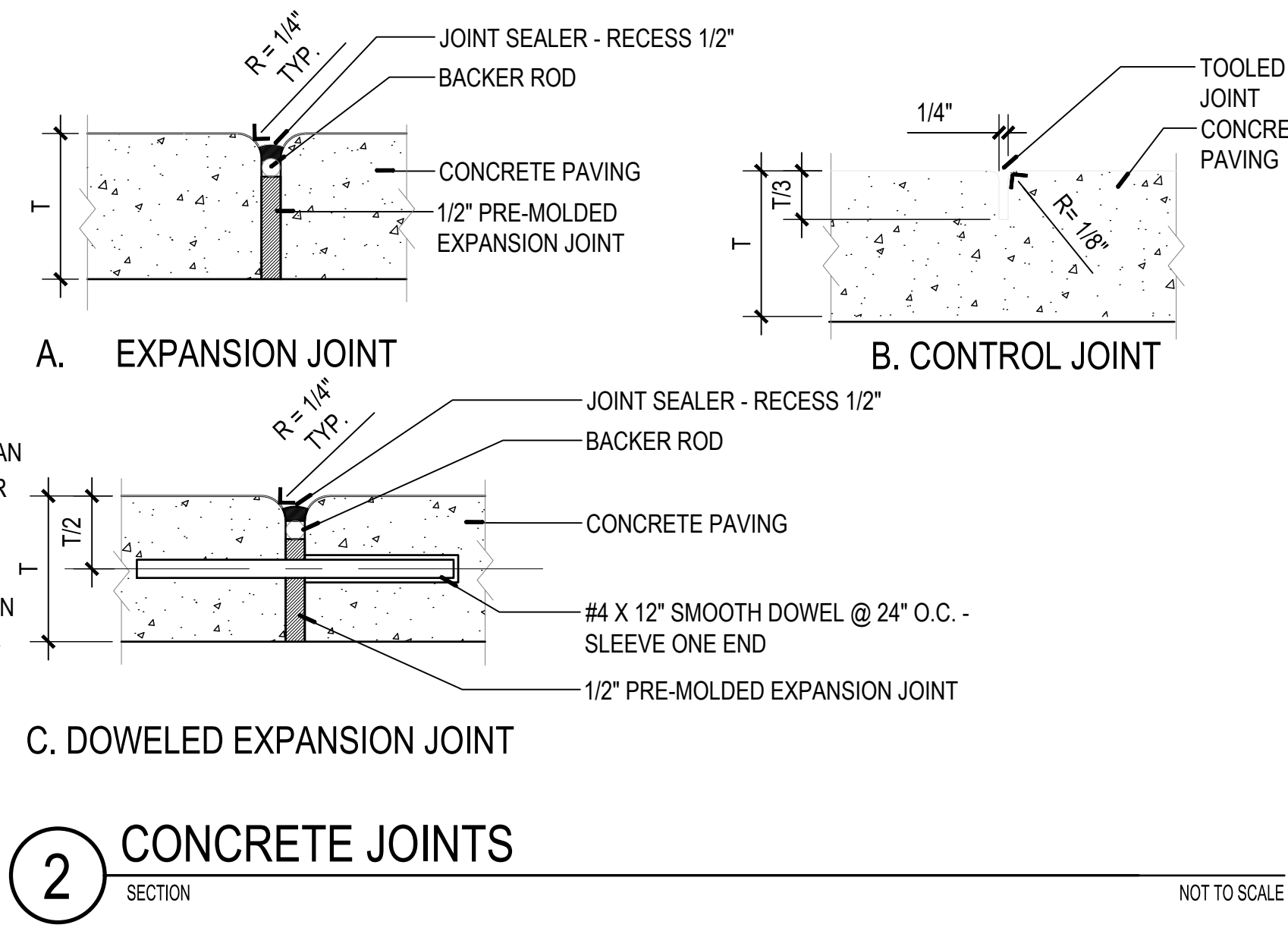
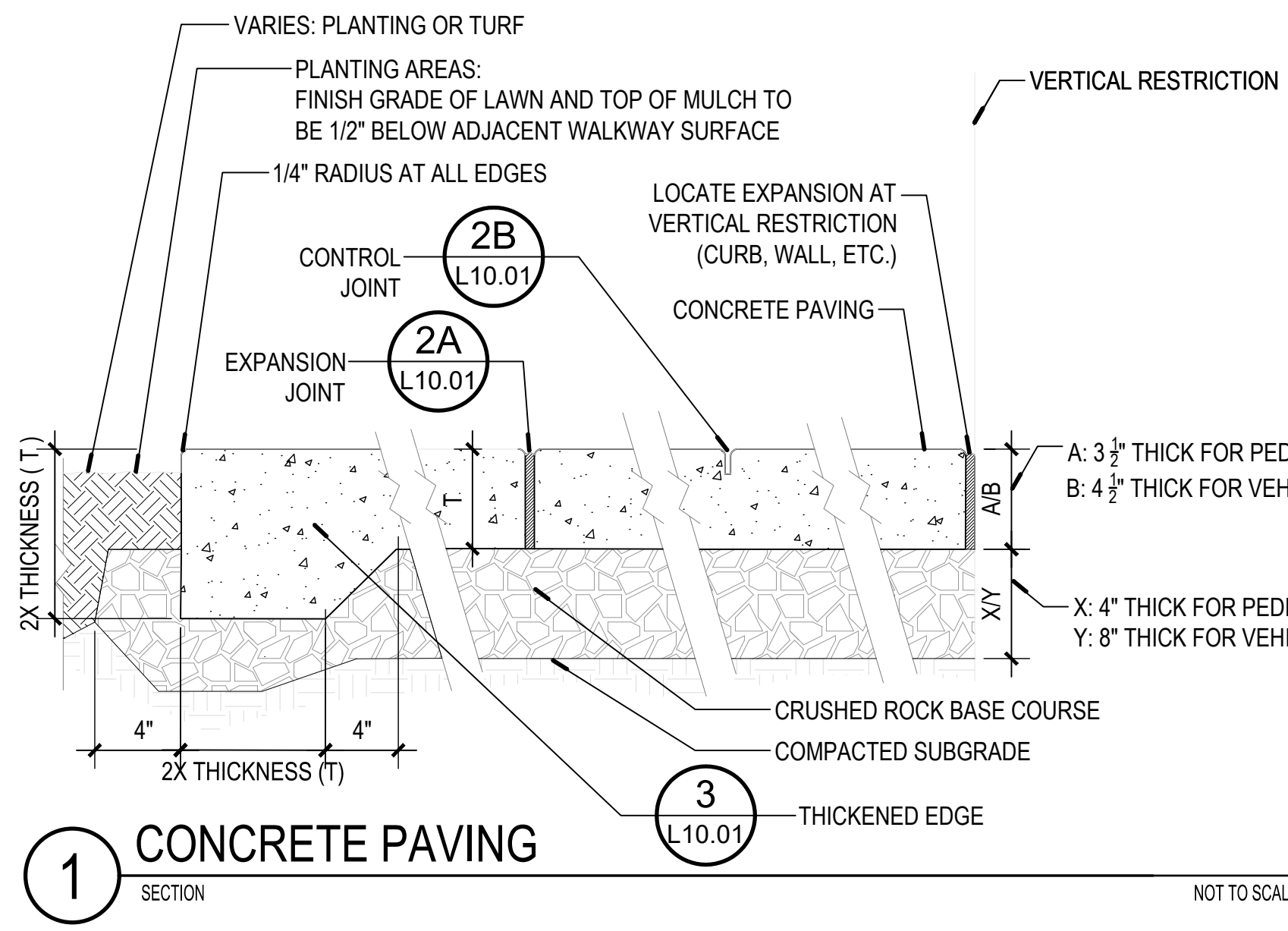
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Date: 03/21/2023

Revisions:

Drawn By: CK/RC
Checked By: JZ
Job No. 210234.1
Approved: CV

C28.01
Sheet No. 47 of 52

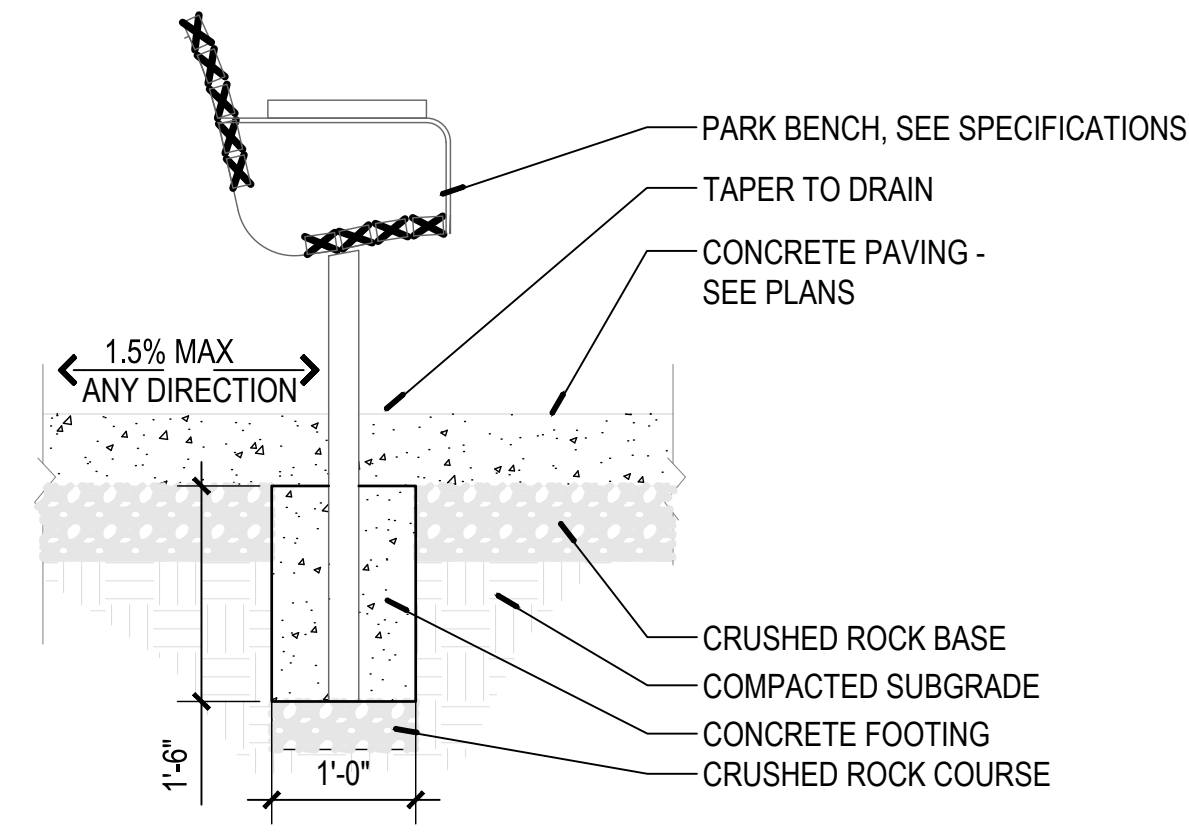


Project:
Scott Park, Balfour Park,
& Bowman Brae Park
City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53228
503-786-7555

Submittal: Design Development
SITE DETAILS

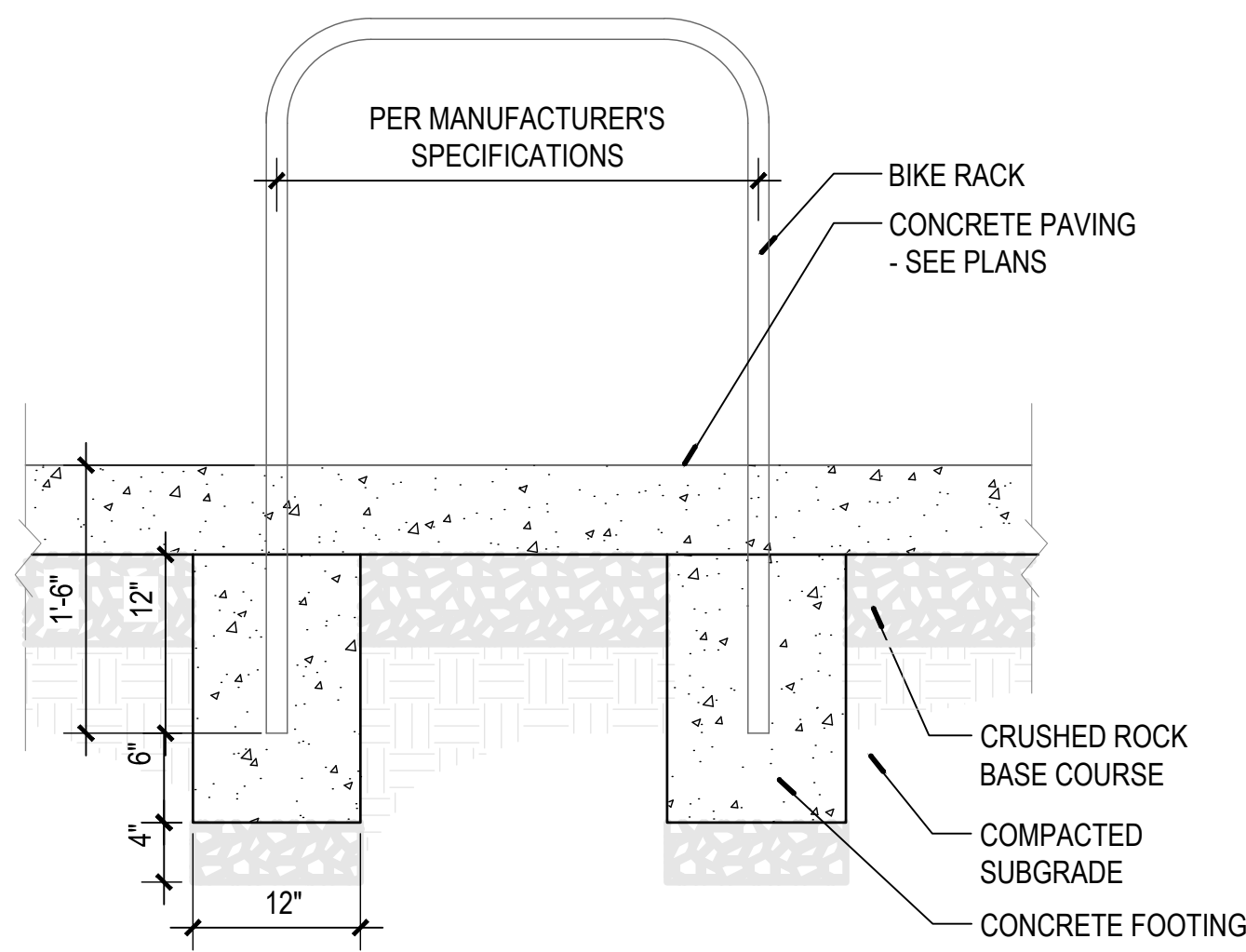
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Date: 04/11/2023
Revisions:
Drawn By: GM/YC
Checked By: BJ/GM
Job No. 210234.1
Approved: GW

L28.01
Sheet No. 48 of 52



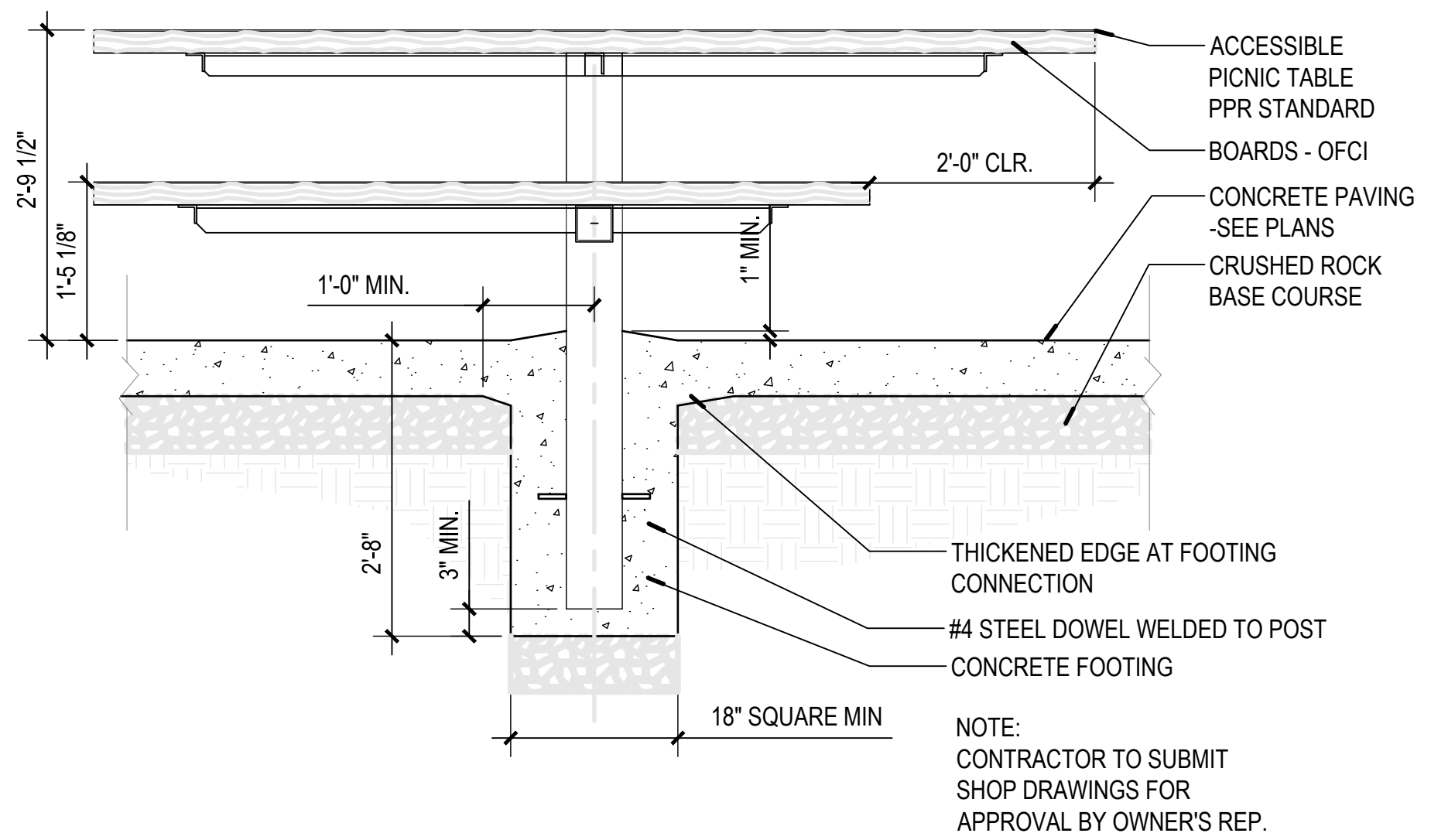
1 STANDARD BENCH
 SECTION PLAN

SCALE: 3/4" = 1'-0"



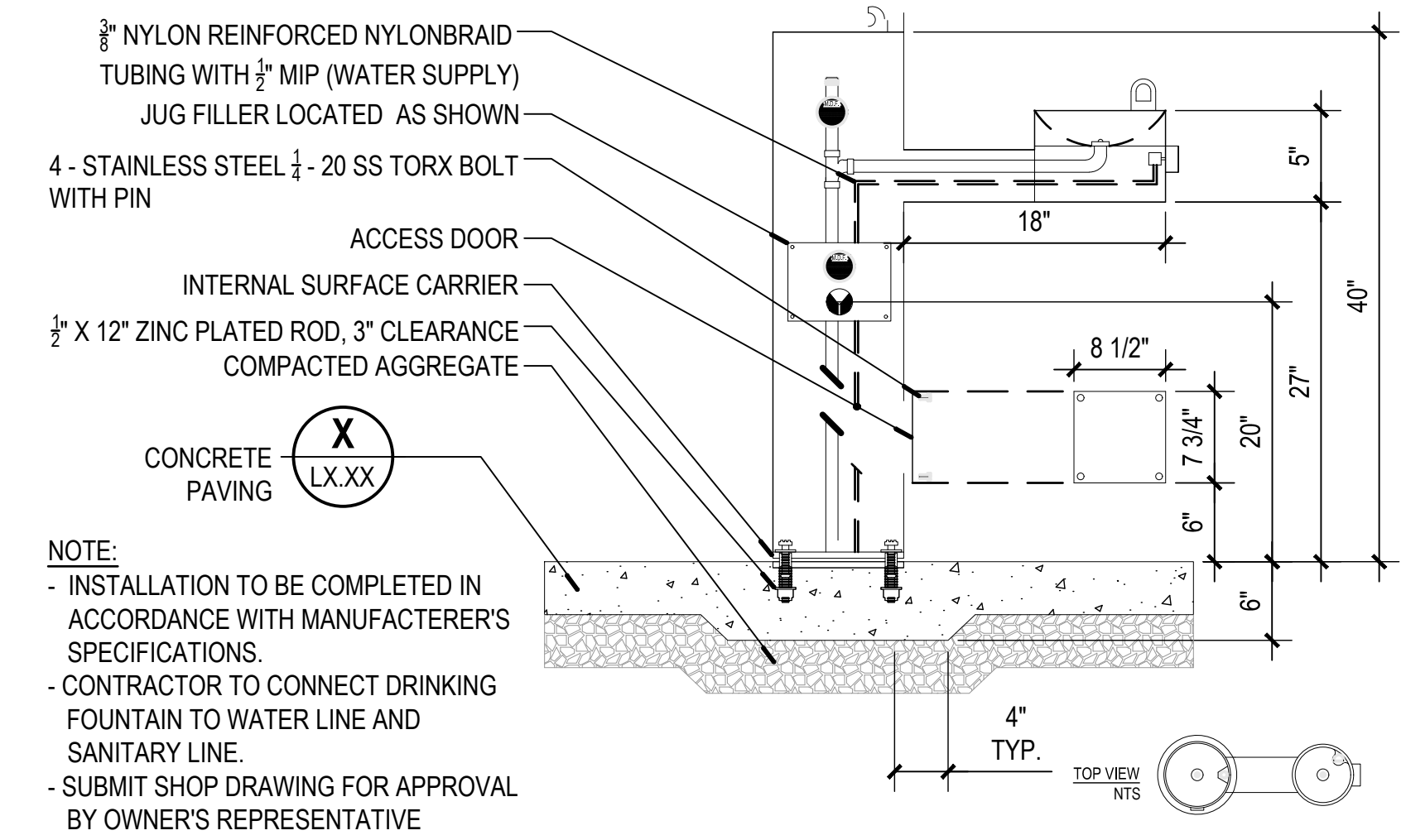
2 BIKE RACK
 SECTION

SCALE: 1" = 1'-0"



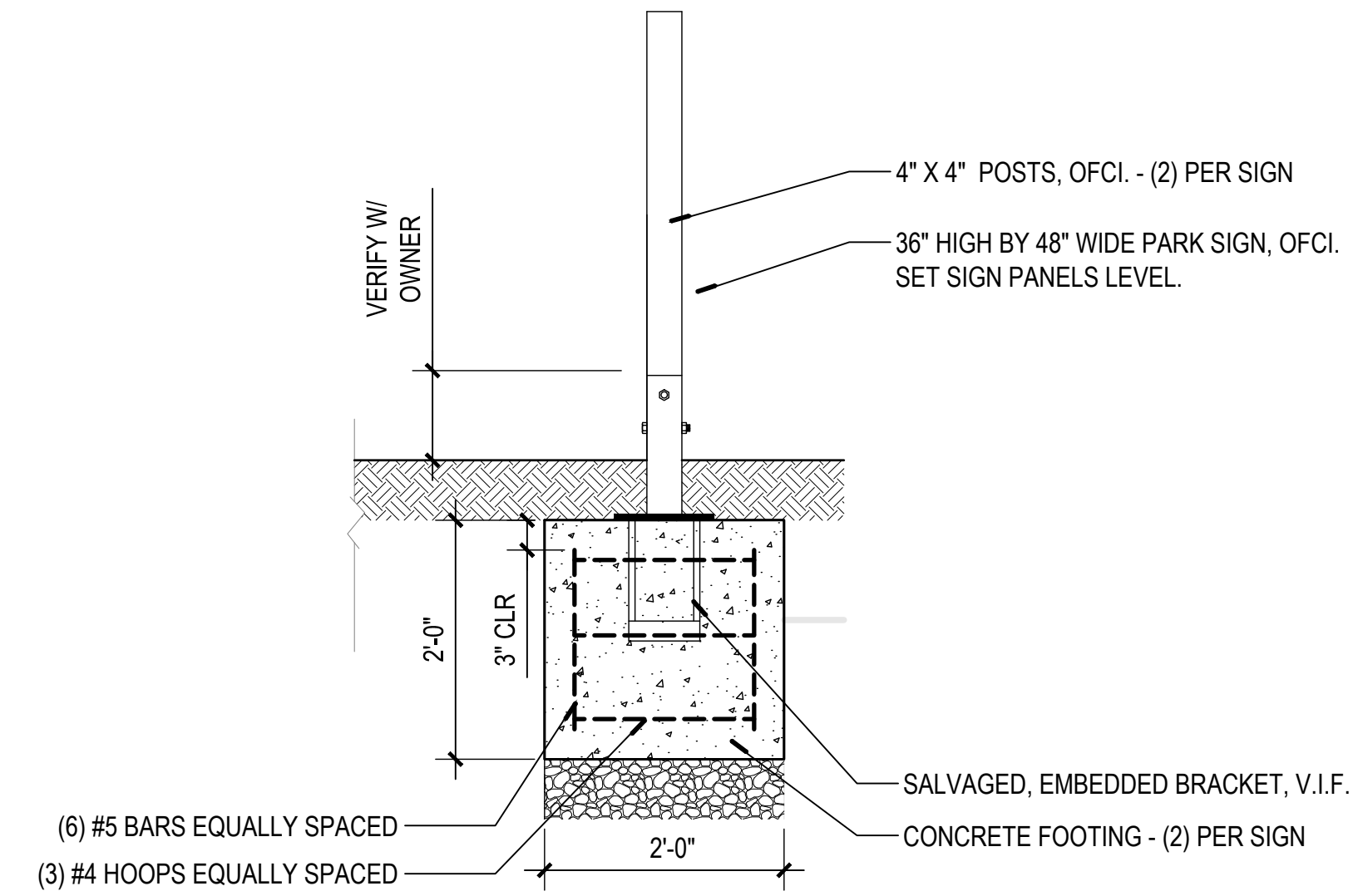
3 ACCESSIBLE PICNIC TABLE
 SECTION

SCALE: 3/4" = 1'-0"



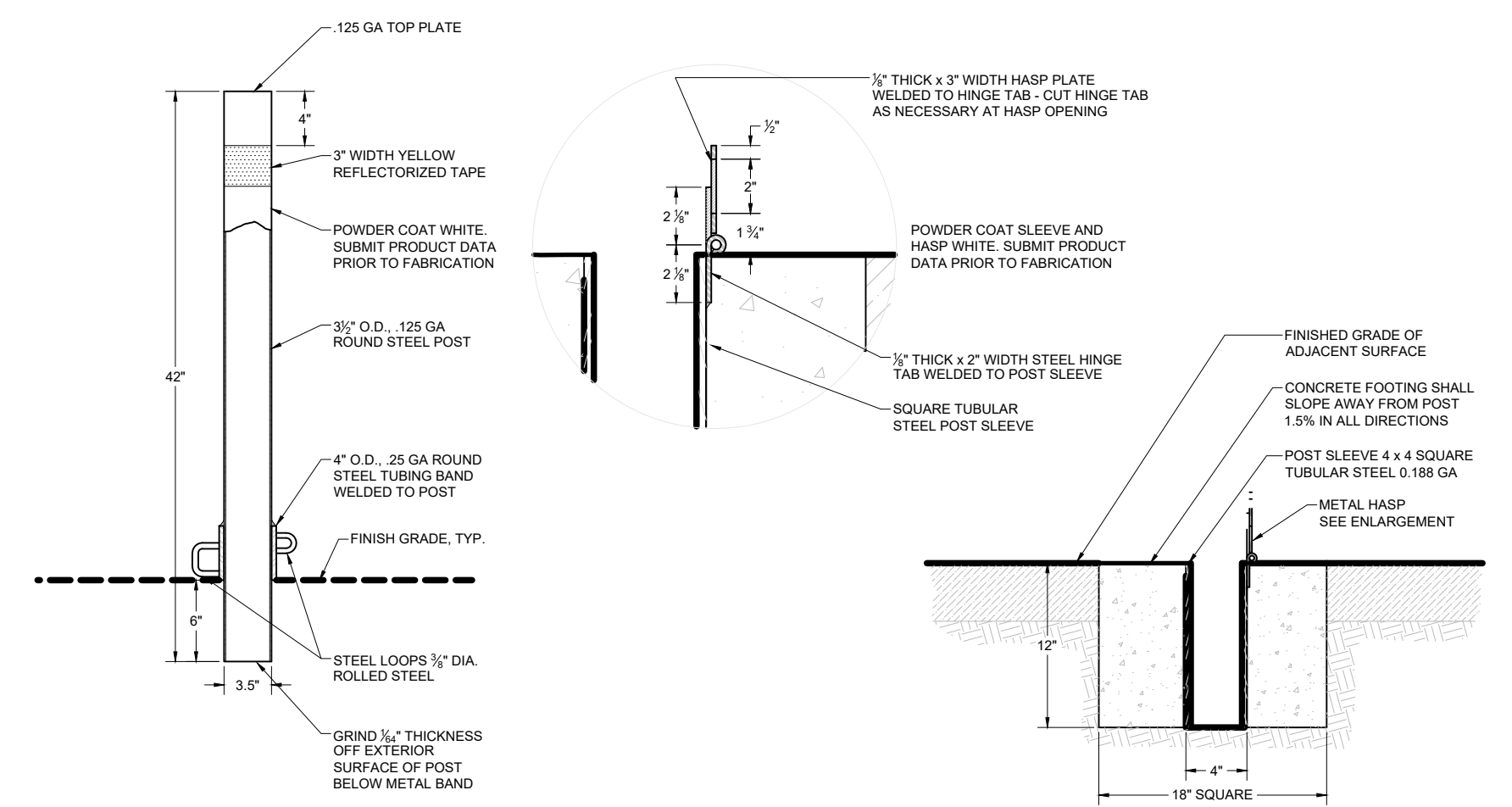
4 DRINKING FOUNTAIN
 SECTION

SCALE: 1" = 1'-0"



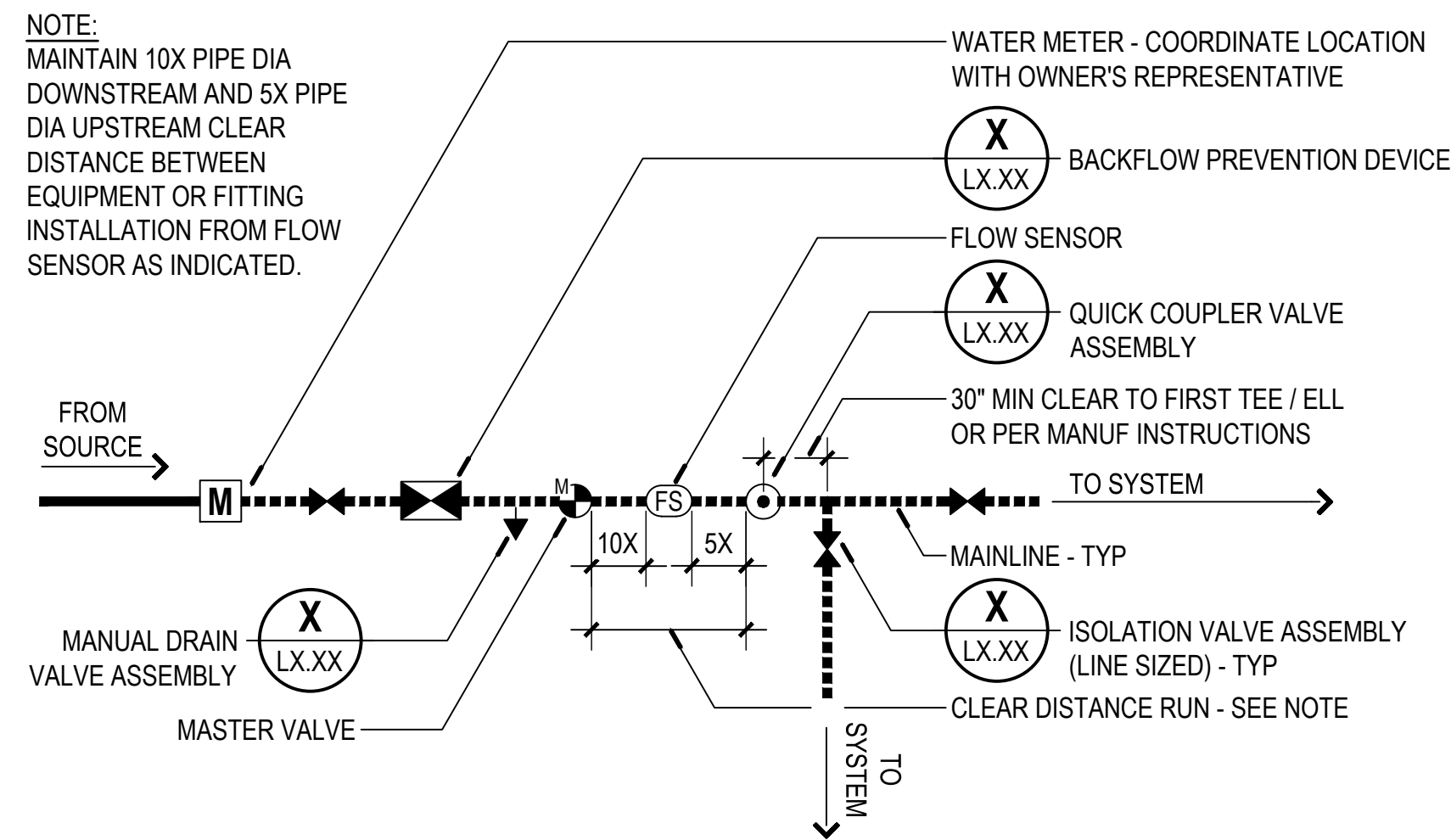
5 PARK SIGN FOOTING
 SECTION PLAN

SCALE: 3/4" = 1'-0"

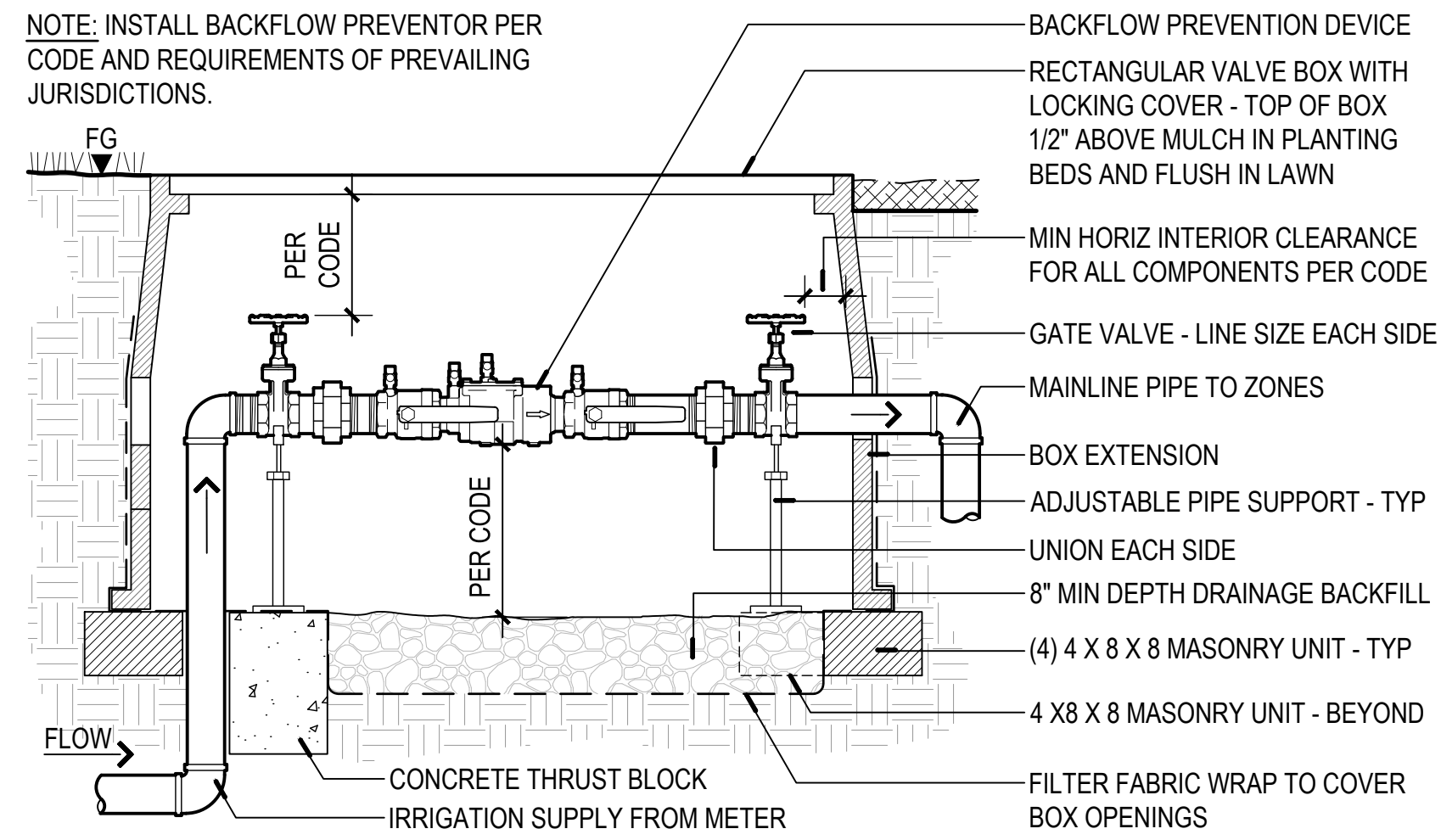


6 REMOVABLE BOLLARD
 SECTION

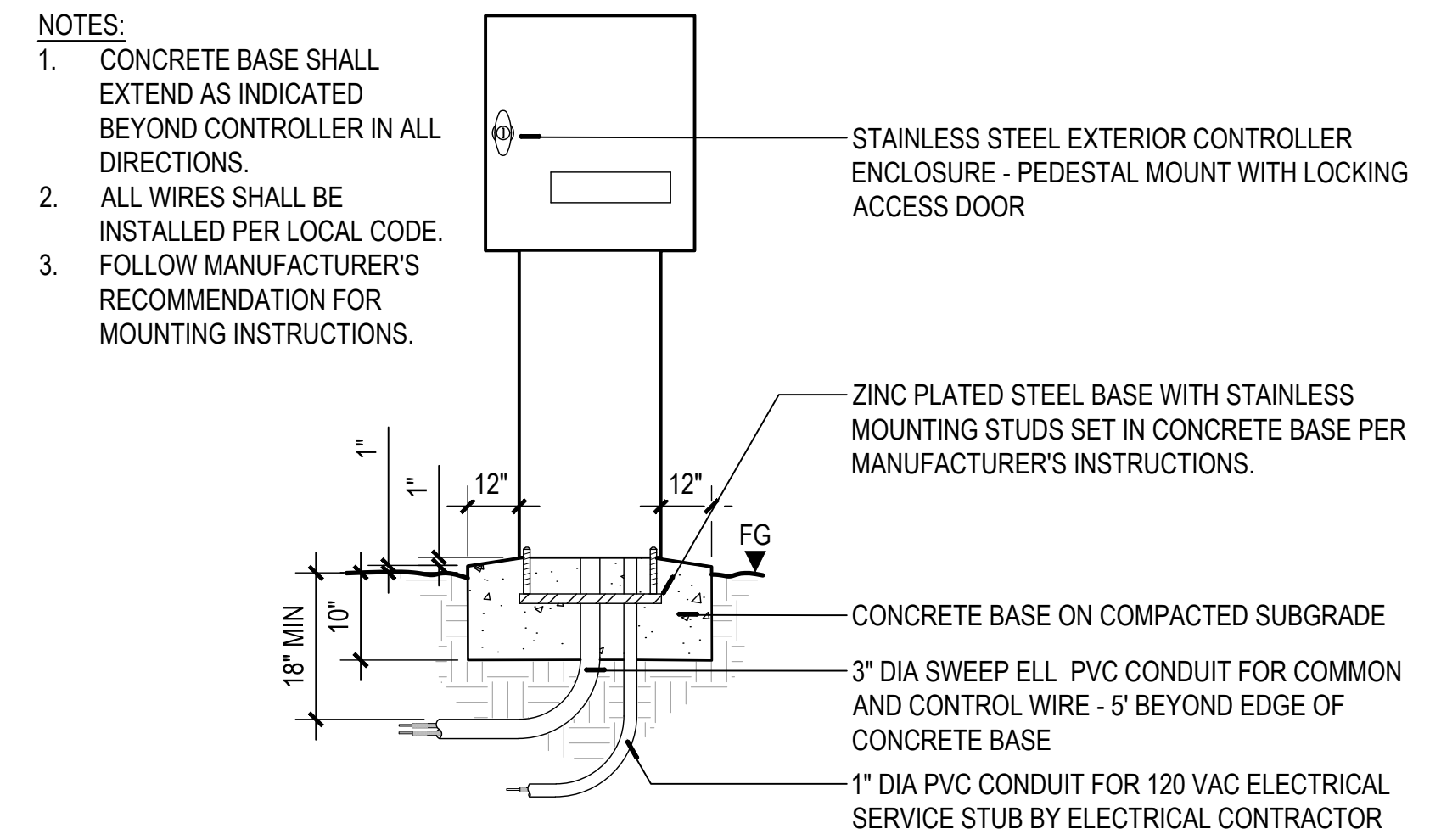
SCALE: 1" = 1'-0"



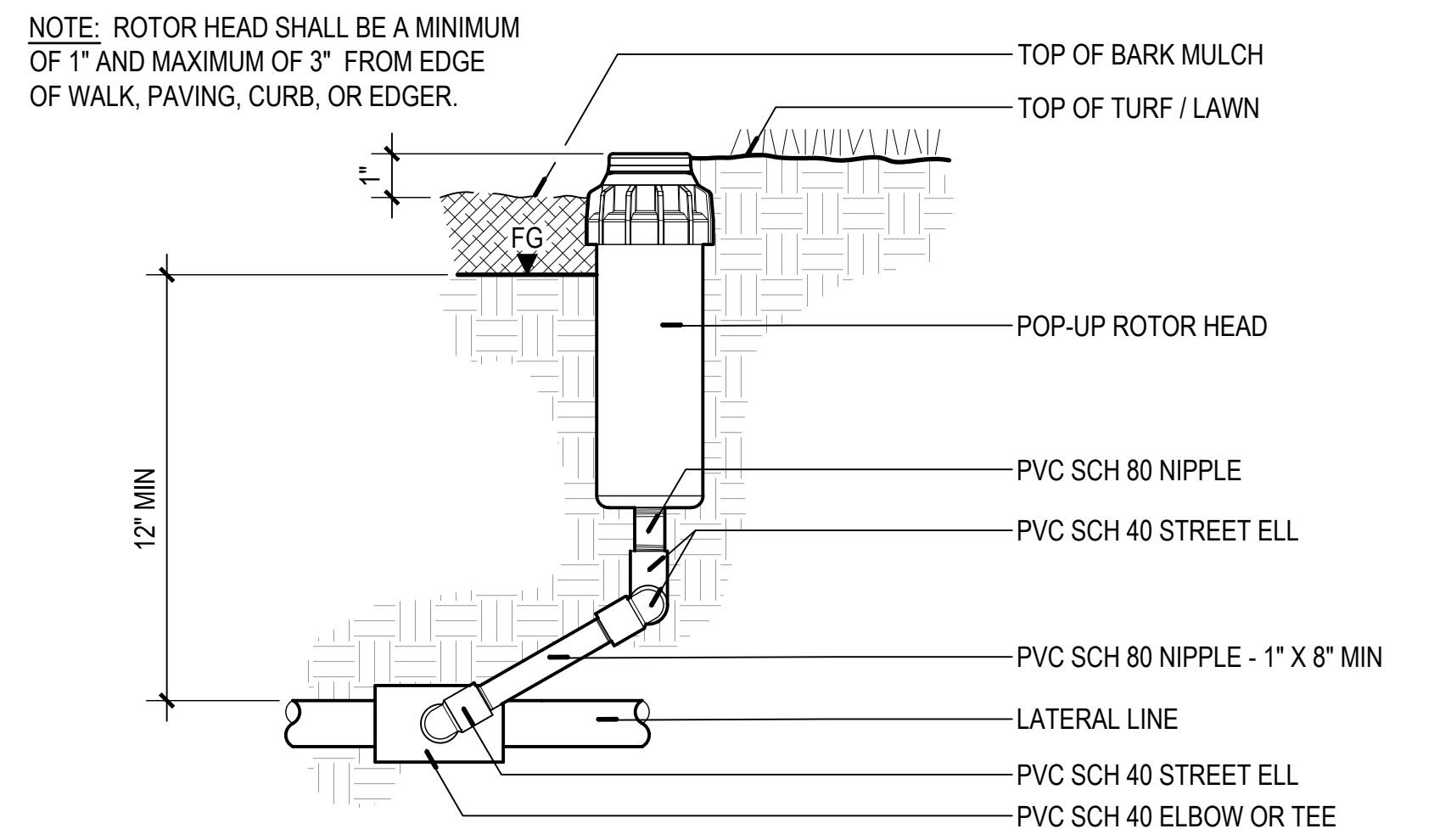
1 POINT OF CONNECTION DIAGRAM
PLAN NOT TO SCALE



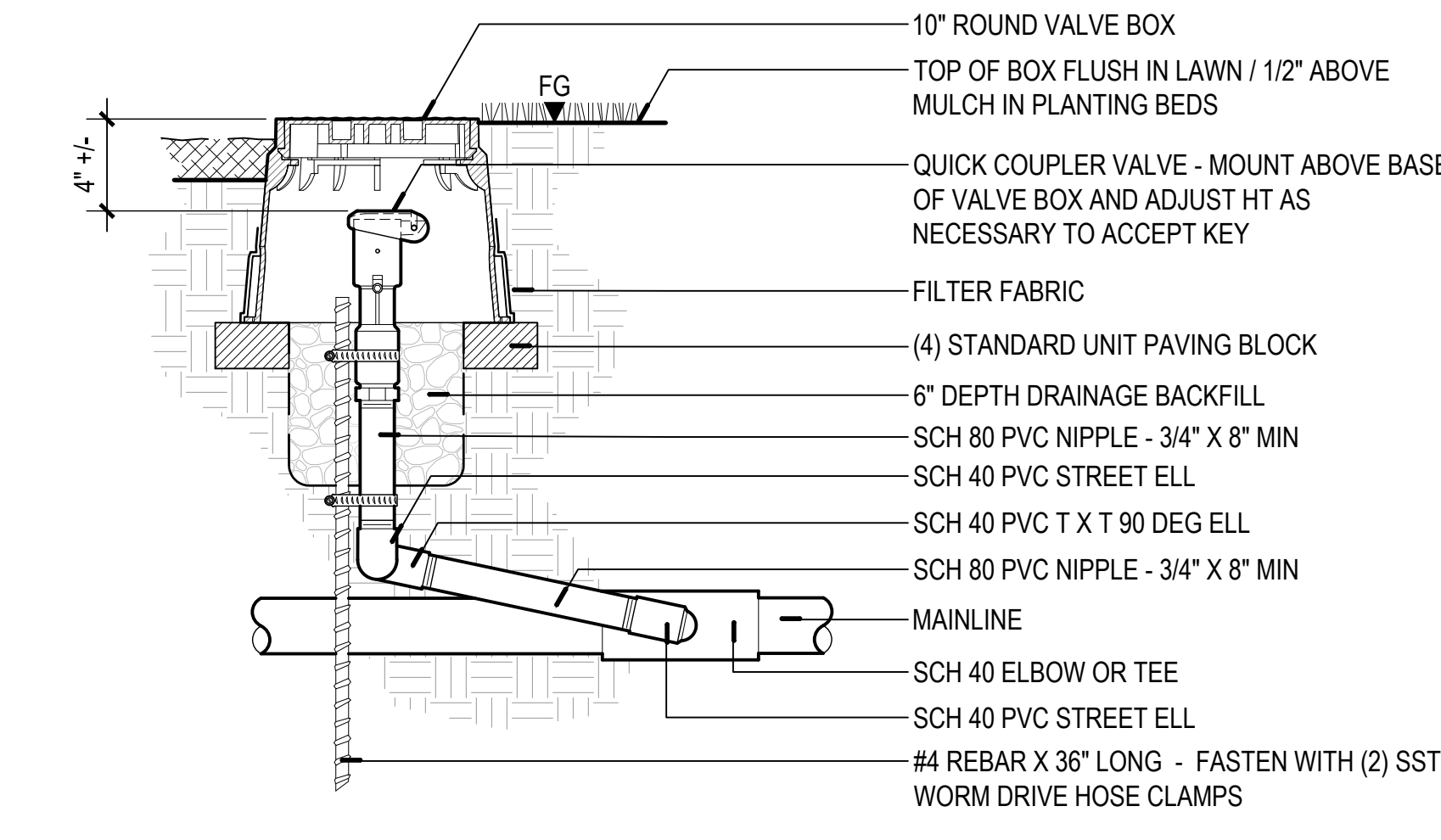
2 BACKFLOW PREVENTION DEVICE ASSEMBLY
SECTION NOT TO SCALE



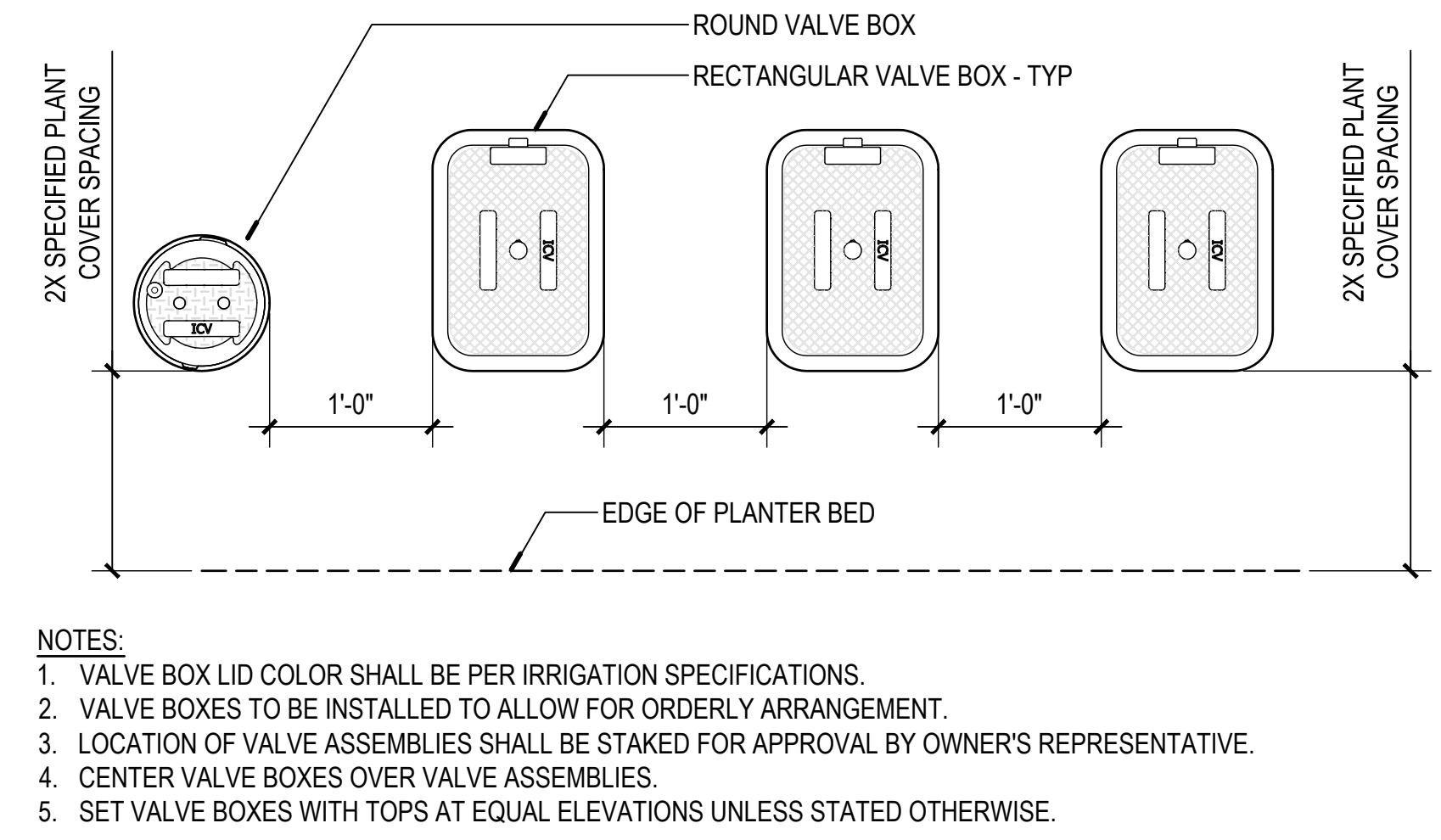
3 CONTROLLER - PEDESTAL MOUNT
SECTION NOT TO SCALE



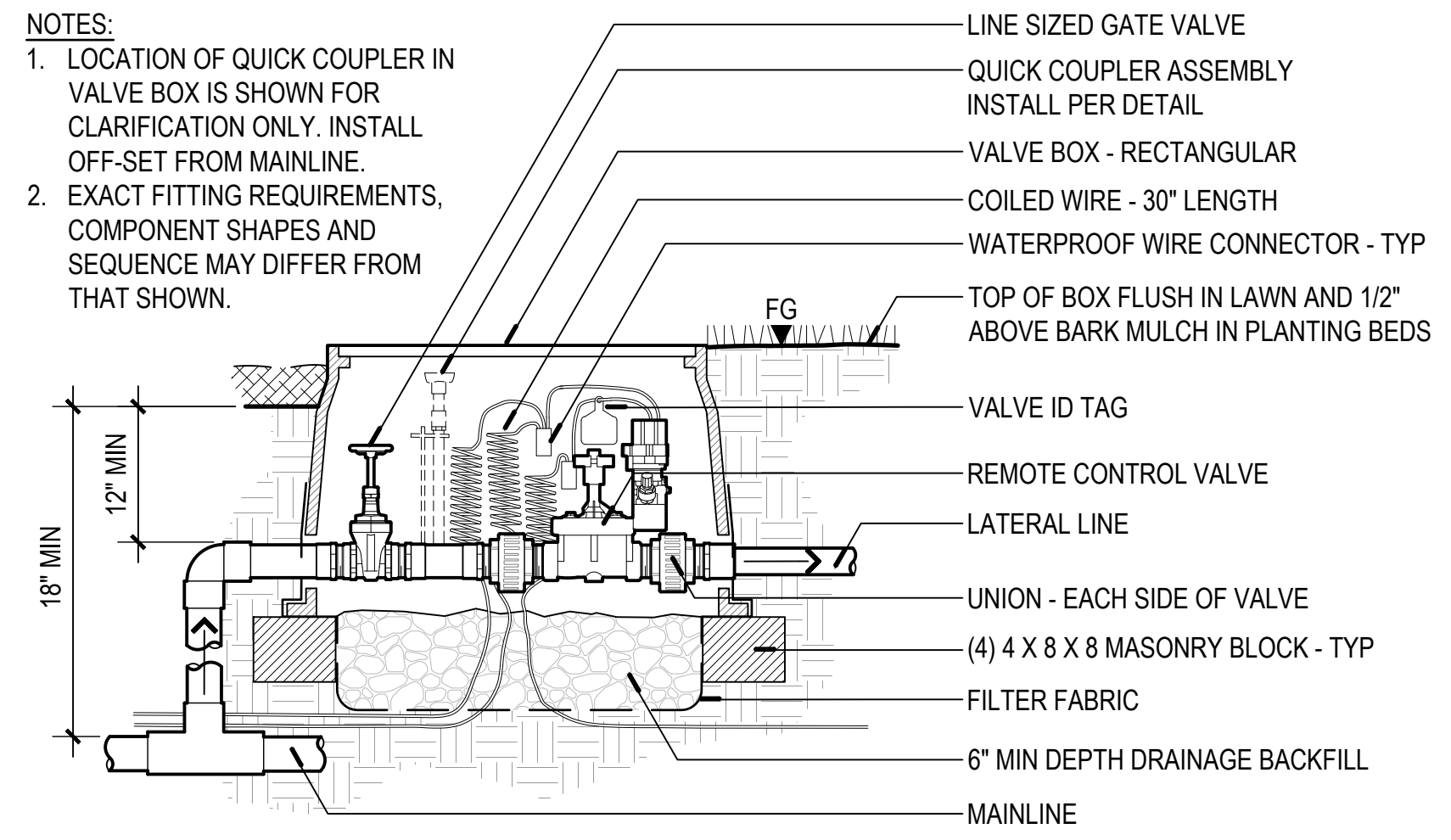
4 ROTOR HEAD - PVC SWING JOINT ASSEMBLY
SECTION NOT TO SCALE



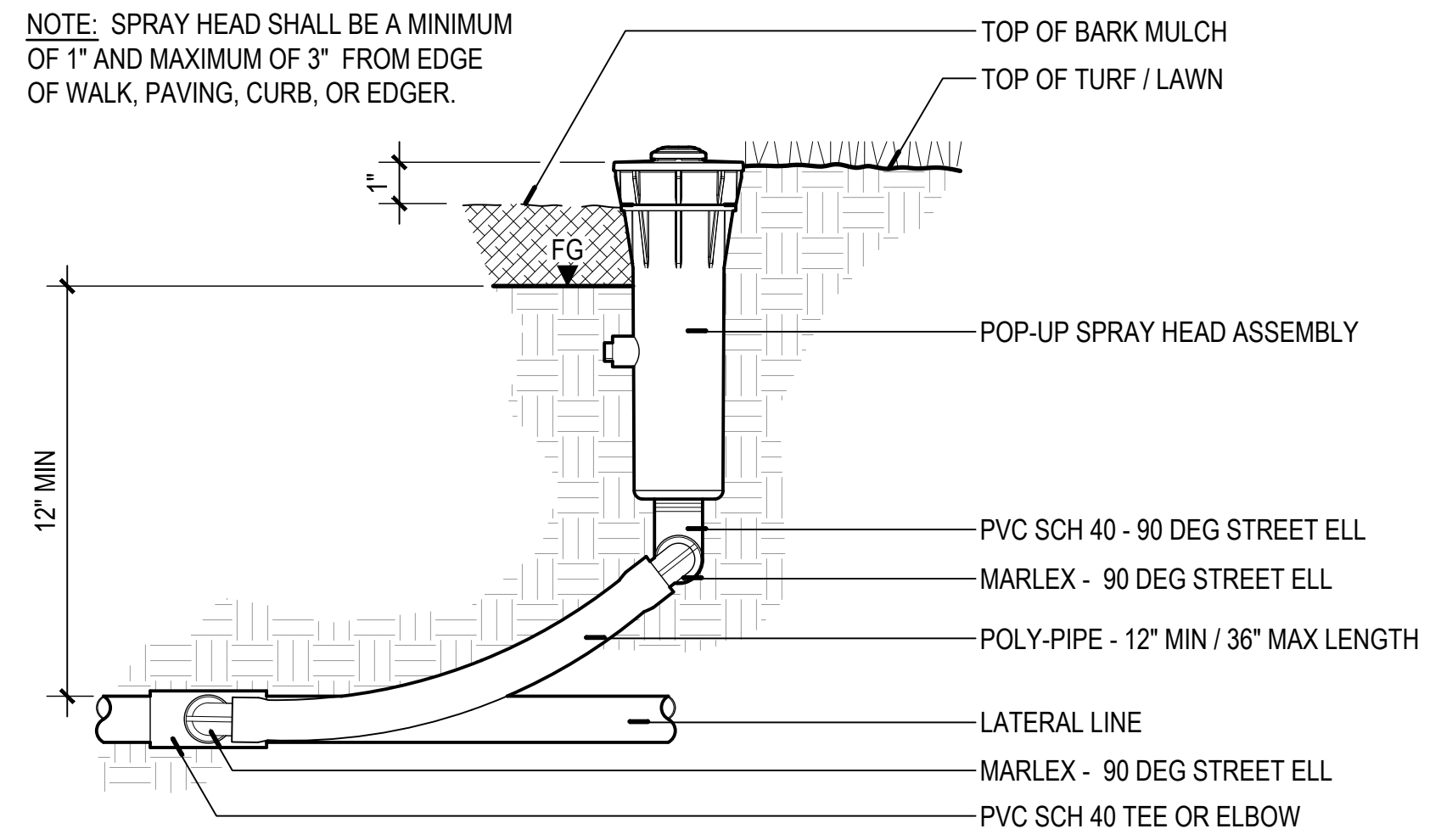
5 QUICK COUPLER VALVE ASSEMBLY
SECTION NOT TO SCALE



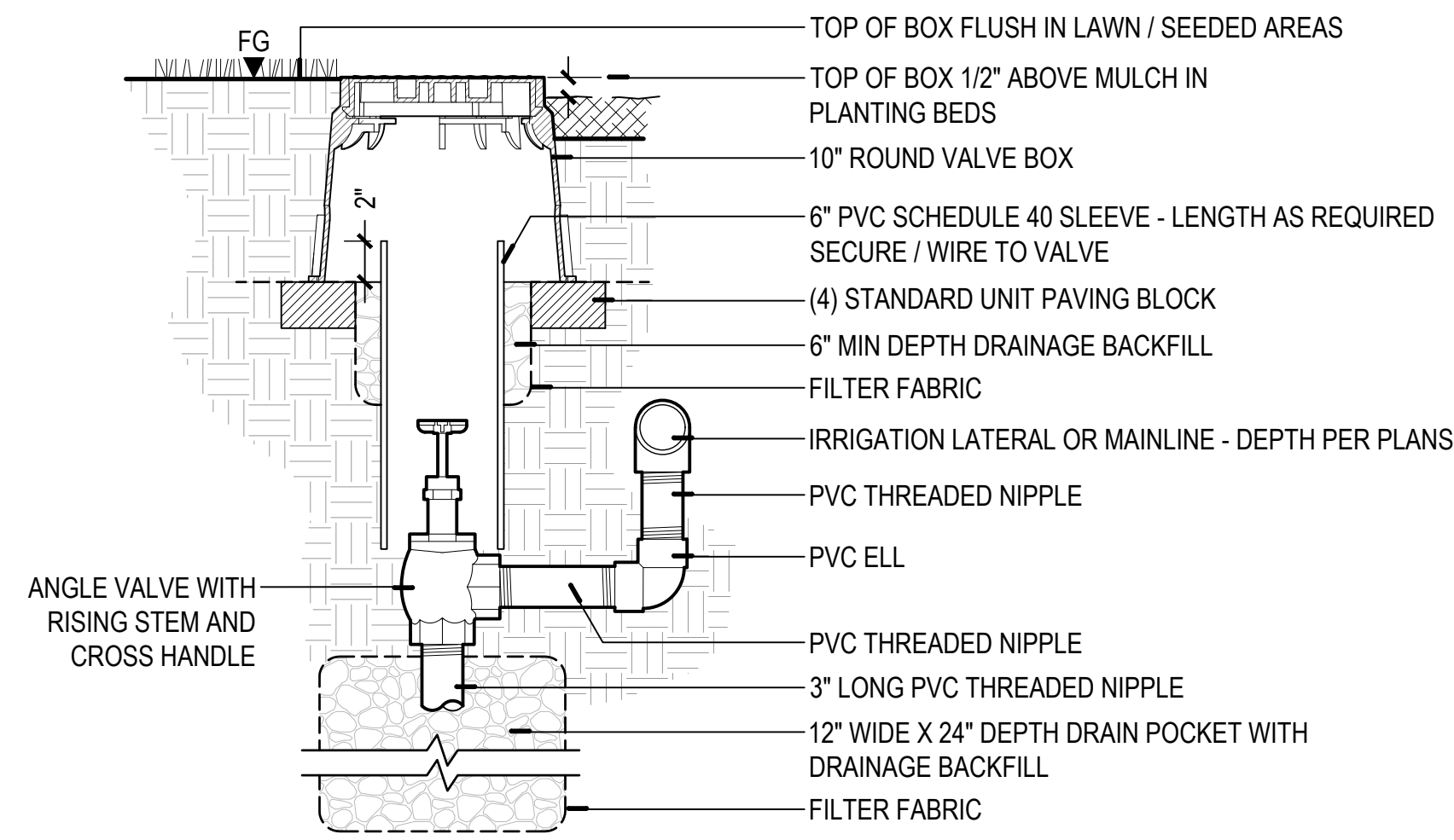
6 VALVE BOX LAYOUT
PLAN NOT TO SCALE



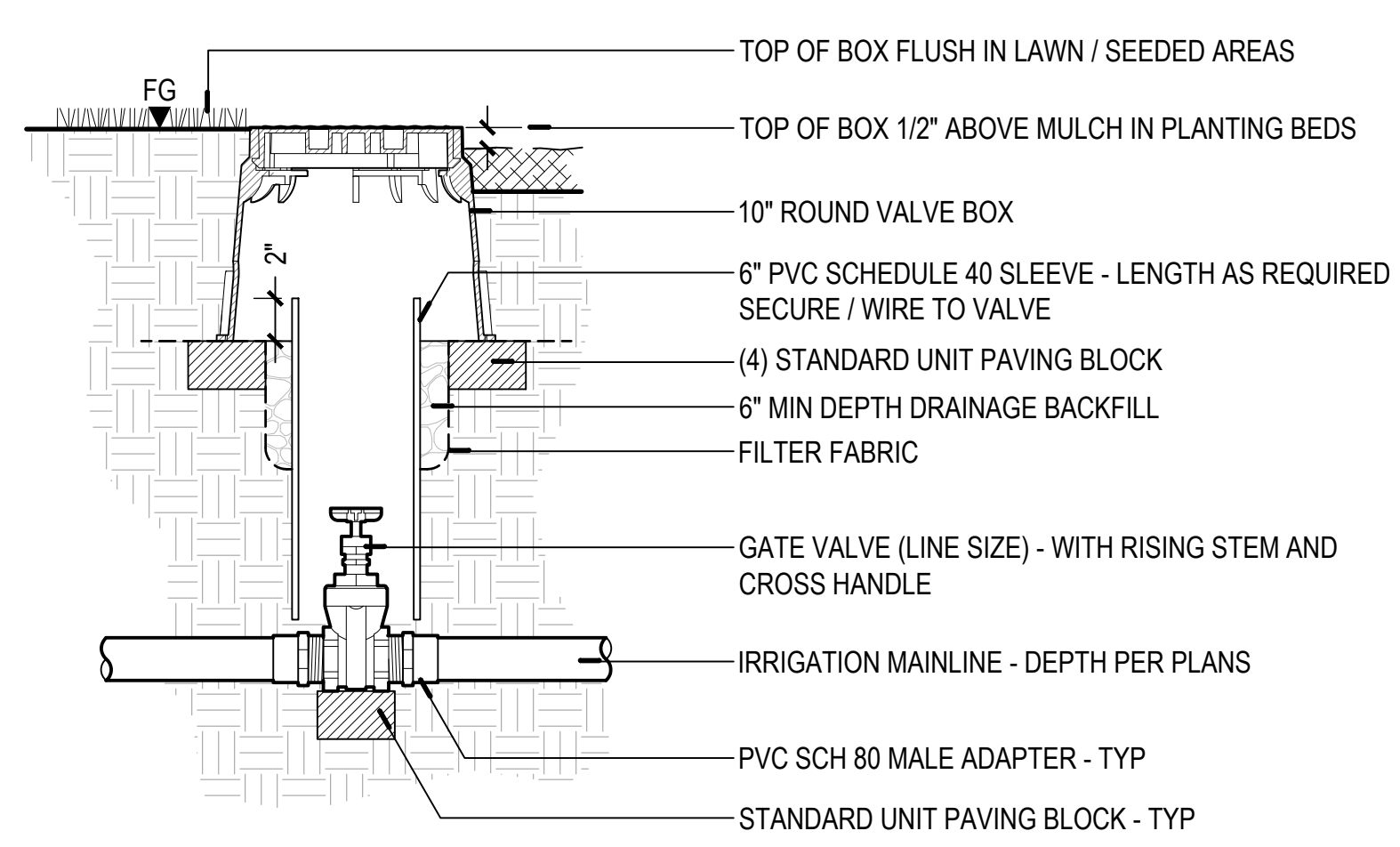
7 REMOTE CONTROL VALVE ASSEMBLY
SECTION NOT TO SCALE



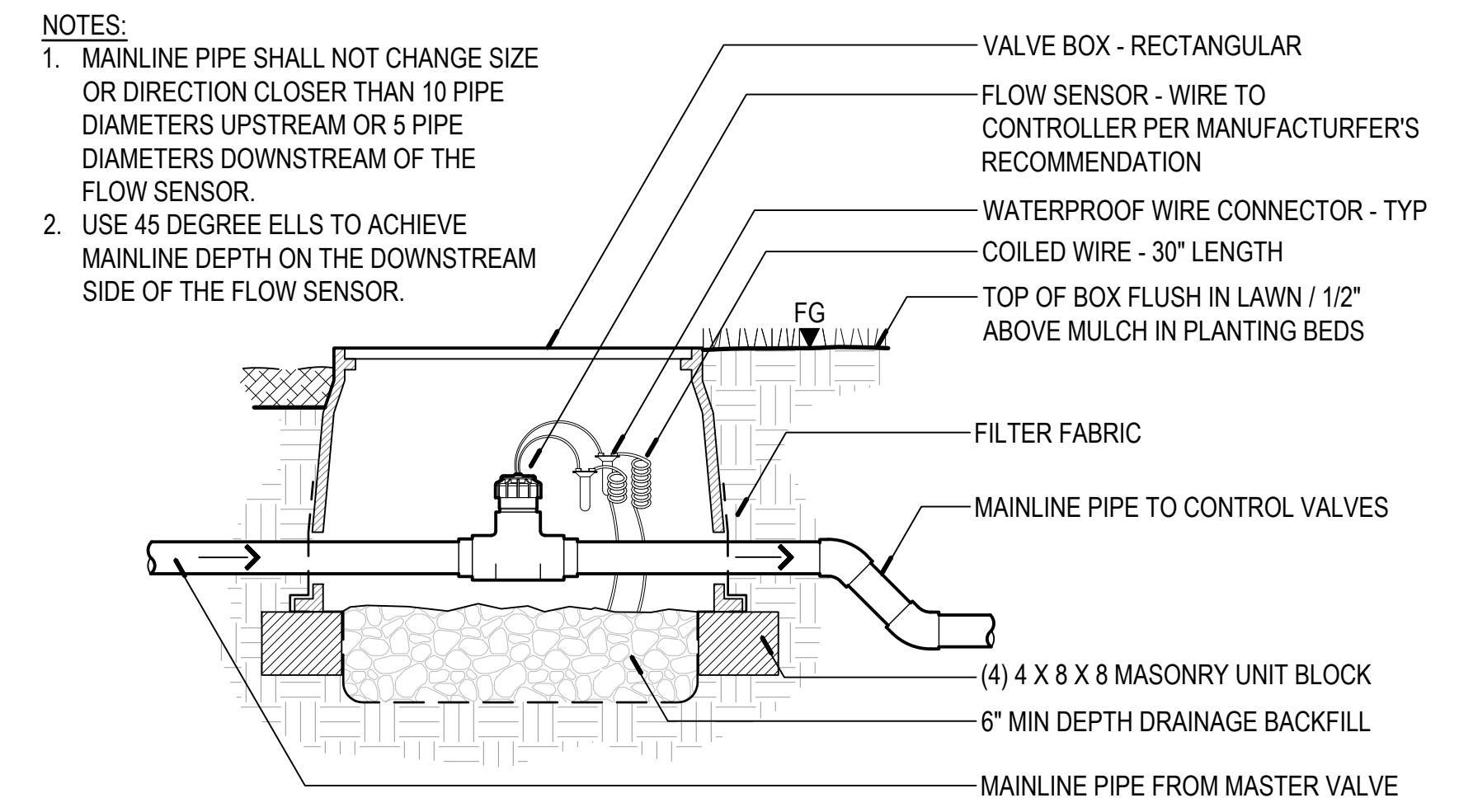
8 SPRAY HEAD - SWING JOINT ASSEMBLY
SECTION NOT TO SCALE



1 MANUAL DRAIN VALVE ASSEMBLY
SECTION NOT TO SCALE



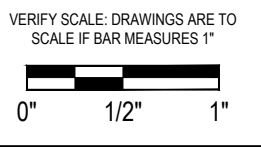
2 ISOLATION VALVE ASSEMBLY
SECTION NOT TO SCALE



3 FLOW SENSOR
SECTION NOT TO SCALE

NOTES:

1. MAINLINE PIPE SHALL NOT CHANGE SIZE OR DIRECTION CLOSER THAN 10 PIPE DIAMETERS UPSTREAM OR 5 PIPE DIAMETERS DOWNSTREAM OF THE FLOW SENSOR.
2. USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH ON THE DOWNSTREAM SIDE OF THE FLOW SENSOR.



Project:
Scott Park, Balfour Park,
& Bowman Brae Park
City of Milwaukie
10722 SE Main Street
Milwaukie, OR 97222
503-786-7555

Submittal: Design Development

IRRIGATION DETAILS

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC

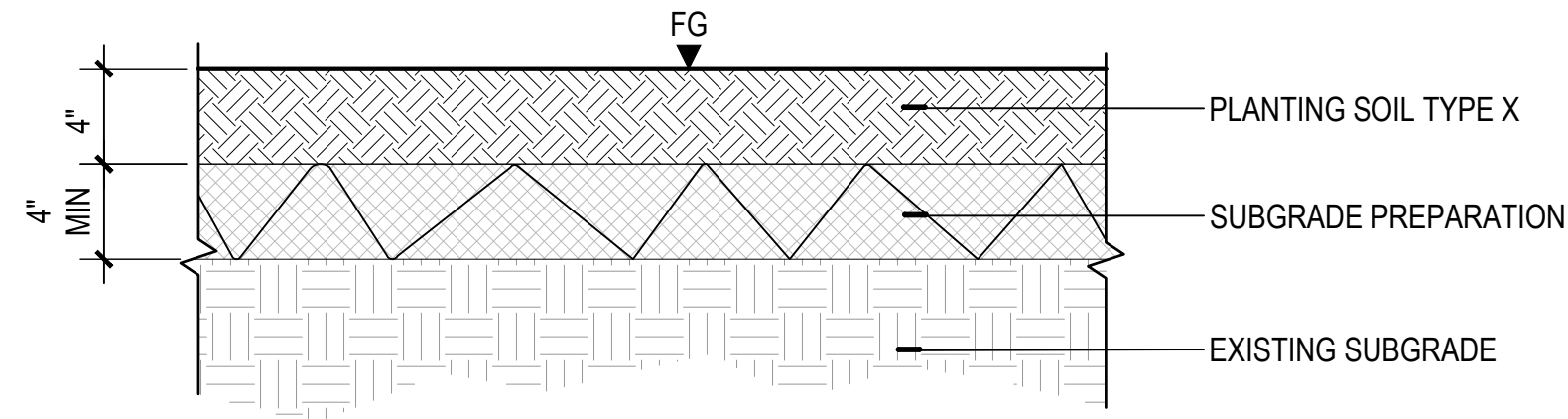
Checked By: BJ/GM

Job No. 210234.1

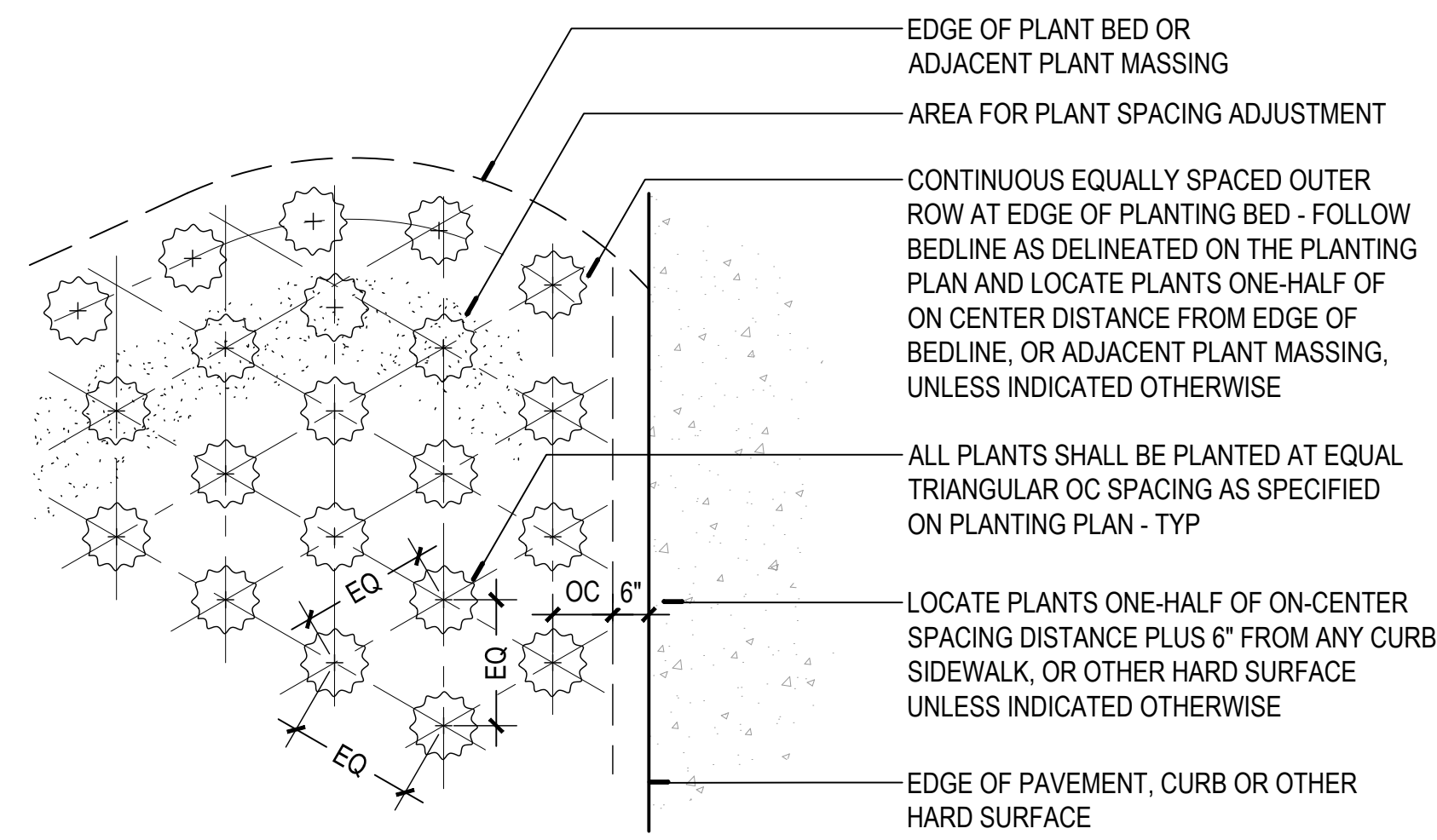
Approved: GW

L29.02
Sheet No. 51 of 52

- NOTES:**
- CONFIRM THE SUBGRADE IS AT THE PROPER ELEVATION PRIOR TO FINAL PLANTING SOIL INSTALLATION.
 - SUBGRADE TO SLOPE TO SUBSURFACE DRAINAGE LINES AND AWAY FROM STRUCTURES IF PRESENT.

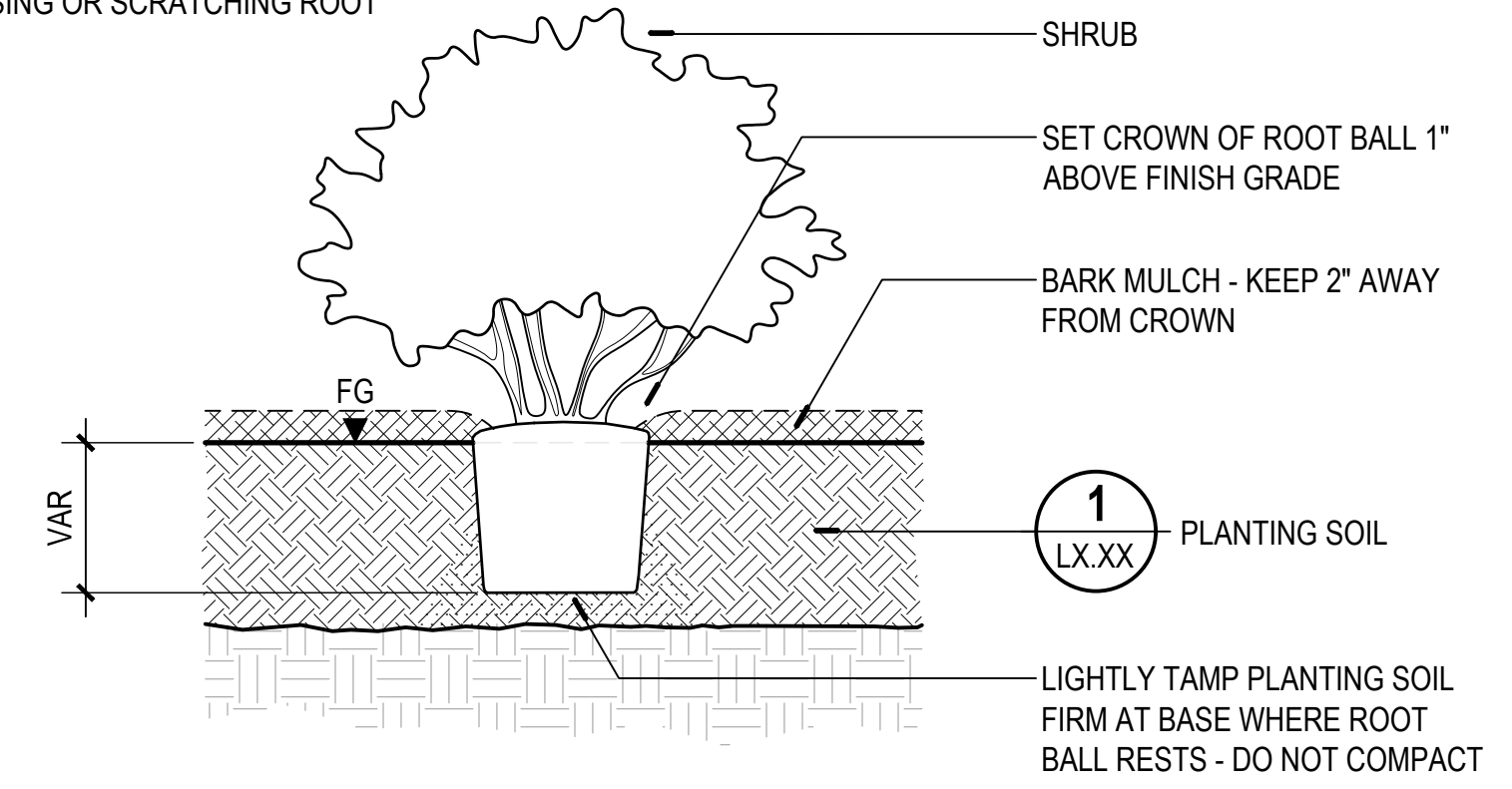


1 PLANTING SOIL TYPE X
SECTION NOT TO SCALE



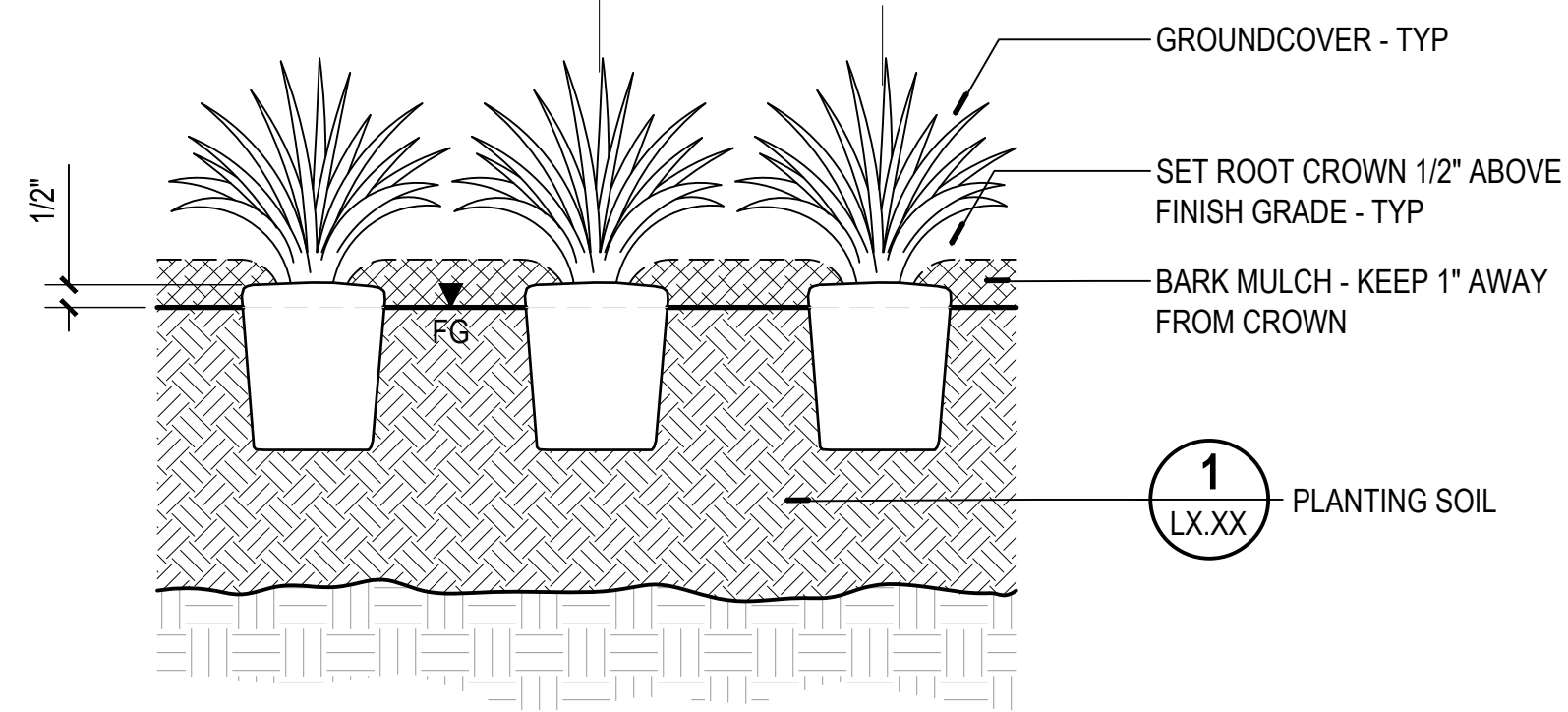
2 PLANT SPACING DIAGRAM
PLAN NOT TO SCALE

- NOTE:**
PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.



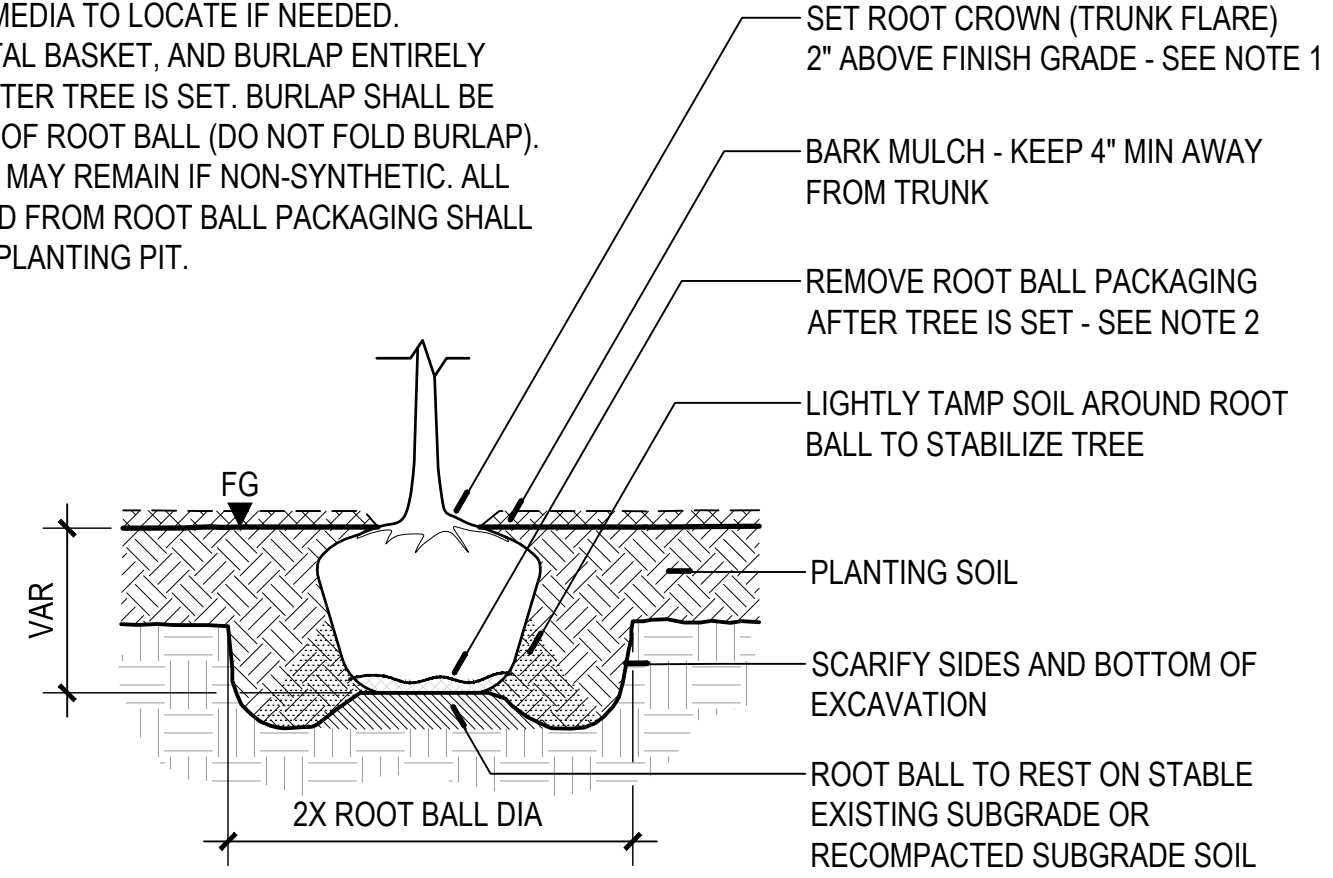
3 SHRUB CONTAINER PLANTING W/ PLANTING SOIL
SECTION NOT TO SCALE

- NOTE:**
PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.

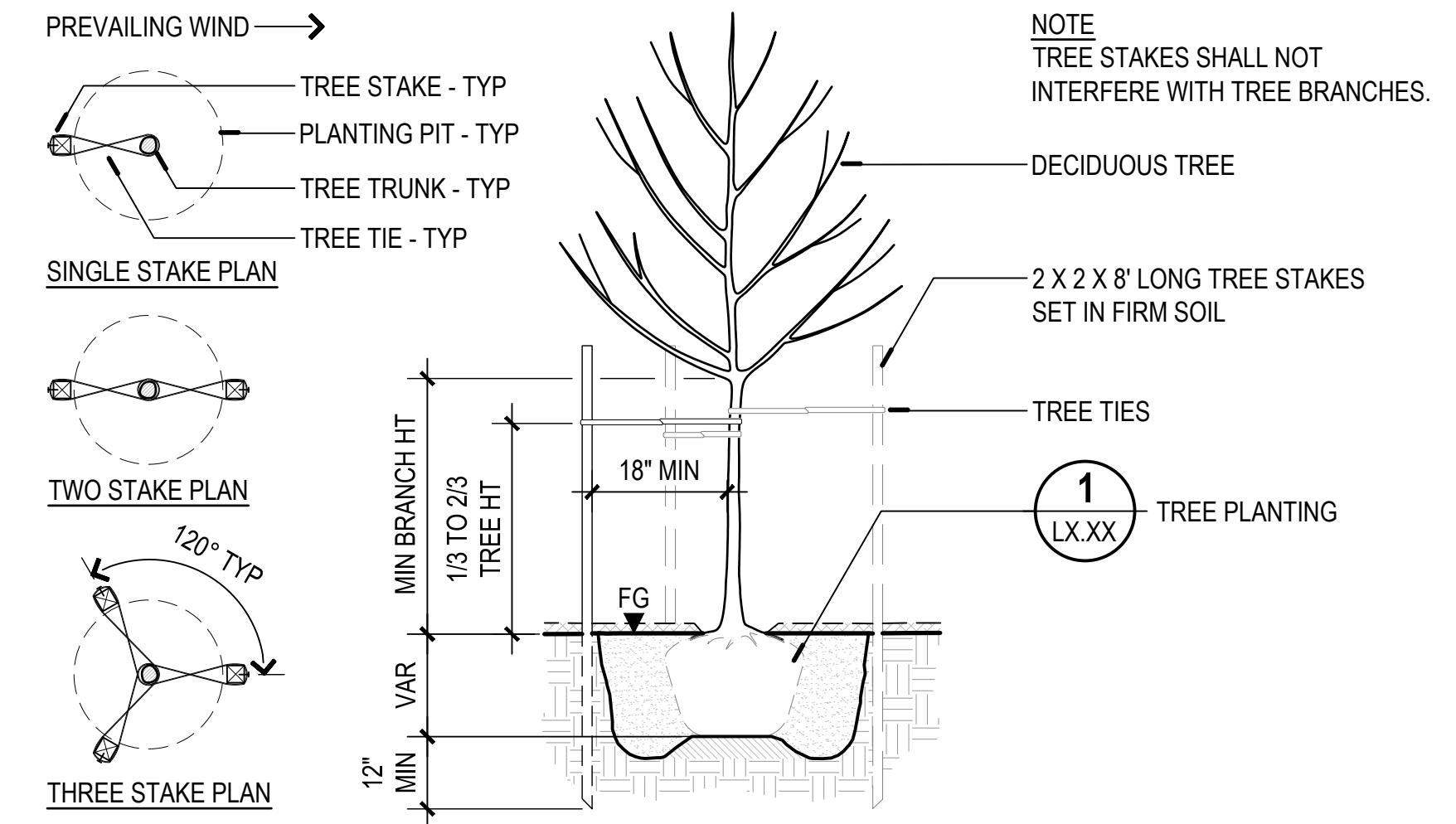


4 GROUNDCOVER PLANTING
SECTION NOT TO SCALE

- NOTES:**
- ROOT CROWN TO BE VISIBLE BEFORE TREE IS SET. REMOVE TOP OF ROOT BALL MEDIA TO LOCATE IF NEEDED.
 - REMOVE TWINE, METAL BASKET, AND BURLAP ENTIRELY FROM ROOT BALL AFTER TREE IS SET. BURLAP SHALL BE CUT DOWN TO BASE OF ROOT BALL (DO NOT FOLD BURLAP). BURLAP ON BOTTOM MAY REMAIN IF NON-SYNTHETIC. ALL MATERIALS REMOVED FROM ROOT BALL PACKAGING SHALL BE REMOVED FROM PLANTING PIT.



5 TREE PLANTING - B&B W/ PLANTING SOIL
SECTION NOT TO SCALE



6 DECIDUOUS TREE - STAKING
SECTION / PLAN NOT TO SCALE

Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit D – Stormwater Drainage
Report – Scott, Bowman-Brae and
Balfour Parks

(see separate PDF document)

Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit G – Property Deeds



25
15
11

After Recording Return To:

~~Metro~~ *City of Milwaukie*
~~Office of Metro Attorney~~ *10722 SE main st.*
~~600 NE Grand Avenue~~ *Milwaukie, OR 97222*
~~Portland, OR 97232-2736~~

Recorded By TICOR TITLE

SP

**Until a Change is Requested,
All Tax Statements Shall be Sent
to the Following Address:**

City of Milwaukie
Milwaukie City Hall
10722 SE Main Street
Milwaukie, OR 97222

**Clackamas County Official Records
Sherry Hall, County Clerk**

2008-004023



\$51.00

01180319200800040230050052

01/18/2008 10:28:58 AM

D-D Cnt=1 Stn=7 BARBARA
\$25.00 \$16.00 \$10.00

C 965991

STATUTORY WARRANTY DEED

John Patrick O'Malley ("Grantor"), conveys and warrants to the City of Milwaukie, an Oregon municipal corporation ("Grantee"), the real property located in the City of Milwaukie, County of Clackamas, State of Oregon ("Property") legally described on the attached Exhibit A, free of encumbrances except as specifically set forth herein: NONE.

The true and actual consideration for this conveyance is Three Hundred Twenty-five Thousand Dollars (\$325,000.00).

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES,

AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007.

Dated this 16 day of January, 2008.

John Patrick O'Malley
John Patrick O'Malley

Date: _____

STATE OF OREGON)
County of Clackamas) ss.

On this 16 day of January, 2008, before me, D I Herryly, the undersigned Notary Public, personally appeared the above-named John Patrick O'Malley, personally known to me (or proved on the basis of satisfactory evidence) to be the person whose name is subscribed to in this instrument, and acknowledged the foregoing instrument to be his voluntary act and deed.

D I Herryly
Notary Public for Oregon
My Commission Expires: _____



2

Exhibit A

Legal Description of the Property

Lots 17 and 18, Block 9, BONNIE VIEW ACRES PLAT NO. 4, in the City of Milwaukie, County of Clackamas, State of Oregon.


For reference only:

Tax account No.: 00009289, Tax Lot No.: 11E25CA 07000 (Lot 17)

Tax account No.: 00009270, Tax Lot No.: 11E25CA 06900 (Lot 18)

This conveyance is approved as to form and content and accepted by The City of Milwaukie.

THE CITY OF MILWAUKIE,
an Oregon municipal corporation

By: 
Michael Swanson
City Manager

Date: 01.16.08

~~STATE OF OREGON)
County of Clackamas) ss.~~

~~On this 16th day of January, 2008, before me, Kaylene S. Kirshen, the undersigned Notary Public for Oregon, personally appeared the above-named Michael Swanson, in his capacity as City Manager for The City of Milwaukie, an Oregon municipal corporation, personally known to me (or proved on the basis of satisfactory evidence) to be the person whose name is subscribed to this instrument and acknowledged to me that he executed the same freely and voluntarily.~~

~~
Notary Public for Oregon
My Commission Expires: June 7, 2010~~

A

This conveyance is approved as to form and content and accepted by The City of Milwaukie.

THE CITY OF MILWAUKIE,
an Oregon municipal corporation

By: _____
Michael Swanson
City Manager

Date: _____

STATE OF OREGON)
County of Clackamas) ss.

On this 16th day of January, 2008, before me, Kaylene L. Kirchem the undersigned Notary Public for Oregon, personally appeared the above-named Michael Swanson in his capacity as City Manager for The City of Milwaukie, an Oregon municipal corporation, personally known to me (or proved on the basis of satisfactory evidence) to be the person whose name is subscribed to this instrument and acknowledged to me that he executed the same freely and voluntarily.



Kaylene L. Kirchem
Notary Public for Oregon
My Commission Expires: June 7, 2010

5

Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit H – Amenity Image
Examples

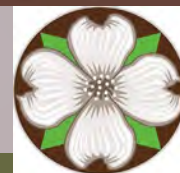




MAY 2023 BALFOUR PARK

OPTION C

HD 356 23C Color Option : A

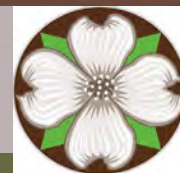


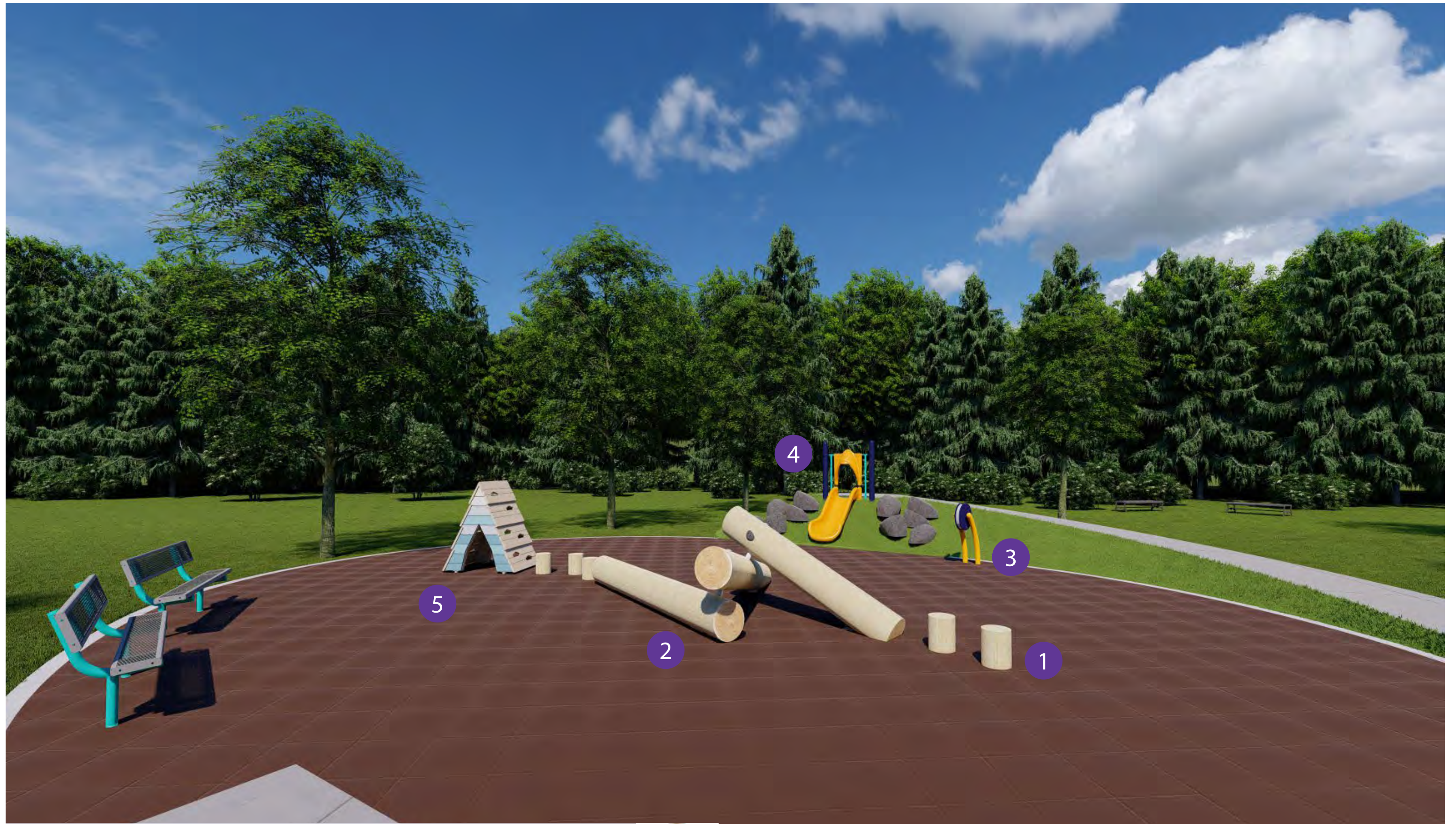


MAY 2023 BALFOUR PARK

OPTION C

HD 356 23C Color Option : A

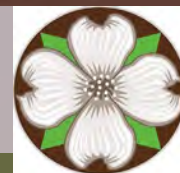


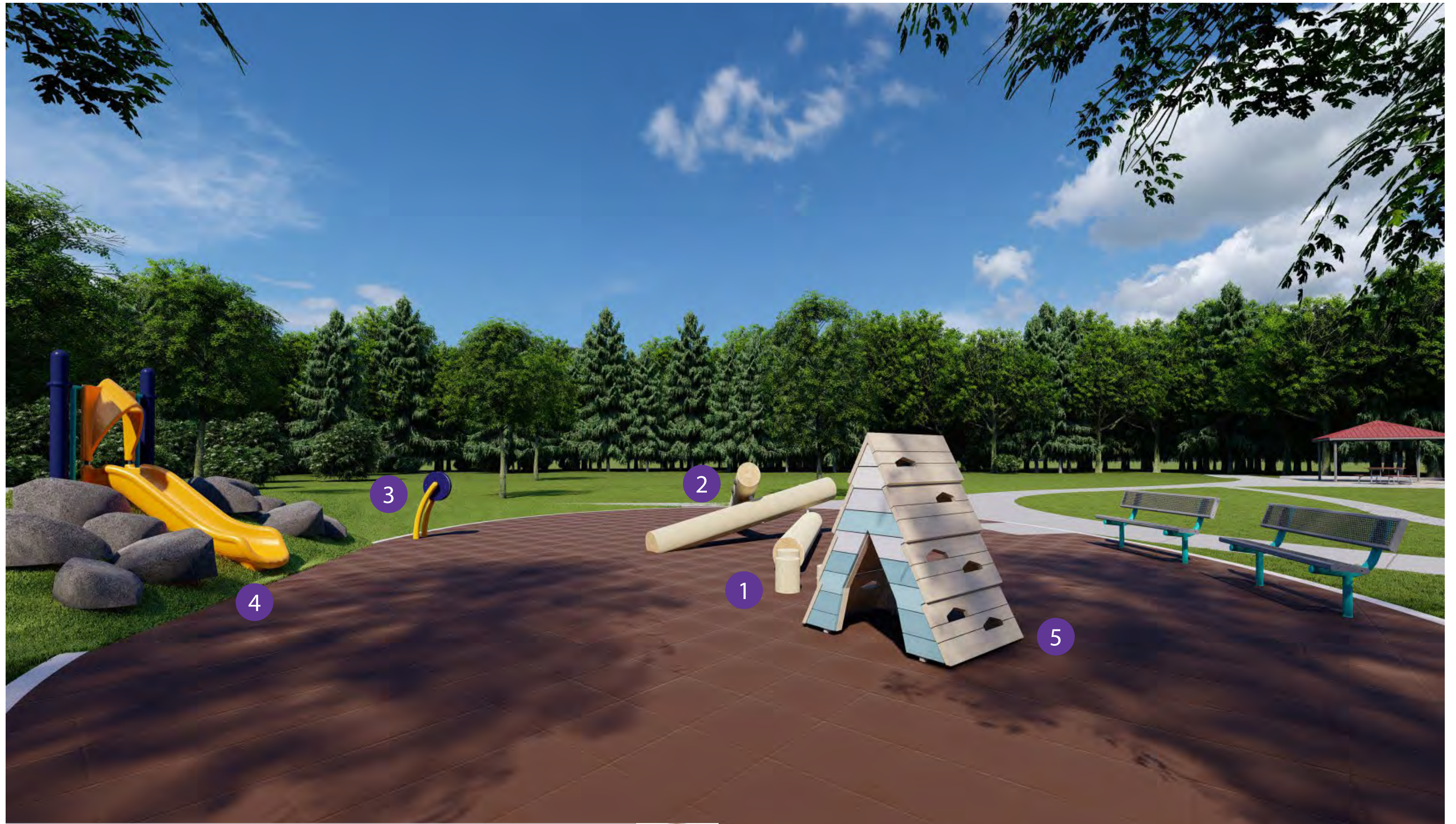


MAY 2023 BALFOUR PARK

OPTION D

HD 356 23D Color Option : A

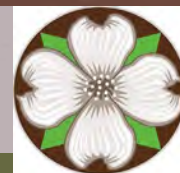




MAY 2023 BALFOUR PARK

OPTION D

HD 356 23D Color Option : A



Milwaukie Parks Land Use Planning
and Permitting

Balfour Park Application

Exhibit K – Tree Inventory

Tree No.	Common Name	Scientific Name	DBH ¹	Single DBH ²	C-Rad ³	Condition ⁴	Structure
1312	red oak	<i>Quercus rubra</i>	34	34	36	good	fair
1315	sweet cherry	<i>Prunus avium</i>	26	26	12	poor	poor
1317	sweet cherry	<i>Prunus avium</i>	10,6	11	21	good	fair
1319	sweet cherry	<i>Prunus avium</i>	13	13	20	good	fair
1321	sweet cherry	<i>Prunus avium</i>	10	10	17	fair	fair
1323	sweet cherry	<i>Prunus avium</i>	14	14	19	good	fair
1325	sweet cherry	<i>Prunus avium</i>	23,23	32	28	fair	fair
1327	n/a	n/a	n/a	n/a	n/a	n/a	n/a
1330	wild plum	<i>Prunus americana</i>	10	10	9	poor	poor
1332	wild plum	<i>Prunus americana</i>	9	9	9	poor	poor
1334	wild plum	<i>Prunus americana</i>	8	8	7	poor	poor
1336	English holly	<i>Ilex aquifolium</i>	11	11	10	fair	fair
1343	horsechestnut	<i>Aesculus hippocastanum</i>	28	28	27	good	fair
1345	Colorado blue spruce	<i>Picea pungens</i>	24	24	17	good	fair
1347	Douglas-fir	<i>Pseudotsuga menziesii</i>	20	20	20	good	fair
1349	orchard apple	<i>Malus domestica</i>	10,10,9,7,6	19	24	good	fair
1351	sweet cherry	<i>Prunus avium</i>	13	13	20	good	fair
1353	red oak	<i>Quercus rubra</i>	17	17	22	good	fair
1355	Douglas-fir	<i>Pseudotsuga menziesii</i>	45	45	30	good	good
1356	deodar cedar	<i>Cedrus deodara</i>	35	35	33	good	fair
1358	Douglas-fir	<i>Pseudotsuga menziesii</i>	49	49	24	good	fair
1332.1	wild plum	<i>Prunus americana</i>	6	6	7	poor	poor

¹DBH is the trunk diameter in inches measured per International Society of Arboriculture (ISA) standards.

²Single DBH is the trunk diameter of a multi-stem tree converted to a single number according to the following formula: square root of sum of squares of individual trunk diameters.

³C-Rad is the approximate crown radius in feet.

⁴Condition and Structure ratings range from very poor, poor, fair, to good.

Comments	Treatment
multiple leaders at 18' with included bark	tbd
significant dieback, codominant at 2' with included bark, sloughing bark at lower trunk	tbd
codominant at ground level with included bark, one sided	tbd
one sided	tbd
moderately suppressed, marginal trunk taper	tbd
one sided, decay pocket at 3'	tbd
moderate branch dieback, codominant at ground level with included bark, top failures	tbd
same tree as 1325, connected at ground level	n/a
extensive top dieback, smothered by ivy	tbd
significant dieback and ivy	tbd
extensive dieback	tbd
top dieback, codominant at 5' with included bark	tbd
multiple large upright leaders at 15' with deep included bark, wound seams at lower trunk	tbd
branch dieback, moderately one sided, wound at lower trunk	tbd
moderately one sided, wound at lower trunk	tbd
multiple leaders at ground level, extreme lean, one sided, tree number not labeled on survey	tbd
codominant at 20', wound seam at root crown	tbd
moderately one sided	tbd
	tbd
one sided	tbd
codominant at 30'	tbd
significant dieback and ivy, added to site map in appropriate location by arborist	tbd

ot of the sum of the squared diameter of each trunk at 4½ feet above mean ground level.

Milwaukie Parks Land Use Planning
and Permitting

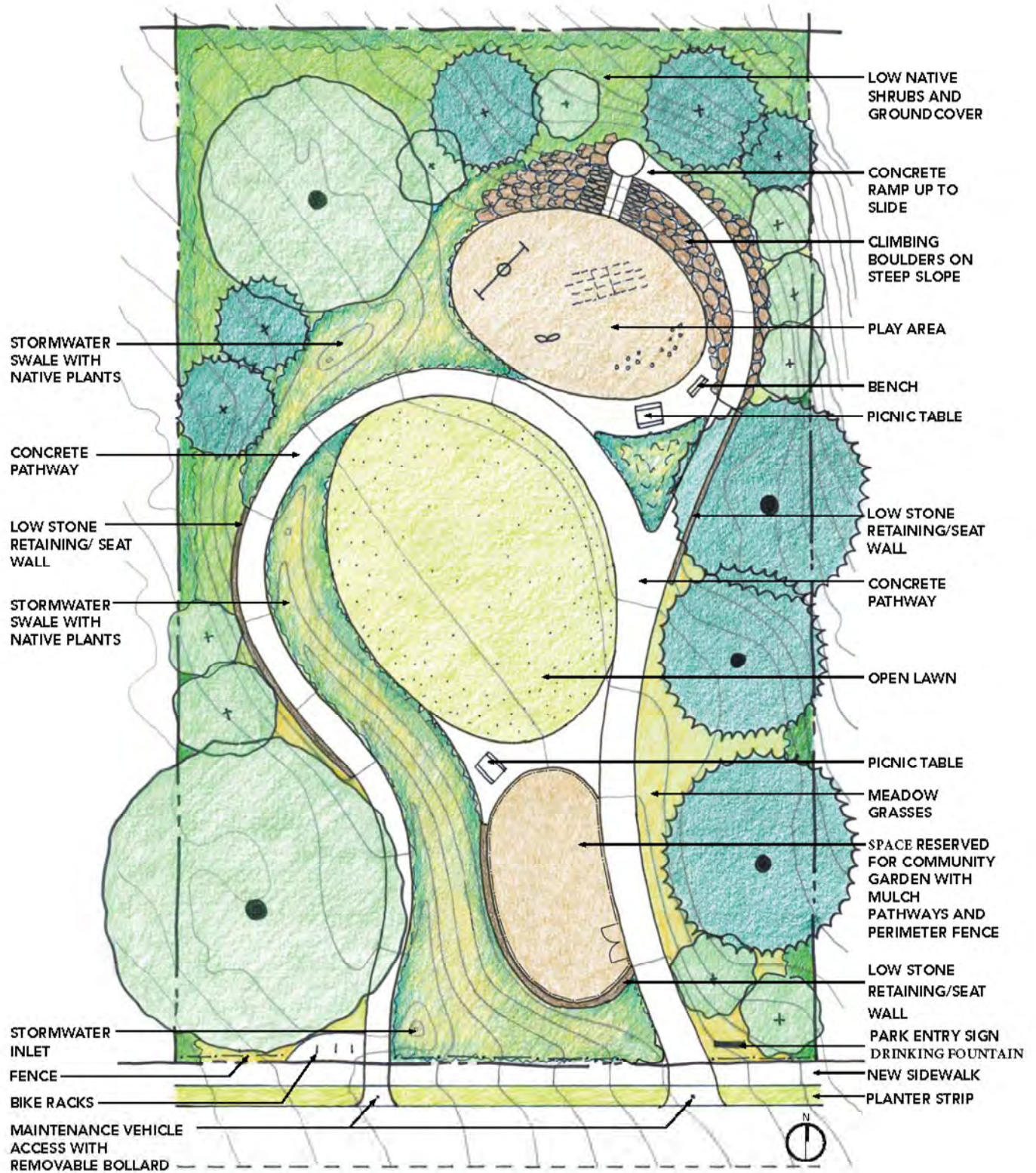
Balfour Park Application

Exhibit N – 2015 Master Plan

BALFOUR PARK MASTER PLAN

REFINED CONCEPT

APRIL 20, 2015



CITY OF MILWAUKIE**Application for the Adoption of the Balfour Park Master Plan as an Ancillary Document to the City of Milwaukie Comprehensive Plan**

Date: May 12, 2015

Applicant: North Clackamas Parks and Recreation District
150 Beaver Creek Road
Oregon City, Oregon 97045

Contact: Katie Dunham
503-742-4358
kdunham@clackamas.us

Property Owner: City of Milwaukie

Property Address: Balfour Park
3103 SE Balfour Street
Milwaukie, Oregon 97222

MAP & Tax lot #s: Township 1 South, Range 1 East, Section 25CA, Tax Lot 6900 & 7000; Latitude 45° 27' 6.7764" N, Longitude 122° 37' 52.3091" W

Comprehensive Plan Designation: Low Density (LD)

Zoning Designation: R-7

Property Size: 0.80 acres

Request: Adoption of the Balfour Park Master Plan as an ancillary document to the City of Milwaukie Comprehensive Plan

INTRODUCTION

Action Requested

Adoption of the Balfour Park Master Plan as an ancillary document to the City of Milwaukie Comprehensive Plan.

Background and Site Description

Balfour Park is a .80 acre undeveloped neighborhood park site located in the Ardenwald/Johnson Creek neighborhood at 3103 S.E. Balfour St. in Milwaukie. The City of Milwaukie purchased the land in 2008 with funds from Metro's voter-approved 2006 natural areas bond measure. The property is owned by the City of Milwaukie and managed by the North Clackamas Parks and Recreation District (NCPRD) in accordance with an intergovernmental agreement. The site's existing steep topography and mature canopy of trees provide a unique opportunity for recreation on a site very special to the neighborhood.

Public Involvement and Planning Process

The site is an opportunity to create a neighborhood park for the residents of the area. Through a public process, NCPRD built consensus among interested parties around a common vision for the park. NCPRD and the City hosted two meetings during the fall of 2014 to discuss the park site and develop a park master plan. The public meetings were devoted exclusively to this subject and were held on September 24 and November 3, 2014. At the first public meeting site analysis and existing conditions materials were presented along with three initial master plan concepts. Meeting attendees were asked to actively participate in the group discussion and a breakout session with consultants and staff. After the first public meeting and throughout the project NCPRD and the City placed information on their websites for review and comment. Comments and suggestions were compiled, discussed, and incorporated into the design process. A final draft master plan was presented at the second public meeting. Interested citizens had the opportunity to provide additional input and the general consensus was positive. The project was also discussed numerous times with the Milwaukie Park and Recreation Board and the North Clackamas Park District Advisory Board. The public process is further described in the response to Chapter 4, Recreational Needs Element, Objective 3, within this document.

Proposal

The key goal of the master planning process for the Balfour Park was to develop a plan that protects the existing character of the site while accommodating the neighborhood needs for an interesting and engaging place for flexible active and passive recreation, provides for ease of maintenance and longevity, while providing a safe and enjoyable experience for the community. Based on field observations, site analysis, background data collection, and input from NCPRD, the City of Milwaukie, community groups and public at-large, the master plan was developed and refined to achieve this goal. There was clear support for keeping the existing character of the park intact. Elements of the plan are listed below. Additional details about proposed improvements are included in the attached master plan document submitted as part of this application.

Balfour Park Master Plan Elements:

- A nature play area
- A seating area with bench and picnic table
- A small ornamental planning area with educational signage or edible native plants
- A flexible open lawn area
- A community garden area

- A looped concrete pathway
- A small picnic area
- A stormwater swale with native planting
- Low retaining wall/seat walls
- New evergreen and deciduous trees
- Low maintenance, native landscape plants
- Half-street improvements
- Bike parking
- Drinking fountain
- Perimeter fencing

Plan Adoption Process

Since the City does not have a “Parks” or “Open Space” zone, except within downtown, the City employs the following two-step process to designate and develop publicly-owned parks.

Step 1—Master Plan Adoption. Master plan adoption, a legislative action requiring approval from City Council, is the process by which the City formally identifies a long range plan for a park. A master plan provides the conceptual framework for future development and investment and is the first step toward implementing the community’s vision for specific park improvements. Park development, which occurs in the second step, generally does not occur until the City has adopted a master plan.

Step 2—Master Plan Implementation. Master plan implementation generally occurs after master plan adoption and requires minor quasi-judicial review by the Planning Commission. Development plans submitted during this step must conform to the adopted master plan.

The requested action only relates to Step 1 of this two-step process, namely the adoption of the *Balfour Park Master Plan*. This master plan adoption process is to affirm the public’s future use of the site as a park and to guide future park funding, development, and investment.

In order to adopt the proposed master plan, the plan must conform to the City’s existing adopted policies and meet all relevant approval criteria contained in the Milwaukie Comprehensive Plan (MCP) and the Milwaukie Municipal Code (MMC).

The applicable MCP and MMC criteria are contained in the following sections and addressed below:

- MMC 19.902.3, including MCP Chapter 2 and Chapter 4
- MMC 19.902.4

Additionally, NCPRD must address the relevant aspects of the Metro Urban Growth Management Functional Plan and the relevant Statewide Planning Goals

CITY OF MILWAUKIE COMPREHENSIVE PLAN GOALS AND POLICIES

NCPRD is seeking adoption of the Balfour Park Master Plan as an ancillary document to the City of Milwaukie Comprehensive Plan (MCP). Per city staff, the applicable code criteria NCPRD must address for the text amendment and map amendment are MMC Chapter 19.902.3.B, and MMC 19.902.4. These are addressed below.

MMC 19.902.3 COMPREHENSIVE PLAN TEXT AMENDMENTS**Section 19.902.3 Comprehensive Plan Text Amendments**

Changes to the text of the Milwaukie Comprehensive Plan shall be called Comprehensive Plan text amendments.

A. Review Process

Changes to the text of the Milwaukie Comprehensive Plan described in Subsection 19.902.2.A shall be evaluated through a Type V review per Section 19.1008

B. Changes to the Milwaukie Comprehensive Plan may be approved if the following criteria are met:

1. The proposed amendment is consistent with the goals and policies of the Comprehensive Plan, as proposed to be amended.

The applicable components relevant to address are:

Chapter 2, PLAN REVIEW AND AMENDMENT PROCESS

Milwaukie Comprehensive plan (MCP) Chapter 2 – Plan Review and Amendment Process. GOAL STATEMENT: Establish a Plan review and amendment process as a basis for land use decisions, provide for participation by citizens and affected governmental units, and ensure a factual base for decisions and actions. Objective 1, Policies 3-7 are applicable:

- ***Objective 1 Policy 3 – Individuals, the Planning Commission, or the City Council may request plan amendments at any time separate from the normal Comprehensive Plan Amendment application process...***

Response: The City of Milwaukie and North Clackamas Parks and Recreation District are requesting this plan amendment under an intergovernmental agreement. The City and District have requested that the Planning Commission and City Council review this application and hold a public meeting to discuss the application as part of the review process.

- ***Objective 1 Policy 4 – Submit copies of proposed Plan change to affected government units at the draft amendment stage and following final adoption of changes.***

Response: This step will be completed by the City as part of the review process.

- ***Objective 1 Policy 5 – All proposed Comprehensive Plan text and map amendments will be considered at advertised public hearings before the Planning Commission and City Council***

Response: This step will be completed by the City as part of the review process.

- ***Objective 1 Policy 6 – All proposed Comprehensive Plan text and map amendments will be processed per the procedures in the Zoning Ordinance.***

Response: This step will be completed by the City as part of the review process

- **Objective 1.7 – All Comprehensive Plan text and map amendments will be evaluated based on the approval criteria in the Zoning Ordinance for approval of Comprehensive Plan amendments:**

Response: This step will be completed by the City as part of the review process. The current designation on Comprehensive Plan Map 7 (Land Use) for Balfour Park is Low Density (LD) and needs to be changed to Public (P) to further designate this property as a future park and prepare the property for future Community Service Use (CSU) approvals that will be needed for future development. NCPRD and the City are applying for both the comprehensive plan text and map approvals at this time. The Balfour Park property is suitable for a neighborhood park and to be designated as Public. The property is in an area planned for a neighborhood park within the NCPRD Master Plan and is developable as a neighborhood park.

Chapter 4, RECREATIONAL NEEDS ELEMENT, Objective 1, 3, and 5:

Milwaukie Comprehensive plan (MCP) Chapter 4 – Recreational Needs Element.

GOAL STATEMENT: To provide for the recreational needs of present and future City residents by maximizing use of existing public facilities, encouraging the development of private recreational facilities, and preserving the opportunity for future public recreational use of vacant private lands.

- **Objective 1 PARK CLASSIFICATIONS**

Response: Balfour Park is identified in the proposed Master Plan as a neighborhood park – A “Neighborhood Park typically serves one neighborhood (within ½ mile radius), is often located by a school, and provides short duration activities (field sports, play, leisure time, etc.). Minimum size is (typically) one acre. The standard is 1 acre of neighborhood park per 1,000 residents”. The plan is specifically consistent with this objective because Balfour Park is an existing public property, currently owned by the City of Milwaukie, is .80 acres, and the Master Plan provides for park elements that typically serve one neighborhood. Ardenwald and Water Tower Park are the two other neighborhood parks located within ½-mile of the proposed Balfour Park in the Ardenwald-Johnson Creek neighborhood. The neighbors, District, and City purposefully proposed park elements that are different from the two other developed parks within the neighborhood while planning for Balfour Park. The proposed elements of the park include a Nature Play area, small seating and picnic areas, landscaping, a flexible open lawn area for informal play and gatherings, a community garden with a perimeter fence and gate, and a looped concrete pathway. These are all elements that facilitate activities that will provide places for the neighborhood to gather, play, and relax.

- **Objective 3 INTERGOVERNMENTAL COOPERATION**

Response: The Balfour Park Master Plan meets the goal of Objective 3 through the partnership between NCPRD and the City of Milwaukie strengthened by the Intergovernmental Agreement with the City. The property was originally acquired in 2008 by the City of Milwaukie in partnership with Metro and funded by the Metro 2006 voter-approved bond measure. NCPRD is currently maintaining and managing the future park site through the intergovernmental agreement. This master plan was completed through funding provided by NCPRD and in partnership with the City of Milwaukie. Citizen involvement was instrumental in developing the Balfour Park Master Plan (the Plan). NCPRD and City staff worked with park neighbors and the neighborhood association and park users played a major role in developing the Plan. NCPRD organized two public meetings to obtain input and ideas for park improvements. The public meetings were devoted exclusively to this subject and were held on September 24 and November 3, 2014. Following each public meeting plans were posted to an online project website and advertised by both the City and NCPRD. The project was also discussed and shared with the Milwaukie Park and

Recreation Board and the NCPRD District Advisory Board. The District Advisory Board reviewed the Balfour Park Master Plan on January 15, 2015 and endorsed moving forward with this application. In addition to public meetings, neighbors, and park users were encouraged to voice their comments and concerns throughout the design process. Many comments were received via phone conversation, e-mail, and comment cards and incorporated into the plan whenever possible. The key goal of the planning process was to develop a plan that minimizes environmental and property impacts, provides for ease of maintenance and longevity, while providing a safe and enjoyable experience for the community. NCPRD and the City are committed to working together toward future implementation of the plan and partnership in managing the park.

- **Objective 5 NEIGHBORHOOD AND COMMUNITY PARKS**

Response: The City and NCPRD share the goal of developing a City-wide park and recreation system which meets the needs of neighborhoods, the City, and the District as a whole. As stated in Policy #1, Balfour Park is in a location that is convenient for residents of the neighborhood, and has access to Balfour Road, a public street.

As stated in Policy #2, the proposed Balfour Park Master Plan park elements are intended to serve the needs of residents of that neighborhood only and will not contain large, highly structured facilities which may attract users from outside the neighborhood. Additionally, it is the intention of neighbors and community members that attended the public meetings and submitted comments during the public process that the park not include a basketball court or park picnic shelter, which are located at other nearby neighborhood parks (Ardenwald Park and Water Tower Park), and which neighbors believed would draw people from areas other than the directly surrounding neighborhood.

The proposed plan is also consistent with Policy #4, as the Balfour Park Master Plan does not propose any major structured recreational facilities (including lighted baseball and soccer fields, pools, tennis courts, etc.), which would be more appropriate for a community park or special use facility.

The change is in conformance with applicable Statewide planning goals:

Response: The plan is consistent with the following applicable statewide planning goals:

Goal 1: Citizen Involvement. Citizen involvement was instrumental in developing the Balfour Park Master Plan (the Plan). Please see the response to Chapter 4, Recreational Needs Element, Objective 3, Intergovernmental Cooperation, above. NCPRD strives to develop plans that minimize environmental and property impacts and provide for ease of maintenance and longevity while providing a safe and enjoyable experience for the community.

Goal 2: Land Use Planning. See response to MCP Chapter 4 – Land Use, above.

Goal 5: Open Space, Scenic, and Historic Spaces, and Natural Resources. The proposed Balfour Park Master Plan will serve to conserve Balfour Park as open space and preserve and enhance it as a park. There are no identified riparian values on the site. The proposed plan strives to protect this site's wildlife habitat values through preserving significant habitat trees along the north edge of the park and along the park boundaries. Additionally, the plan includes planting additional native plants within the park.

Goal 8: Recreational Needs. See response to Chapter 4, Recreational Needs Element, Objective 1, 3, and 5 above.

The proposed enhancements outlined in the Plan will comply with all applicable regional, state and federal regulations prior to and during any construction activity. There are no floodplains, creeks, wetlands, or designated Habitat Conservation Areas identified within the park site. Any work performed will comply with all applicable City regulations in effect at the time of land use application.

The proposed amendment is consistent with the Metro Urban Growth Management Functional Plan and relevant regional policies:

Response: The Plan conforms to the Metro Growth Management Functional Plan, specifically, Title 12, Protection of Residential Neighborhoods, Access to Parks and Schools. The proposed Balfour Park will meet a level of service standard of ½-mile access for neighborhood residents. The park is accessible by walking, biking and transit. TriMet bus 75 stops .10 miles away from the proposed park, at SE 32nd Avenue & SE Harvey Street.

Title 3 (Water Quality and Flood Management) and Title 13 (Habitat Conservation Areas) don't apply to the Balfour Park site.

MMC 19.902.4 COMPREHENSIVE PLAN MAP AMENDMENTS

Changes to the maps of the Milwaukie Comprehensive Plan shall be called Comprehensive Plan map amendments.

A. Review Process

Changes to the maps of the Milwaukie Comprehensive Plan described in Subsection 19.902.2.C shall be evaluated through either a Type IV review per Section 19.1007, or Type V Review, per Section 19.1008...Generally, Comprehensive Plan map amendments that involved 5 or more properties or encompass more than 2 acres of land are legislative and nature and subject to Type V review. Comprehensive Plan map amendments that involve fewer properties and encompass a smaller area of land are quasi-judicial in nature and subject to Type IV review.

Response: The proposed changes to the Milwaukie Comprehensive Plan, Comprehensive Plan Map 7, to reclassify Balfour Park from Low Density (LD) to Public (P) falls under a Type IV review because the amendment only involves one property containing two tax lots and is only 0.80 acres of land.

B. Changes to the maps of the Milwaukie Comprehensive Plan shall be evaluated against the approval criteria in Subsection 19.902.3.B...

Response: The plan conforms to the approval criteria in Subsection 19.902.3B, as outlined in the application responses above.



CITY OF MILWAUKIE & NORTH CLACKAMAS PARKS AND RECREATION DISTRICT

BALFOUR PARK MASTER PLAN

FINAL REPORT 04.20.2015

lango . hansen



ACKNOWLEDGEMENTS

NCPRD BOARD OF DIRECTORS (CLACKAMAS COUNTY BOARD OF COMMISSIONERS)

Chair John Ludlow
Vice Chair Jim Bernard
Martha Schrader
Paul Savas
Too. e Smith

DISTRICT ADVISORY BOARD (DAB)

David Noble, Chair
Bill Bersie
Kristin Mitchell
Lynn Fisher
Michael Morrow
Robin Condie
Susan McCarty
Tony Andersen

NORTH CLACKAMAS PARKS AND RECREATION DISTRICT

Gary Barth, Director
Jeroen Kok, Strategic Planning, Development, and
Resource Manager
Katie Dunham, CPRP, Senior Planner
Kevin Cayson, Park Maintenance Supervisor
Tonia Burns, Natural Resource Coordinator

LANGO HANSEN LANDSCAPE ARCHITECTS

Kurt Lango, RLA, Principal
Heidi Baker, RLA, Associate

KPFF CIVIL ENGINEERS

Ryan Milkowski

MILWAUKIE CITY COUNCIL

Council President Lisa Batey
Karin Power
Mark Gamba
Scott Churchill

MILWAUKIE PARK AND RECREATION BOARD (PARB)

Lisa Gunion-Rinker, Chair
Lisa Lashbrook, Vice Chair
Erin Willett Holcomb
Lynn Sharp
Ray Harris
Tony Andersen

CITY OF MILWAUKIE

Steve Butler, Community Development Director
Jason Rice, Engineering Director

SPECIAL THANKS TO:

Residents of NCPRD and the City of Milwaukie who
contributed to this master planning process.

For more Information, contact:
NCPRD
150 Beaver Creek Road, 4th Floor
Oregon City, OR 97045
503-742-4348
www.ncprd.com

INTRODUCTION

INTRODUCTION

This master plan was developed in partnership between the City of Milwaukie and North Clackamas Parks and Recreation District (NCPRD). Balfour Park is a 0.8-acre, undeveloped neighborhood park site located in the Ardenwald - Johnson Creek neighborhood at 3103 S.E. Balfour St. in Milwaukie, Oregon. The City of Milwaukie purchased the land in 2008 with funds from Metro's voter-approved 2006 natural areas bond measure. The site's existing steep topography and mature canopy trees provide a unique opportunity for recreation on a site very special to the neighborhood.

MISSION STATEMENT

Protect the existing character of the site while accommodating the neighborhood needs for an interesting and engaging place for flexible active and passive recreation. Through design, promote a sense of ownership by neighbors.

SCOPE OF PROJECT

The Balfour Park property offers the potential for a much needed place for neighbors to come together and enjoy both active and passive recreation. The master plan for the park addresses the functional needs of the park site such as circulation and Right-of-Way improvements, and provides a framework for reshaping the site so that it can meet the neighborhood's recreation needs. An open and interactive approach to the master planning process engaged City and District staff as well as neighbors and community members to create a lasting plan to guide future implementation of the park.

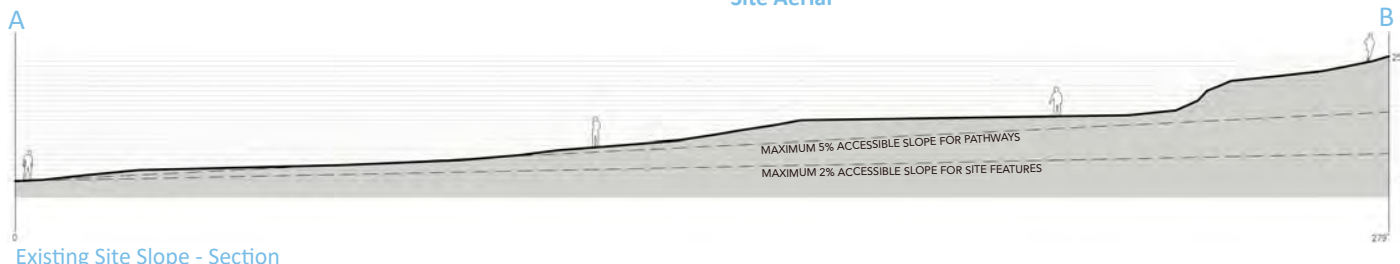
The Master Plan for the park includes active recreational use areas, passive use areas, storm water treatment, signage, landscaping, accessible pathways and site features including benches and picnic tables, an accessible play area, a possible community garden space, fencing and maintenance vehicle access.



Context Aerial



Site Aerial



Existing Site Slope - Section

SITE DESCRIPTION

PARK CLASSIFICATION

NCPRD defines a neighborhood park with the following:

- Serves as the recreational and social space of the neighborhood
- May provide opportunities for natural areas, informal activities, and passive recreation
- Typically includes playgrounds, picnic areas, natural areas, trails, open grass areas for passive use, outdoor basketball courts, and/or multi-use sports fields
- On-site parking and restrooms are not typically provided
- Typically serve an area of an approximately 1/2 to 1-mile radius
- Typically vary in size from 1/2 to 5 acres
- Examples of neighborhood parks are Water Tower Park and Ardenwald Park

NCPRD and the City of Milwaukie strive to use native plants whenever possible and provide long-lasting and easy to maintain site furnishings within parks.

MASTER PLANNING : SITE ASSESSMENT

The first step in the Master Planning process was to gather information related to the existing conditions of the site and City Code requirements. Using GIS information, a site analysis aerial was compiled for use throughout the master planning process. Site visits were conducted to gather information about existing site features including fencing and tree species. Interviews with City and District staff to understand site specific issues were performed. KPFF Civil Engineers provided resources related to storm water treatment requirements.

Information gathered during the initial phase was compiled into a single site analysis drawing along with existing site photos to illustrate the existing conditions and opportunities and constraints. The site analysis drawing and site photos were shared with City and District Staff for comments prior to the initial public meeting.

MASTER PLANNING : SITE ANALYSIS

The existing site is bordered by single family residences on the north, east and west sides. The south edge of the site is adjacent to the SE Bowman Street Right-of-Way. Existing fences line the majority of the park property. The northwest corner of the site is not fenced. Several large significant trees exist on the site included in a tree inventory completed as part of this project, as well as many smaller shrubs and fruit trees. The site slopes about 24' from the northeast corner down to the southwest corner. Because of the steepness of the site, several trees located in the middle of the site may need to be removed to accommodate site grading that is necessary to make the site usable and accessible. NCPRD will prioritize protection of the most significant trees. An official site survey documenting the location and species of all trees will be conducted once the District has funding for construction and moves toward development. Additionally it is recommended that an arborist be consulted to verify the health of existing trees and future maintenance requirements.

HISTORY : EARLY NEIGHBORHOOD INVOLVEMENT

As part of the site analysis, we reviewed the previous master plan concept that was developed by the Neighborhood Association in 2011. The Ardenwald - Johnson Creek Neighborhood Association is very interested in and committed to the future development of this park site. To promote awareness of the park property, over the past several years, they have been holding native plant sales and other events to raise money to support the future development of the park. The neighborhood association used funds they had raised to commission a design for the park from Mayer/Reed Landscape Architects. This preliminary design was a compilation of site elements neighbors were interested in seeing within the park. It was meant to show a range of possibilities for site elements and express the feel of the park the neighbors were interested in. To attain neighbor interest, the Neighborhood Association held a survey and questioned neighbors at a movie night at nearby Ardenwald Park and at the Milwaukie Farmers Market. This early concept plan was not a part of the City or District's official public process.

As part of this master planning process, the neighborhood's early concept plan developed by

BALFOUR PARK MASTER PLAN

EXISTING CONDITIONS & OPPORTUNITIES AND CONSTRAINTS



SITE DESCRIPTION, CONT.

Mayer/Reed was adjusted to fit the actual site dimensions, and amended to show the existing site contours received from GIS data. The early design concept was then redrawn with the new site context data to show how the site dimensions and contours affected the initial proposed concept.

To ensure the park design relates to the existing site conditions and appeals to a wide variety of users, three initial design options were developed to include a wide array of site elements that might typically be found within a neighborhood park in Milwaukee.



LEGEND			
1 - Community Garden	4 - Picnic Area	7 - Bike Rack	10 - Bridge
2 - Dog Run	5 - Drinking Fountain	8 - Gravel Walking Path	11 - Screening Vegetation
3 - Play Area	6 - Water Play	9 - Dry Stream	12 - Shrub Planting

Early Concept Plan - Commissioned in 2011 by Neighborhood Association

MAINTENANCE CONSIDERATIONS

Throughout the design process, NCPRD maintenance staff were consulted so that the park would be designed to facilitate maintenance requirements. In addition to a pathway for maintenance vehicle access, the location of site furnishings and types of plant material were coordinated with maintenance staff.

PUBLIC PROCESS

PUBLIC PROCESS

As part of this master planning process, two public meetings were held to discuss design options and gather neighbor feedback. At the first public meeting, the site analysis and existing conditions materials were presented along with three initial master plan concepts. Meeting attendees were asked to actively participate in the group discussion and a breakout session with consultants and staff. After the first public meeting, comments were compiled and discussed with the City and NCPRD and incorporated in the design process. A final draft master plan concept was presented at the second public meeting.

NEIGHBORHOOD FEEDBACK

In general, the neighbors like the natural feel of the existing park site and want to protect as many of the existing mature trees as possible. Native planting is important to them, and there is a desire for edible plants if possible. The neighbors also expressed an interest in community gardens, an open flexible lawn, contemplative areas, areas for all ages of children to play, a unique nature play area with places for climbing, and places for sitting such as picnic tables and benches. There was also an interest in a drinking fountain located near the sidewalk. There was consensus for keeping a smaller looped pathway similar to the pathway in Option 1, located farther to the south. The neighbors also had a preference for locating the play area on the north side of the site in order to incorporate the slope with the open lawn in the center.

There was also a general consensus that structured active recreation such as a half basketball court was not desired.

MASTER PLAN CONCEPT

MASTER PLANNING : CONCEPT DEVELOPMENT

The City will require half-street development standards as part of the future site development. NCPRD and the City have a number of park and site development standards that must be included in all concept plan development; therefore, all three of the initial concept plans included the following: a curb cut to allow maintenance vehicles to access the site, a removable bollard to prevent unauthorized vehicles from entering the site, three bike racks, an entry sign, and low perimeter screening shrub planting to delineate and soften the park boundary while maintaining views into the park from the street frontage.

Design of the park master plan incorporates principles from Crime Prevention Through Environmental Design (CPTED) which includes keeping planting low to allow views into and through the park, keeping evergreen trees limbed up to prevent hiding spots, and maintaining clear entrances.

DEVELOPMENT PROPOSAL / ELEMENTS

The final master plan site improvements include:

- A nature play area with built-in slide and rock climbing slope
- A seating area with bench and picnic table near the play area
- A small ornamental planting area next to the play area with potential for educational signage and/or edible native plants
- A flexible open lawn area for informal play and gatherings
- A small flexible community garden area with a perimeter fence and gate
- A looped concrete pathway, wide enough to accommodate maintenance access to the play area
- A small paved area with a picnic table adjacent to the lawn
- A stormwater swale with native planting
- Low retaining/seat walls to hold the grade and provide seating opportunities
- New evergreen and deciduous trees
- Low-maintenance, native landscape plants
- Half-Street improvements
- Bike parking
- Drinking fountain
- Perimeter fencing

The design for the community garden, planting, and play area are general in nature and intended to be refined further with specific elements and locations once the District has funding for the park and moves toward development. Development of the community garden area will be based on neighborhood demand and the commitment by a group to assume management and maintenance responsibilities.

SUMMARY

NCPRD will make improvements to the park when funding for the whole park is available. This plan will make it possible for NCPRD to apply for grants and solicit partnerships to help complete improvements. Initial cost estimates were developed and provided to NCPRD to provide an initial estimate for future budgeting and planning purposes. The cost estimates and project elements are subject to change due to further refinements that may occur as the final park design is completed.

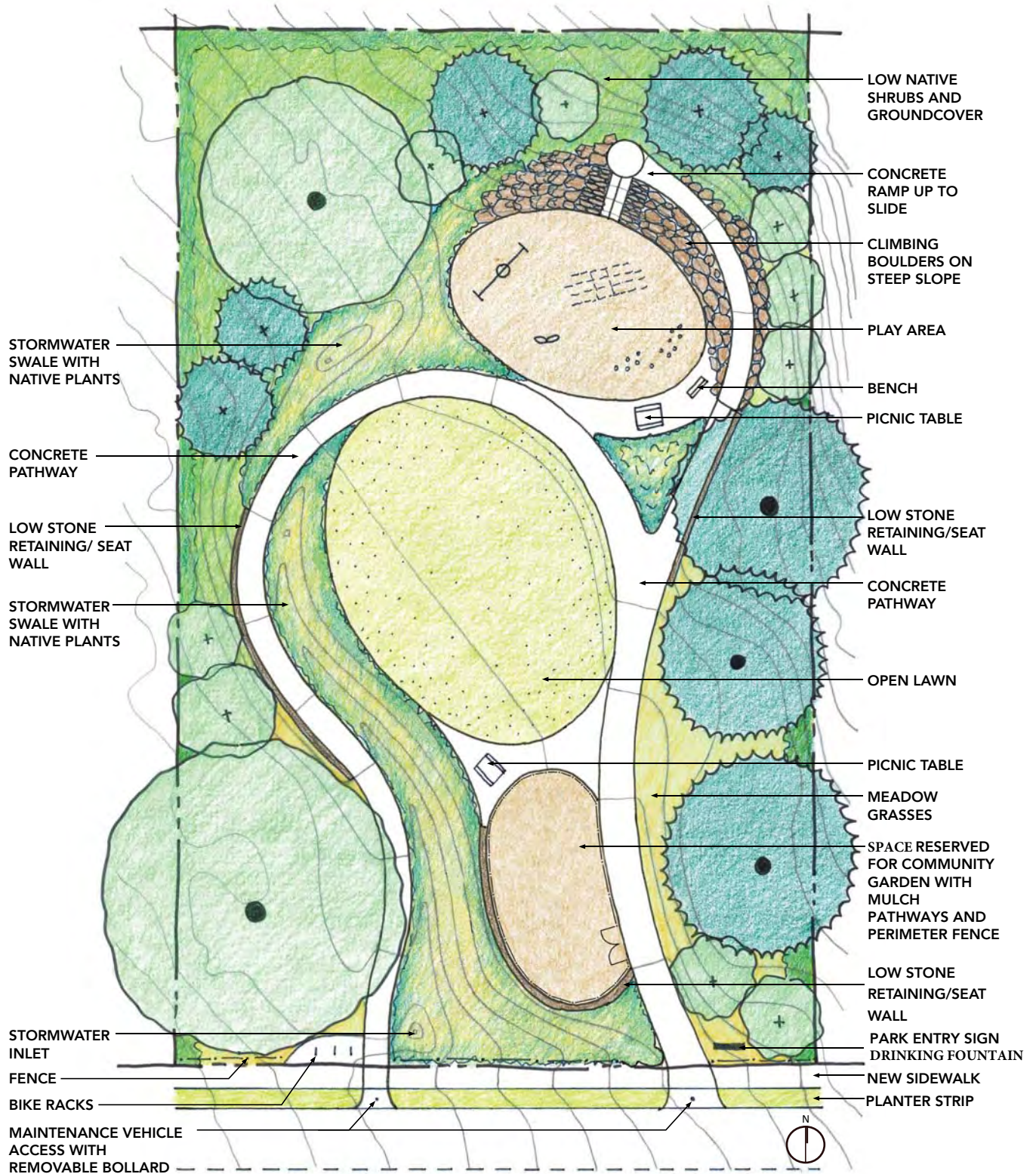
This plan is conceptual in nature. Final decisions regarding dimensions, materials and precise locations of improvements will be determined per all applicable regulatory requirements and as funding is available.

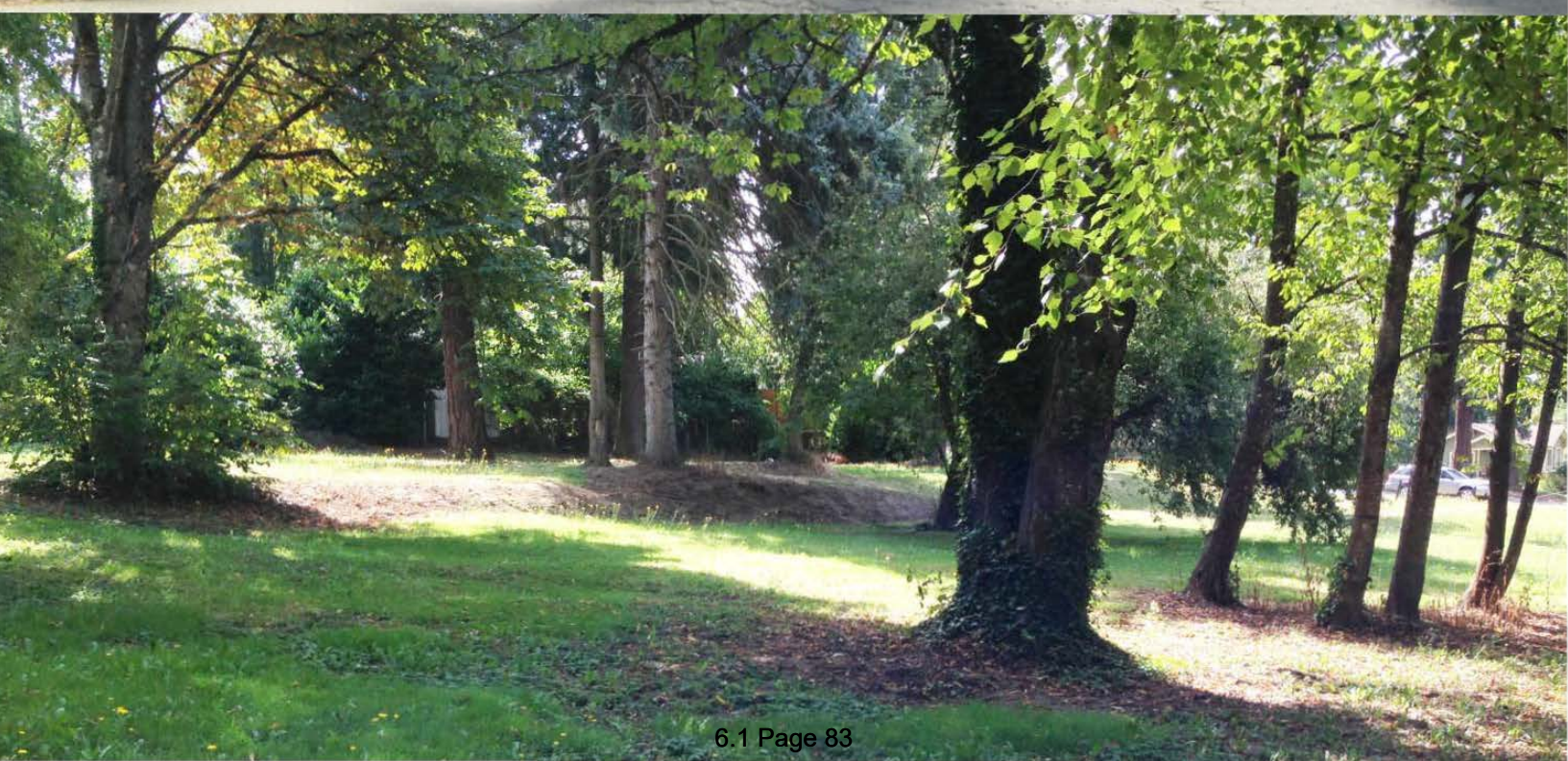
NCPRD will coordinate improvements with the City of Milwaukie and will follow necessary land use processes to ensure elements are consistent with all City policies and codes.

BALFOUR PARK MASTER PLAN

REFINED CONCEPT

APRIL 20, 2015







CITY OF MILWAUKIE

To: Planning Commission

Through: Laura Weigel, Planning Manager

From: Brett Kelter, Senior Planner

Date: August 15, 2023, for August 22, 2023, Public Hearing

Subject: Bowman-Brae Park development

ACTION REQUESTED

Approve application CSU-2023-003 and adopt the recommended Findings and Conditions of Approval found in Attachments 1 and 2. This action would approve the proposed development of Bowman-Brae Park as a community service use.

BACKGROUND INFORMATION

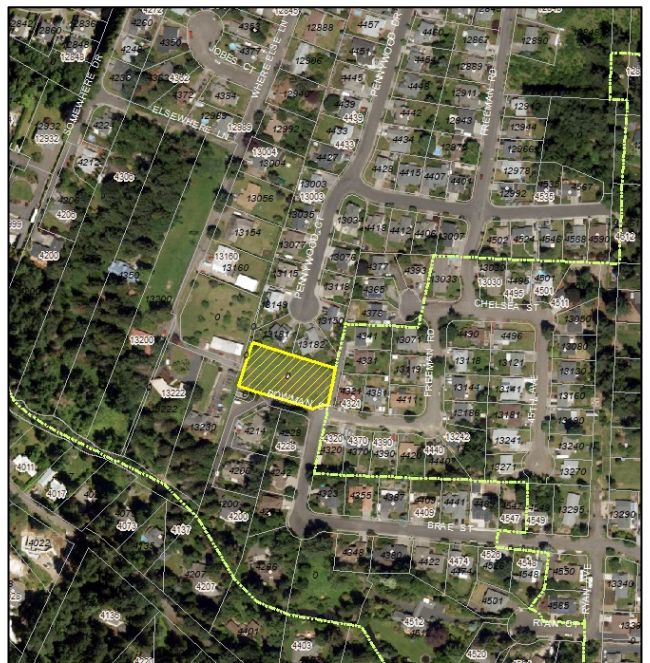
A. Site and Vicinity

The subject property is at 4225 SE Bowman St, an undeveloped residential lot on Bowman Street where Bowman intersects with Brae Street (see Figure 1). The site was previously unaddressed and was referenced as 4267 SE Bowman St during the 2022-23 parks public engagement process but has since been officially assigned the street number 4225.

The property currently serves as an undeveloped park in the southeastern corner of the city adjacent to the city limit. The site is accessible from the east at its primary frontage on Bowman Street as well as from the west through a pedestrian-scale access from the terminus of Where Else Lane.

The surrounding area is developed primarily with single-unit houses. Several large properties to the west have redevelopment potential. Residential properties in unincorporated Clackamas County are adjacent to the east and Kellogg Creek is nearby to the south.

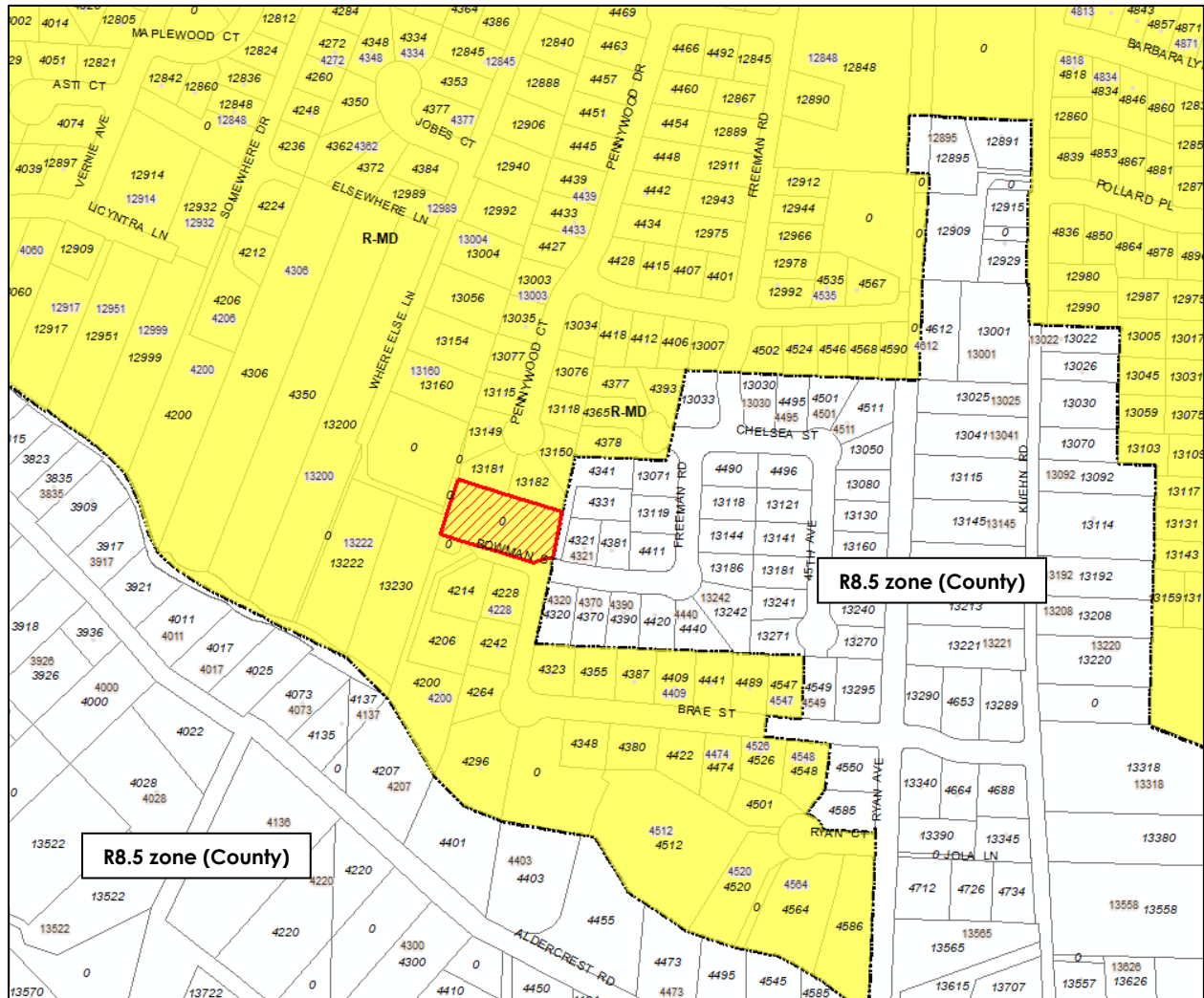
Figure 1. Site and vicinity



B. Zoning Designation

The subject property is zoned Moderate Density Residential (R-MD) (see Figure 2).

Figure 2. Existing Zoning



C. Comprehensive Plan Designation

Low Density (LD)

D. Land Use History

2008: The City purchased the property for future park development.

2015: Land use file #CPA-2015-002, approval of concept plans for Bowman-Brae Park, Balfour Park, and Kronberg Park.

E. Proposal

The applicant (City of Milwaukie) is proposing to develop the park in accordance with the concept plan adopted in 2015. The proposed improvements include a play area, natural play features, walking trails, benches, water fountain, picnic shelter, bicycle parking, tree plantings, and two monument signs. Bowman-Brae Park is a neighborhood park, intended to be used by people within walking or bicycling distance; no off-street parking is proposed. The park is intended primarily for daytime use, so no lighting is proposed beyond an interior light under the peak of the picnic shelter.

A plan set and narrative description of the proposal are included in the applicant's submittal materials (see Attachment 3).

KEY QUESTIONS

Analysis

Staff has identified the following key question(s) for the Planning Commission's deliberation. Aspects of the proposal not listed below are addressed in the Findings (see Attachment 1) and generally require less analysis and discretion by the Commission.

A. Are there any negative impacts from the proposed park development that require mitigation?

Bowman-Brae Park is a neighborhood park, intended primarily for daytime use by residents and others who will generally arrive by foot or bicycle. No off-street parking or site lighting is proposed. The proposed improvements include a play area, natural play features, walking trail, and picnic shelter; no ball courts or other active facilities are proposed that might generate additional noise. The hours of use will be similar to those of other neighborhood parks in Milwaukie.

The proposed improvements are based on the concept plan adopted in 2015, with minor adjustments resulting from extensive public engagement efforts by staff in 2022-23. City Council approved the revised concept plan in December 2022. The Planning Commission's role in reviewing the park as a community service use (CSU) is to determine whether the proposal meets the relevant CSU approval criteria—namely, whether the hours and levels of operation are reasonably compatible with surrounding uses and that the public benefits outweigh any negative impacts. The park design itself is not the subject of consideration, but if there are impacts resulting from the design that require mitigation, the commission can identify conditions of approval to address them.

Staff does not believe there are any negative impacts from the proposed park design that require attention.

CONCLUSIONS

Staff recommendation to the Planning Commission is as follows:

1. Approve the proposed community service use. This will allow Bowman-Brae Park to be developed in accordance with the concept plan approved by Council in 2015.
2. Adopt the attached Findings and Conditions of Approval.

CODE AUTHORITY AND DECISION-MAKING PROCESS

The proposal is subject to the following provisions of the Milwaukie Municipal Code (MMC).

- MMC Section 19.301 Moderate Density Residential Zone (R-MD)
- MMC Subsection 19.504.7 On-Site Walkways and Circulation
- MMC Chapter 19.600 Off-Street Parking and Loading
- MMC Chapter 19.700 Public Facility Improvements
- MMC Section 19.904 Community Service Uses
- MMC Section 14.08.090 Conditional and Community Service Use Signs
- MMC Section 19.1006 Type III Review

This application is subject to Type III review, which requires the Planning Commission to consider whether the applicant has demonstrated compliance with the code sections shown above. In Type III reviews, the Commission assesses the application against review criteria and development standards and evaluates testimony and evidence received at the public hearing.

The Commission has four decision-making options as follows:

- A. Approve the application subject to the recommended Findings and Conditions of Approval.
- B. Approve the application with modified Findings and Conditions of Approval. Such modifications need to be read into the record.
- C. Deny the application upon finding that it does not meet approval criteria.
- D. Continue the hearing.

The final decision on this application, which includes any appeals to the City Council, must be made by November 3, 2023, in accordance with the Oregon Revised Statutes and the Milwaukie Zoning Ordinance. The applicant can waive the time period in which the application must be decided.

COMMENTS

Notice of the proposed changes was given to the following agencies and persons: City of Milwaukie Community Development, Engineering, Building, Public Works, and Police departments; City Attorney; Clackamas Fire District #1 (CFD); Lake Road Neighborhood

District Association (NDA) and Land Use Committee (LUC); North Clackamas Parks & Recreation District; and NW Natural. In addition, public notice was provided as required by MMC Subsection 19.1006.3 on August 2, 2023.

The following is a summary of the responses received by the City. See Attachment 4 for further details.

- **Paul Anderson, resident:** Suggestion to relocate the bicycle racks from the proposed location adjacent to the loading turn-out on Bowman Street, to avoid conflicts between parked bicycles and vehicle doors.

Staff response: The applicant has taken the concern under advisement and will respond accordingly. This is a design detail that is more internal to the project and is not directly related to the issue of assessing hours/levels of operation or benefits versus impacts as CSU approval criteria. If the applicant opts to relocate or reorient the bike racks, staff will confirm that the bicycle parking continues to meet the applicable standards of MMC 19.609.

ATTACHMENTS

Attachments are provided as indicated by the checked boxes. All material is available for viewing upon request.

	Public Copies	E-Packet
1. Findings in Support of Approval	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2. Conditions of Approval and Other Requirements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3. Applicant's Submittal Materials <i>(received June 23, 2023, unless otherwise noted)</i>		
a. Application Form	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b. Narrative	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
c. Plan sheets and graphics (30% design)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
d. Stormwater drainage report	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
e. Property deeds	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
f. Amenity image examples	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
g. 2015 concept plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4. Public comments	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Key:

Public Copies = materials posted online to application website (<https://www.milwaukieoregon.gov/planning/csu-2023-003>)

E-Packet = meeting packet materials available one week before the meeting, posted online at <https://www.milwaukieoregon.gov/planning/planning-commission-82>

ATTACHMENT 1
Recommended Findings in Support of Approval
File #CSU-2023-003
Development of Bowman-Brae Park

Sections of the Milwaukie Municipal Code (MMC) not addressed in these findings are found to be inapplicable to the decision on this application.

1. The applicant, Peter Passarelli (Public Works Director), on behalf of the City of Milwaukie, has applied for community service use approval to construct improvements at Balfour Park. The subject property is located at 4225 SE Bowman St and is zoned Moderate Density Residential (R-MD). *[Note: The site was previously unaddressed, and the street number 4267 was initially used to identify it for events related to park planning. The official addressing process has since been completed and resulted in the assignment of 4225 as the number.]* The land use application file number is CSU-2023-003.
2. The applicant proposes to develop Bowman-Brae Park in accordance with the associated concept plan adopted by City Council in 2015 (file #CPA-2015-002). The site, which consists of a portion of Lot 13 of the Atkinson Plat (platted in 1890), is currently undeveloped. The proposed park improvements include a play area, natural play features, walking trails, benches, water fountain, picnic shelter, bicycle parking, tree plantings, and two monument signs.
3. The proposal is subject to the following provisions of the Milwaukie Municipal Code (MMC):
 - MMC Section 19.301 Moderate Density Residential Zone (R-MD)
 - MMC Subsection 19.504.7 On-Site Walkways and Circulation
 - MMC Chapter 19.600 Off-Street Parking and Loading
 - MMC Chapter 19.700 Public Facility Improvements
 - MMC Section 19.904 Community Service Uses
 - MMC Section 14.08.090 Conditional and Community Service Use Signs
 - MMC Section 19.1006 Type III Review

The application has been processed and public notice provided in accordance with MMC Section 19.1006 Type III Review. A public hearing was held by the Planning Commission on August 22, 2023, as required by law.

4. MMC Section 19.301 Moderate Density Residential Zone (R-MD)

MMC 19.301 establishes standards for the Moderate Density Residential (R-MD) zone. The application meets the applicable standards of this section as described below.

 - a. MMC Subsection 19.301.2 Allowed Uses

MMC 19.301.2 establishes the uses allowed outright in the R-MD zone, including single detached dwellings, middle housing types (duplexes, triplexes, quadplexes,

townhouses, and cottage clusters), accessory dwelling units (ADUs), and residential homes. Community service uses are allowed with additional review as per MMC Section 19.904.

The subject property is currently undeveloped. The applicant is proposing to develop the space as a public park, which according to MMC 19.904.2.C is a community service use (CSU). CSUs are permitted in the R-MD zone subject to Type III review per MMC Table 19.301.2.

b. MMC Subsections 19.301.4 and 19.301.5 Development Standards

MMC 19.301.4 and 19.301.5 establish development standards for the R-MD zone for lot coverage, minimum vegetation, yard setbacks, and maximum height.

The key features of the proposal include a covered picnic area and a playground. No improvement is proposed to exceed the maximum height of 35 ft or proposed to be in a required yard. The applicant has submitted plans showing that the property will be vegetated well beyond the 30% minimum requirement and that there will be no structures that count towards lot coverage, as the covered picnic shelter will be unenclosed and the surface height will be less than 18 in above average grade.

As proposed, the applicable development standards of these subsections are met.

As proposed, the Planning Commission finds that the proposed development meets all applicable standards of MMC 19.301. This standard is met.

5. MMC Subsection 19.504.7 On-Site Walkways and Circulation

MMC 19.504.7 establishes standards for on-site walkways, which are required for all development that is subject to MMC Chapter 19.700 (excluding single-detached and multi-unit residential development). A walkway must be provided into the site for every 300 ft of street frontage and must connect with sidewalks and bicycle facilities. On-site walkways must be reasonably direct, constructed with a hard surface material, permeable for stormwater, and at least 5 ft wide. Walkways must be separated from parking areas using curbing, landscaping, or distinctive paving materials and must be lighted to an average 0.5-footcandle level.

The subject property is comprised of a single tax lot; the lot has approximately 204 ft of frontage on Bowman Street. As proposed, there will be three entrances to the park. The primary pedestrian entrance will be located at the southeast corner of the site where Brae Street meets Bowman Street. A second entrance is proposed farther to the west on Bowman Street. A third pedestrian entrance is proposed to connect the western portion of the park to the public right-of-way (ROW) at Where Else Lane. The proposed pathway in the park connects to the paved portion of the ROW or to the required sidewalk discussed in Finding 7-e. The proposed walkway is 6 ft wide, constructed with permeable pavers, and connects pedestrians to the park's various amenities in a reasonably direct way. As a neighborhood park, the proposal does not include any off-street vehicular parking spaces; therefore, the walkway separation standard is inapplicable. The pathway is not proposed to be illuminated, as the park will only be open during daytime hours.

The Planning Commission finds that the proposed development meets all applicable standards of MMC 19.504.7. This standard is met.

6. MMC Chapter 19.600 Off-Street Parking and Loading

MMC 19.600 regulates off-street parking and loading areas on private property outside the public right-of-way. The purpose of these requirements includes providing adequate space for off-street parking, minimizing parking impacts to adjacent properties, and minimizing environmental impacts of parking areas.

a. MMC Section 19.602 Applicability

MMC 19.602 establishes the applicability of the provisions of MMC 19.600, and MMC Subsection 19.602.3 establishes thresholds for full compliance with the standards of MMC 19.600. Development of a vacant site shall have off-street parking and off-street loading areas that conform to the requirements of Chapter 19.600.

Per Oregon Administrative Rules (OAR) 660-012-0012 and 660-12-0440, which relate to Climate-Friendly and Equitable Communities (CFEC) rulemaking, the City is prohibited from mandating minimum off-street vehicular parking quantity requirements because of the subject property's proximity to a TriMet bus stop. However, all other provisions of MMC 19.600 may still apply.

The applicant is proposing to develop the subject property, which is currently vacant, as a public park by adding a paved walkway, bicycle racks, a covered picnic area, landscaping, and a play area. Although the CFEC-related limitations noted above prevent the implementation of minimum off-street vehicular parking quantity requirements, the Planning Commission finds that the proposal constitutes the development of a vacant site and that compliance with the other applicable sections of MMC 19.600 is required.

b. MMC Section 19.605 Vehicle Parking Quantity Requirements

MMC 19.605 establishes standards to ensure that development provides adequate vehicle parking (off-street) based on estimated parking demand. As per the CFEC-related limitations noted above, the City is prohibited from mandating minimum off-street vehicular parking quantity requirements because of the subject property's proximity to frequent transit provided by TriMet. However, maximum off-street vehicular parking limitations still apply. Additionally, off-street vehicular parking minimums are used to determine the required quantity of off-street bicycle parking per MMC Section 19.609 and for that reason are addressed below.

MMC Table 19.605.1 does not provide minimum and maximum quantity requirements for park uses. The park is designated as a neighborhood park in the City's Comprehensive Plan and is intended to primarily be accessed by people walking or bicycling. A previous parking determination (file #P-2013-02) specified that neighborhood parks are not designed to generate demand for off-street parking because the size and facilities available are intended to only attract users that live near the park. Moreover, even if parking quantity standards were identified, recent changes to state law prohibit the City from requiring a minimum quantity of off-street parking for this property because of its proximity to frequent transit. Parking

maximums are not a concern, as the applicant is not proposing any off-street vehicular parking.

c. MMC Section 19.609 Bicycle Parking

MMC 19.609 establishes standards for bicycle parking. Unless otherwise specified, the number of bicycle parking spaces is at least 10% of the minimum required vehicle parking for the use (CFEC limitations aside). In no case will fewer than two bicycle spaces be provided.

MMC Subsection 19.609.3.A requires that each bicycle parking space have minimum dimensions of 2 ft by 6 ft, with 5-ft-wide aisles for maneuvering. MMC Subsection 19.609.4 requires bike racks to be securely anchored and designed to allow the frame and one wheel to be locked to the rack with a U-shaped lock. Bicycle parking must be located within 50 ft of a main building entrance, closer to the entrance than the nearest non-ADA-designated vehicle parking space, designed to provide access to a public right-of-way, in a location that is visible from the main parking lot, designed not to impede pedestrians along sidewalks, and separated from vehicle parking areas by curbing or other similar physical barriers.

As noted above, there are no required vehicle parking spaces for the site. Consequently, a minimum of two bicycle parking spaces are required. There are currently no bicycle parking spaces on site and the applicant is proposing to add three staple-style racks adjacent to the southwestern park entrance, thereby providing six total bicycle parking spaces. The applicant has included anchoring plans and shows that the racks' location provides the minimum 2-ft by 6-ft space dimensions without impeding the adjacent 6-ft-wide pedestrian walkway. Staple-style racks allow the user to lock both the frame and one wheel with a high-security, U-shaped, shackle lock. The parking spaces provide direct access to the public ROW and will be visible to park visitors.

As proposed, the standards of MMC 19.609 are met.

As proposed and conditioned, the Planning Commission finds that the applicable standards of MMC 19.600 are met.

7. MMC Chapter 19.700 Public Facility Improvements

MMC 19.700 is intended to ensure that development, including expansions, provides public facilities that are safe, convenient, and adequate in rough proportion to their public facility impacts.

a. MMC Section 19.702 Applicability

MMC 19.702 establishes the applicability of MMC 19.700, including a new dwelling unit, any increase in gross floor area, land divisions, new construction, and modification or expansion of an existing structure or a change or intensification in use that result in any projected increase in vehicle trips.

The applicant is proposing to develop the space as a public park. The City Engineer has determined that these improvements would result in an increase in trips. The proposed development triggers the requirements of MMC 19.700.

MMC 19.700 is applicable to the proposed development.

b. MMC Section 19.703 Review Process

MMC 19.703 establishes the review process for development that is subject to MMC 19.700, including requiring a preapplication conference, establishing the type of application required, and establishing approval criteria.

The requirement for a preapplication conference with City staff was waived by the Planning Manager for this proposal. As noted in Finding 7-c, a Transportation Impact Study (TIS) is not required; therefore, a Transportation Facilities Review application is not necessary.

This standard is met.

c. MMC Section 19.704 Transportation Impact Evaluation

MMC 19.704 establishes that the City Engineer will determine whether a proposed development has impacts on the transportation system by using existing transportation data. If the City Engineer cannot properly evaluate a proposed development's impacts without a more detailed study, a TIS will be required to evaluate the adequacy of the transportation system to serve the proposed development and determine proportionate mitigation of impacts.

The City Engineer has determined that a TIS is not required, as the impacts of the park improvements on the transportation system are minimal. The park is centrally located in the neighborhood, is proposed to include basic amenities, and is most likely to be used by people walking and bicycling.

This standard is met.

d. MMC Section 19.705 Rough Proportionality

MMC 19.705 requires that transportation impacts of the proposed development be mitigated in proportion to its potential impacts.

Finding 7-e addresses the required construction of new sidewalk on Bowman Street along the subject property frontage. Finding 7-f addresses the requirement for public utility easements along the property's street frontage. The proposed development does not trigger mitigation of impacts beyond those discussed in these findings.

This standard is met.

e. MMC Section 19.708 Transportation Facility Requirements

MMC 19.708 establishes the City's requirements and standards for improvements to public streets, including pedestrian, bicycle, and transit facilities. MMC Subsection 19.708.1 requires compliance with MMC Chapter 12.16 and establishes general requirements and standards for streets, including access management, clear vision,

street design, connectivity, and intersection design and spacing standards. MMC Table 19.708.2 provides more specific street design standards for various street classifications, including for arterial and neighborhood routes. All streets, sidewalks, necessary public improvements, and other public transportation facilities located in the public ROW and abutting the development site must be adequate at the time of development or must be made adequate in a timely manner. The City's street design standards are based on the street classification system described in the City's Transportation System Plan (TSP).

The subject property has frontage on Bowman Street, which the City's TSP and Transportation Design Manual classify as a local street. As established in MMC Table 19.708.2 Street Design Standards, the required ROW width for a local street is between 20 ft and 68 ft, depending on the required street improvements. Bowman Street has a ROW width of 25 ft. This standard is met.

New curb, gutter, and sidewalk on Bowman Street along the entire subject property frontage is required to provide a connecting pedestrian route to Brae Street. A condition has been established to ensure that the applicable standards of MMC 19.708 are met.

As conditioned, the proposed development meets the applicable standards of MMC 19.708.

f. MMC Section 19.709 Public Utility Requirements

MMC 19.709 establishes the City's requirements and standards to ensure the adequacy of public utilities to serve development.

The proposed development does not present significant new impacts to existing public utilities, which are adequate to serve the proposed use. To ensure there is sufficient room to accommodate future utility needs, a condition has been established to require a 10-ft public utility easement (PUE) along the subject property's frontage.

As conditioned, the proposed development meets the applicable standards of MMC 19.709.

As proposed and conditioned, the Planning Commission finds that the applicable standards of MMC 19.700 are met.

8. MMC Section 19.904 Community Service Uses

MMC 19.904 provides standards and procedures for review of applications for community service uses (CSUs). These are uses that are not specifically allowed outright in most zoning districts but that address a public necessity or otherwise provide some public benefit. CSUs include schools and accompanying sports facilities.

a. MMC Subsection 19.904.2 Applicability

MMC 19.904.2 establishes applicability of the CSU regulations, including a requirement for review to establish or modify a CSU.

The application is to establish a new CSU.

The Planning Commission finds that the standards of MMC 19.904 are applicable to the proposed development.

b. MMC Subsection 19.904.3 Review Process

MMC 19.904.3 establishes the review process for CSUs. Except for wireless communication facilities and minor modifications to existing CSUs, applications for CSUs are subject to Type III review (MMC 19.1006).

The proposal is for establishing a new CSU and does not qualify as a minor modification to an existing CSU as per MMC Subsection 19.904.5.C.

The Planning Commission finds that the proposed development is subject to the procedures for Type III review.

c. MMC Subsection 19.904.4 Approval Criteria

MMC 19.904.4 establishes the following approval criteria for CSUs:

- (1) The building setback, height limitation, and off-street parking and similar requirements governing the size and location of development in the underlying zone are met. Where a specific standard is not proposed for a CSU, the standards of the underlying zone must be met.

As discussed in Findings 6-b and 6-c, the applicant is not proposing any vehicular off-street parking and is meeting the minimum bicycle parking quantity and spacing requirements of MMC 19.609. The property is zoned R-MD, and so the standards in Table MMC 19.301.4 apply. The key features of the development include a picnic area and a playground; as discussed in Finding 5, no feature is proposed to exceed the maximum height or be in a required yard.

This criterion is met.

- (2) Specific standards for the proposed uses as found in MMC 19.904.7-11 are met.

The proposed modifications are subject to the standards provided in MMC Subsection 19.904.8 for public, private, religious, and other facilities not covered by other standards. The only specific standards of MMC 19.904.8 that apply to the proposed modification are the requirements of MMC Subsections 19.904.8.F and 19.904.8.G. The former requires that lighting be designed to avoid glare on adjacent residential uses; the latter requires that hours of operation be adjusted to make the use compatible with adjacent uses.

The applicant has proposed lighting only under the picnic shelter; the application confirms that the lighting will be located at the peak of the shelter roof and oriented downwards to minimize any impact on the surrounding area. As discussed below in Finding 8-c-3, the City has operating hours for public parks that effectively limit the operating hours to daytime use only.

This criterion is met.

- (3) MMC Subsection 19.904.4.C requires the hours and levels of operation of the proposed use to be reasonably compatible with surrounding uses.

As per MMC Subsection 9.28.020.F, parks open 30 minutes before sunrise and close 30 minutes after sunset. Bowman-Brae Park will employ these same hours, so it is essentially a facility for daytime use only. Surrounding uses include primarily single-unit detached dwellings, and the park is intended to primarily serve residents within approximately a half-mile of the site.

This criterion is met.

- (4) MMC Subsection 19.904.4.D requires that the public benefits of the proposed use be greater than the negative impacts, if any, on the neighborhood.

Bowman-Brae Park is classified in the Milwaukie Comprehensive Plan as a neighborhood park, which means it is intended to serve residents within approximately a half-mile of the site. The nature and scale of amenities that will be provided are not intended to attract users from farther parts of the city or the larger parks district. The park will serve as a recreational amenity for the adjacent neighborhood.

The park will be officially open only during daylight hours throughout the year. No off-street parking will be provided at the park, as most users will access the site from the adjacent neighborhood area by bicycle or on foot. Impacts from increased vehicle traffic will be minimal. The proposed improvements do not include athletic fields for organized sporting events, so noise impacts will be minimal.

The Planning Commission finds that the public benefits of the proposed development are greater than any negative impacts.

This criterion is met.

- (5) MMC Subsection 19.904.4.E requires the location to be appropriate for the type of use proposed.

The subject property has a “Public” land use designation in the Comprehensive Plan. Bowman-Brae Park is classified as a “neighborhood park” that is intended to serve the surrounding residential neighborhood. The property is located on Bowman Street, which is identified as a local street in Figure 8-1 of the Milwaukie TSP. Bowman Street is not developed with sidewalks or bicycle lanes; however, as a local street, the volume of traffic is less than 1,500 trips per day and the street is intended to be shared by all users.

This criterion is met.

As proposed, the Planning Commission finds that the proposed new CSU meets the approval criteria of MMC 19.904.4.

The Planning Commission finds that the proposed development meets all applicable standards of MMC 19.904 to be approved as a new CSU. This standard is met.

9. MMC Section 14.08.090 Conditional and Community Service Use Signs

MMC 14.08.090 establishes that, in general, signs for conditional and community service uses are limited to those allowed in the underlying zone. However, as per MMC Subsection 14.08.090.B, the underlying zone standards may be increased to the standards

listed in MMC Table 14.08.090.B, subject to Type I review. A monument or freestanding sign may be approved with a maximum area of 16 sq ft per display surface.

As noted in Finding 2, the applicant has proposed to install two new monument signs. The signs are proposed to be no taller than 3 ft with a display surface of no larger than 12 sq ft. No illumination is proposed, though external illumination would be allowed in the underlying residential sign district as per MMC Section 14.16.010.

The Planning Commission finds that the proposed signage is consistent with that allowed for conditional and community service uses through Type I review, as per MMC Subsection 14.08.090.B. This standard is met.

10. The application was referred to the following departments and agencies on July 13, 2023:

- Milwaukie Community Development Department
- Milwaukie Engineering Department
- Milwaukie Building Department
- Milwaukie Public Works Department
- Milwaukie Police Department
- City Attorney
- Ardenwald-Johnson Creek Neighborhood District Association (NDA) Chairperson and Land Use Committee (LUC)
- Clackamas Fire District #1 (CFD)
- Clackamas County Department of Transportation & Development
- Metro
- TriMet
- North Clackamas Parks and Recreation District (NCPRD)
- NW Natural

In addition, public notice was provided on August 2, 2023, as required by MMC Subsection 19.1006.3. The responses received are summarized as follows:

- **Paul Anderson, resident:** Suggestion to relocate the bicycle racks from the proposed location adjacent to the loading turn-out on Bowman Street, to avoid conflicts between parked bicycles and vehicle doors.

ATTACHMENT 2
Recommended Conditions of Approval
File #CSU-2023-003, Bowman-Brae Park development

Conditions

1. The final plans submitted for development permit review for the proposed improvements must be in substantial conformance with plans approved by this action, which are the plans stamped received by the City on June 23, 2023, except as otherwise modified by these conditions.
2. As per Finding 7-e, construct improvements along the subject property's frontage on Bowman Street, including curb, gutter, and sidewalk. Engineered plans must be reviewed and approved by the City's Engineering Department in conjunction with processing of the associated right-of-way permit.
3. As per Finding 7-f, provide a 10-ft public utility easement (PUE) along the subject property's frontage on Bowman Street, to accommodate future utility needs.

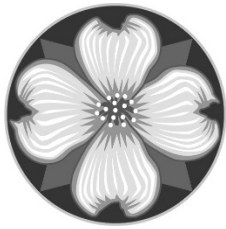
Additional Requirements

The following items are not conditions of approval necessary to meet applicable land use review criteria. They relate to other development standards and permitting requirements contained in the Milwaukie Municipal Code and Public Works Standards that are required at various points in the development and permitting process.

1. Expiration of Approval

As per MMC Subsection 19.1001.7.E, the land use approval granted with this decision will expire and become void unless the following criteria are satisfied. For proposals requiring any kind of development permit, the development must complete both of the following steps:

- a. Obtain and pay for all necessary development permits and start construction within two years of land use approval.
- b. Pass final inspection and/or obtain a certificate of occupancy within four years of land use approval.



MILWAUKIE PLANNING
 6101 SE Johnson Creek Blvd
 Milwaukie OR 97206
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: **CSU-2023-003**

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| <input type="checkbox"/> Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input checked="" type="checkbox"/> Community Service Use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance: |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Director Determination | <input type="checkbox"/> Natural Resource Review** | <input type="checkbox"/> Willamette Greenway Review |
| <input type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input type="checkbox"/> Historic Resource: | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| <input type="checkbox"/> Status Deletion | | • Appeal |

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): **Peter Passarelli**

Mailing address: **10722 SE Main Street, Milwaukie, OR** State/Zip: **97222**

Phone(s): **503.786.7614** Email: **PassarelliP@milwaukieoregon.gov**

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above): **Matt Hastie, AICP**

Mailing address: **506 SW 6th Ave, Suite 400, Portland, OR** State/Zip: **97204**

Phone(s): **503-539-7680** Email: **mhastie@migcom.com**

SITE INFORMATION:

Address: **4267 SE Bowman St.** Map & Tax Lot(s): **22E06BC03100**

Comprehensive Plan Designation: **MD** Zoning: **R-MD** Size of property: **30,000 sf**

PROPOSAL (describe briefly):

Proposed clearing and regrading, and selective tree removal will allow for proposed park features, which include a play area, walking trails, a picnic shelter and other amenities.

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by:

Date: **06/23/2023**

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.

** Natural Resource and Transportation Review applications **may require a refundable deposit.**

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT <small>(after discount, if any)</small>	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	CSU-2023-003	\$ 2,000	100%	City-sponsored application	Materials submitted 6/23/2023 (no payment required)
Concurrent application files		\$			
		\$			
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ ---			RECEIPT #:		RCD BY:

Associated application file #s (appeals, modifications, previous approvals, etc.):

Neighborhood District Association(s): Lake Road

Notes:

Milwaukie Parks Land Use
Planning and Permitting
Bowman-Brae Park

Community Service Use Review
APPLICATION

Submitted to:

City of Milwaukie

Submitted by:

Matt Hastie, AICP, MIG | APG

July 2023

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List of Attachments:

- A. 30% Design Concept Drawings
- D. Stormwater Drainage Report
- G. Proof of Ownership (deed)
- I. Picnic Shelter and Play Area Amenities – Examples
- L. Bowman-Brae Park Concept Plan, NCPRD, 2015

1. Introduction

Project Team

Owner

City of Milwaukie
Adam Moore
10722 SE Main Street
Milwaukie, OR 97222
503-786-7624
moorea@milwaukieoregon.gov

Survey

KPFF
John R. Davis
111 SW 5th Avenue, Suite 2400
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503-542-3860
john.davis@kpff.com

Landscape Architect

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Ben Johnson
110 SE Main St, Suite 100
Portland, OR 97214
503-222-5612
benj@greenworkspc.com

Land Use Planners

MIG
Matt Hastie, AICP, Project Manager
506 SW 6th Avenue, Suite 400
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503-539-7680
mhastie@migcom.com

Civil

KPFF
Jessica Zink
111 SW 5th Avenue, Suite 2400
Portland, OR 97204
503-542-3860
jessica.zink@kpff.com

Consulting Arborist

Teragan & Associates
Terrence P. Flanagan
3145 West View Circle
Lake Oswego, OR 97034
503-697-1975
terry@teragan.com

Project Summary

Site Description:

The site is located at 4267 SE Bowman St. (taxlot ID 22E06BC03100) and defined by SE Bowman St. to the South, Private Drive to the East and adjacent residential properties to the North and West. The total site area is 30,000 square feet (sf) and is currently undeveloped although it has been planned for use as a future park since 2011 when it was purchased with funds from the Metro regional natural areas bond measure. The site was the subject of a previous concept planning process conducted by the North Clackamas Park and Recreation District in 2015 as described in more detail below.

The site is zoned Moderate Density Residential (R-MD). Per the Comprehensive Plan, the site is designated for Moderate Density residential land use. “The moderate density residential zone is intended to create, maintain, and promote neighborhoods and allow a broad range of housing types. Some non-residential uses are allowed, but overall the character is one of residential neighborhoods.” Parks are permitted in the R-MD zone as a Community Service Use, subject to Subsection 19.904 of the City of Milwaukie Zoning Ordinance.

Proposed Improvements:

A variety of changes and improvements are proposed at the site, including the following as shown on the accompanying figure:

- Low-impact clearing and regrading.
- Selective tree removal to allow for proposed park features and to removed unhealthy trees. For more details see Attachment A, Sheet L20.01.
- A new play area will be constructed. It will include nature play features and other small equipment and be oriented towards younger children.
- Several new walking trails will be added. These trails will be made of pervious materials and meet the City’s minimum width requirements (five feet) to minimize impacts while ensuring accessibility.
- A new picnic shelter will be constructed. It will be approximately 17 feet x 17 feet in size and 13 feet tall (see Attachment I for an example of the type of shelter that could be installed). It will include lighting placed within the structure under the peak of the roof. It will be oriented downwards to minimize any impacts on the surrounding area.
- Other amenities will include several wooden benches for seating, bicycle parking (three spaces), ADA compliant loading and unloading zone, trash and recycling receptacles, picnic tables, fencing and bollards, drinking fountain, and a dog waste bin.
- A total of 12 new trees and a large number of new shrubs will be planted on the site. Plantings will include a pollinator planting area and stormwater feature. The majority of the new plants will be native species.

No trees are planned for removal at this site.

The proposed improvements to Bowman-Brae Park build on and incorporate the results of extensive concept planning and community engagement efforts conducted by the City and its planning team in 2022 and 2023. Throughout 2022, the city hosted three large public events, multiple online surveys and focus groups with Milwaukie's Black, Indigenous and People of Color (BIPOC) community members. After preparing and refining initial concepts, a revised draft Concept Plan for the park was approved by Milwaukie City Council on December 6, 2022. The proposed design and improvements build on and are generally consistent with those efforts.

The plans also build on concept planning efforts conducted by the North Clackamas Park and Recreation District in 2015. That plan assumed a similar set of amenities and features to those proposed in this application, including new pathways, a play area and equipment, seating, bicycle parking, and a variety of new plantings (trees, shrubs and other landscaping). That Concept Plan and adoption application are included as Attachment L.

As noted above, Attachment I includes examples of the types of amenities that may be included in the park. These should be considered as examples only and not as proposed final designs. The designs for specific park amenities are still under consideration and may be further refined as the City completes the detailed design and building permit process.

2. 19.301.4 Development Standards (R-MD Base Zone)

Response: The development standards in Subsection 19.301.4 are not applicable to the proposed park development, as they are written only for residential development. This project will meet all of the standards for Subsection 19.904 – Community Service Use as detailed in Section 3 of this application narrative.

3. 19.904.7-11 Community Service Use Standards

19.904.8 Specific Standards for Institutions—Public, Private, Religious, and Other Facilities not Covered by Other Standards

- A. Utilities, streets, or other improvements necessary for the public facility or institutional use shall be provided by the agency constructing the use.**

Response: Per Sheet C22.00 – Utility Plan, all utilities for the park will be provided by the project. Sheet 21.01 shows the existing utilities that will be preserved and protected as part of the site demolition process. Proposed utilities will include new water connections to provide water to the proposed drinking fountain and stormwater management facilities to manage stormwater from new impervious surfaces.

- B. When located in or adjacent to a residential zone, access should be located on a collector street if practicable. If access is to a local residential street, consideration of a request shall include an analysis of the projected average daily trips to be generated by the proposed use and their distribution pattern, and the impact of the traffic on the capacity of the street system which would serve the use. Uses which are estimated to generate fewer than 20 trips per day are exempted from this subsection.**

Response: Primary pedestrian access to the site will be located on the southeast corner of the site at the termination of SE Brea St. into SE Bowman St. Each of these streets is a local street. This site will provide relatively modest passive and active recreational features, including a picnic shelter, modest play area, pathways, open space and natural areas which are intended to serve the residents of the neighborhood. As a result, the majority of park users are expected to access the park by walking or bicycling and the park is not anticipated to generate excessive traffic. The types of traffic associated with the proposed park will be those associated with the existing land use which will predominately consist of passenger vehicles.

- C. When located in a residential zone, lot area shall be sufficient to allow required setbacks that are equal to a minimum of $\frac{2}{3}$ the height of the principal structure. As the size of the structure increases, the depth of the setback must also increase to provide adequate buffering.**

Response: The principal structure proposed is the picnic shelter. The proposed setback is approximately 35 feet, which is more than $\frac{2}{3}$ of the height of the shelter structure; therefore this standard is met.

- D. The height limitation of a zone may be exceeded to a maximum height of 50 ft provided Subsection 19.904.8.C of this subsection is met.**

Response: The maximum allowed height in this zone is 35 feet which is taller than the proposed height of the structure. Therefore, no additional height is proposed and this standard is not applicable.

- E. Noise-generating equipment shall be sound-buffered when adjacent to residential areas.**

Response: No permanent noise generating equipment is proposed within the park. The site is not expected to generate any excessive amount of noise outside of those typically associated with a park facility. Park hours will be set to minimize disruptions to adjacent residential areas. In general, park use is expected to be limited to daytime hours. With the exception of lighting for safety, no significant lighting to enable night-time use is proposed.

- F. Lighting shall be designed to avoid glare on adjacent residential uses and public streets.**

Response: As shown on Sheet L22.00, the site will utilize existing lighting fixtures. No additional lighting is proposed. Therefore, this standard is met.

- G. Where possible, hours and levels of operation shall be adjusted to make the use compatible with adjacent uses.**

Response: Standard operating hours for Milwaukie Parks are... As noted above, park use is expected to be limited to daytime hours. These operating hours will minimize impact on neighboring residential uses.

- H. A spire on a religious institution may exceed the maximum height limitation. For purposes of this subsection, "spire" means a small portion of a structure that extends above the rest of the roofline, or a separate structure that is substantially smaller than the main structure and extends above the roofline of the main structure. "Spire" includes but is not limited to ornamental spires, bell towers, other towers, minarets, and other similar structures or projections. The number of spires on a religious institution property is not limited, so long as the spires remain only a small portion of the area of the structures.**

- I. The minimum landscaping required for religious institutions is the lesser of 15% of the total site area and the percentage required by the underlying zone.**

- J. Park-and-ride facilities may be encouraged for institutions along transit routes that do not have days and hours in conflict with weekday uses (e.g., religious institutions**

or fraternal organizations). Such uses may be encouraged to allow portions of their parking areas to be used for park-and-ride lots.

Response: The proposed park project is not a religious institution or other institutional use; therefore Standards H-J do not apply.

4. 19.901.4 Approval Criteria

An application for a community service use may be allowed if the following criteria are met:

- A. The building setback, height limitation, and off-street parking and similar requirements governing the size and location of development in the underlying zone are met. Where a specific standard is not proposed in the CSU, the standards of the underlying zone are met;*

Response: As shown in the previous sections, all standards for the underlying R-MD zone related to height and setbacks will be met. No off-street parking is proposed for the park, given that most visitors are expected to access the park by walking or bicycling, on-street parking is available on Bowman Street, and a passenger drop-off area is proposed to be located at the southeast corner of the park. As a result, this approval criterion is met.

- B. Specific standards for the proposed uses as found in Subsections 19.904.7-11 are met;*

Response: As shown in Section 3 of this application, all standards for the Community Service Use are met and this approval criterion is met.

- C. The hours and levels of operation of the proposed use are reasonably compatible with surrounding uses;*

Response: Standard operating hours for Milwaukie Parks are 30 minutes before sunrise to 30 minutes after sunset. As described in previous sections of this narrative, park use is expected to be limited to daytime hours and operating hours for the park will be set accordingly. As a result, this approval criterion is met.

- D. The public benefits of the proposed use are greater than the negative impacts, if any, on the neighborhood; and*

Response: No negative neighborhood impacts are anticipated as part of this project and the nature of the area will be improved as the lot is currently vacant. This project provides recreational opportunities that are currently lacking in the surrounding neighborhood. The project is designed to be accessible for all ages and abilities and will provide the community with opportunities to play and connect with nature through a combination of passive and active recreational activities. The level of use and associated traffic, noise and other impacts will be similar to and compatible with surrounding residential uses and will enhance the overall character and livability of the surrounding neighborhood. As a result, this approval criterion is met.

E. The location is appropriate for the type of use proposed.

Response: The proposed park is located on a currently undeveloped parcel in a residential neighborhood. A park facility is improvement on the vacant lot and will improve the overall quality of the neighborhood by providing recreation and play facilities, plus opportunities for community gathering. As a result, this approval criterion is met.

Milwaukie Parks Land Use Planning
and Permitting

Bowman-Brae Park Application

Exhibit A – 30% Design Drawings

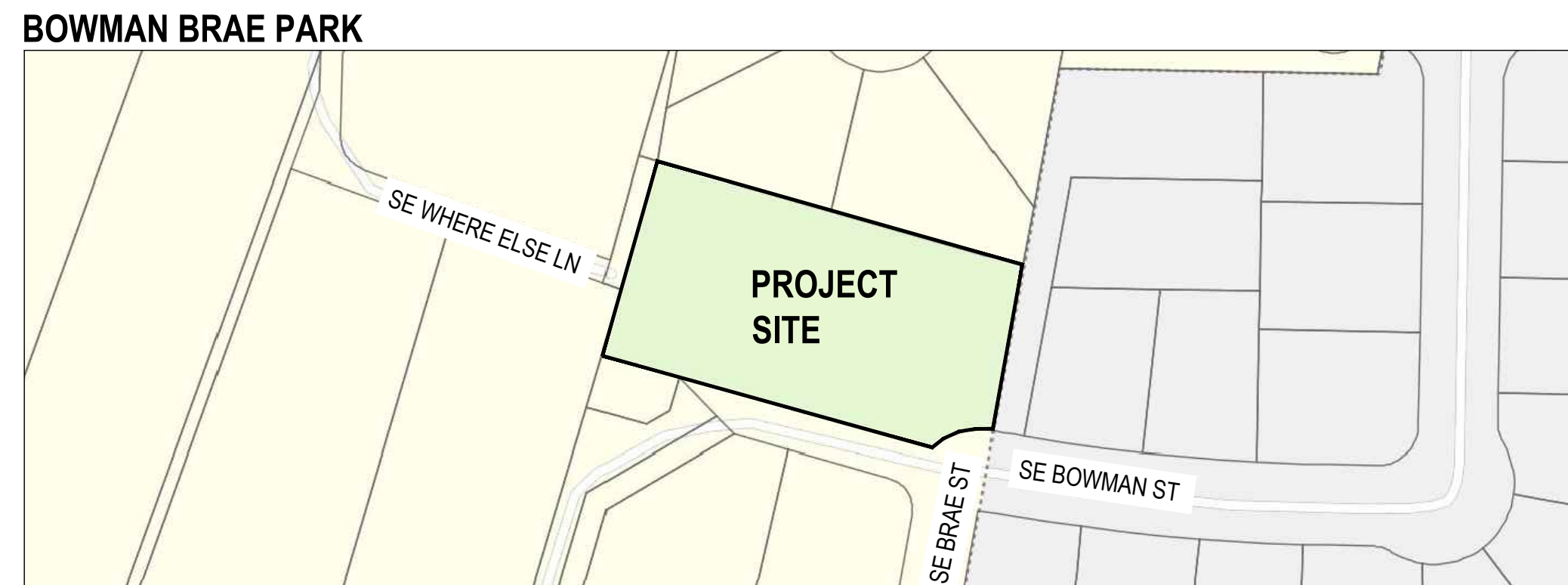
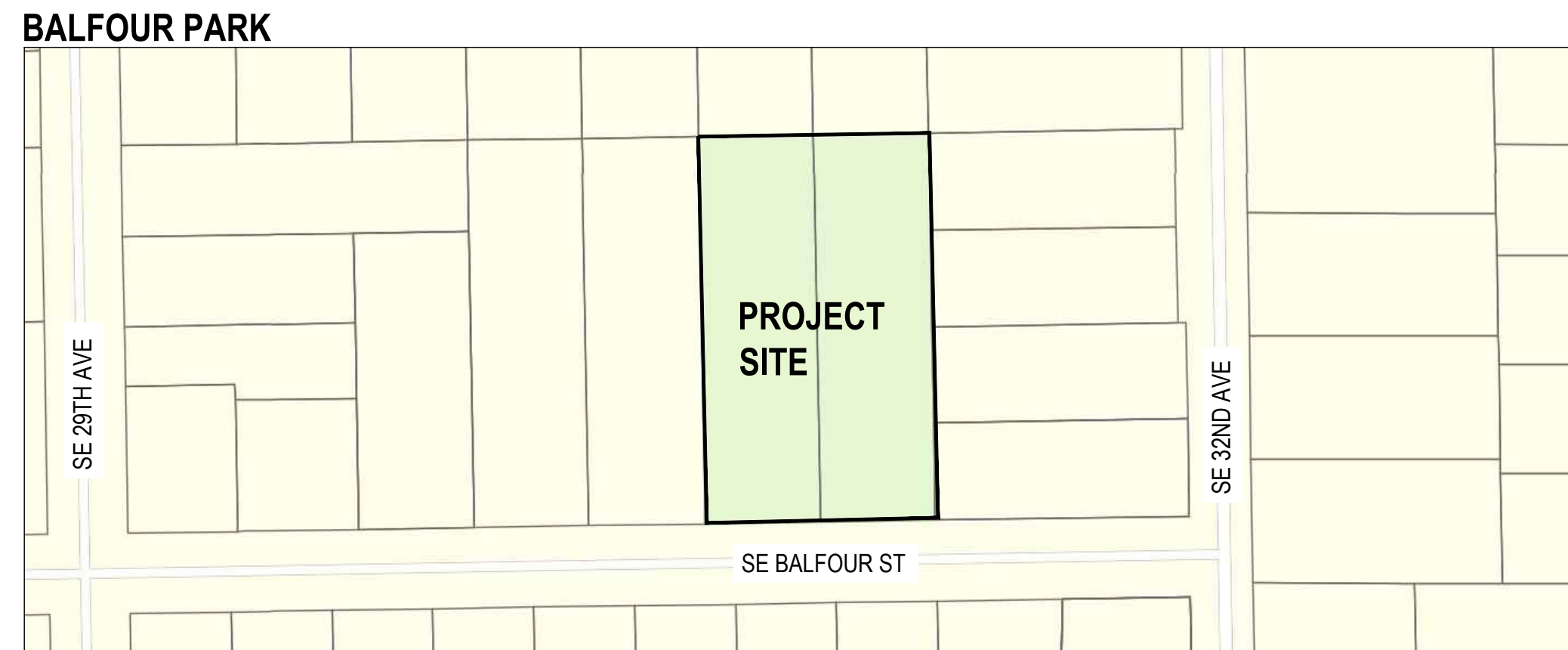
PROJECT DESCRIPTION

SCOTT PARK: LOCATED AT 10660 SE 21ST AVE. AND DEFINED BY LEDDING LIBRARY TO THE SOUTH, POND TO THE EAST AND ADJACENT DEVELOPMENTS AND PARKING AREAS TO THE NORTH AND WEST. TOTAL SITE AREA IS 20,400 SF. THE EXISTING PATH AND PART OF THE LAWN WILL BE DEMOLISHED FOR THE PLANNED SITE FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, POND OVERLOOK AND OTHER AMENITIES. THE EXISTING PARKING, SIDEWALK, AMPHITHEATER AND WAR MEMORIAL WILL REMAIN.

BALFOUR PARK: LOCATED AT 3039 SE BALFOUR ST. AND DEFINED BY SE BALFOUR ST TO THE SOUTH, AND RESIDENTIAL PROPERTIES TO THE EAST, WEST AND NORTH. THE TOTAL SITE AREA IS 35,600 SF. LOW-IMPACT CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, NATURE PLAY FEATURES, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

BOWMAN BRAE PARK: LOCATED AT 4267 SE BOWMAN ST. AND DEFINED BY SE BOWMAN ST TO THE SOUTH, PRIVATE DRIVE TO THE EAST AND ADJACENT RESIDENTIAL PROPERTIES TO THE NORTH AND WEST. TOTAL SITE AREA IS 30,000 SF. CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

VICINITY MAPS



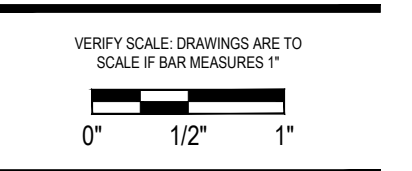
Scott Park, Balfour Park, & Bowman Brae Park

Milwaukie, OR 97222



SHEET INDEX

SHEET #	SHEET TITLE	SHEET COUNT	SHEET #	SHEET TITLE	SHEET COUNT
ALL PARKS					
G0.00	COVER SHEET & SHEET INDEX	01	C22.00	UTILITY PLAN	34
G0.01	GENERAL NOTES AND ABBREVIATIONS	02	C22.01	FRONTAGE IMPROVEMENTS	35
			C22.02	EROSION CONTROL PLAN AND DETAILS	36
SCOTT PARK					
L1.01	EXISTING CONDITIONS PLAN	03	L22.01	MATERIALS NOTES	37
L2.01	TREE PROTECTION PLAN	04	L22.01	MATERIALS PLAN	38
L3.01	DEMOLITION PLAN	05	L23.01	LAYOUT PLAN	39
			L24.01	GRADING PLAN	40
C3.00	UTILITY PLAN	06	L25.00	IRRIGATION SCHEDULE AND NOTES	41
C3.01	EROSION CONTROL PLAN AND DETAILS	07	L25.01	IRRIGATION PLAN	42
			L26.00	PLANT SCHEDULE AND NOTES	43
L4.00	MATERIALS NOTES	08	L26.01	PLANTING PLAN	44
L4.01	MATERIALS PLAN	09	L27.01	SITE SECTIONS	45
L5.01	LAYOUT PLAN	10	ALL PARKS		
L6.01	GRADING PLAN	11	C28.01	CIVIL DETAILS	46
L7.00	IRRIGATION SCHEDULE AND NOTES	12	C28.02	CIVIL DETAILS	47
L7.01	IRRIGATION PLAN	13	L28.01	SITE DETAILS	48
L8.00	PLANT SCHEDULE AND NOTES	14	L28.02	SITE DETAILS	49
L8.01	PLANTING PLAN	15	L29.01	IRRIGATION DETAILS	50
L9.01	SITE SECTIONS	16	L29.02	IRRIGATION DETAILS	51
			L30.01	PLANTING DETAILS	52
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Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukie
 10722 SE Main Street
 Milwaukie, OR 97222
 503-786-7555

Submittal: Design Development
 Sheet Title:
 Cover

PROJECT DIRECTORY

OWNER / CONTACT	LANDSCAPE ARCHITECT	CIVIL ENGINEER	SITE SURVEY	ARBORIST
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SUBMITTAL

30% CONSTRUCTION DOCUMENTS
 ISSUE DATE: APRIL 11, 2023
 REVISION DATE:

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC
 Checked By: BJ/GM
 Job No. 210234.1
 Approved: GW

GO.00
 Sheet No. 01 of 52

GENERAL NOTES

- 1. ALL WORK PERFORMED IN CONNECTION WITH THE CONTRACT DOCUMENTS, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, PRACTICES AND REQUIREMENTS OF THE APPLICABLE FEDERAL, STATE AND LOCAL AUTHORITIES.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH ALL CONSTRUCTION ACTIVITIES.
3. IT SHALL BE UNDERSTOOD THAT THE IMPROVEMENTS SHOWN ON THE DRAWINGS AND SPECIFICATIONS ARE MEANT TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
4. COMPLY WITH OREGON LAW REQUIRING ADHERENCE TO THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER.
5. REPAIR AT OWN EXPENSE ANY DAMAGE DONE TO UTILITY SYSTEMS, SURFACE PAVEMENTS, SITE FEATURES, AND STRUCTURES.
6. ALL QUANTITIES SHOWN ON THE DRAWINGS OR SPECIFICATIONS ARE FOR CONVENIENCE ONLY.
7. UPON PROJECT COMPLETION, THE PROJECT AREA AND ADJACENT SPACES SHALL BE FREE AND CLEAR OF ALL CONSTRUCTION MATERIALS, WASTE AND DEBRIS.

GENERAL LEGEND

Table with 4 columns: SYMBOL, ITEM, SYMBOL, ITEM. Lists various landscape elements like building outlines, signs, bollards, bike racks, roof drains, electrical junction boxes, meters, outlets, cabinets, switches, vaults, transformers, luminaires, flood lights, overhead lights, storm manholes, sanitary structures, water valves, fire hydrants, and water meters.

TABLE OF ABBREVIATIONS

Table listing abbreviations and their corresponding full names. Includes terms like ALUM (ALUMINUM), ARCH (ARCHITECT), AC (ASPHALT CONCRETE), BC (BOTTOM OF CURB), B&B (BALLED AND BURLAP), BLDG (BUILDING), BM (BENCHMARK), BPRD (BEND PARKS & RECREATION DISTRICT), BS (BOTTOM OF STAIR), BR (BOTTOM OF RAMP), BOW (BOTTOM OF WALL (ELEV. BELOW FINISH GRADE)), BW (BOTTOM OF WALL (ELEV. AT FINISH GRADE)), CB (CATCH BASIN), CF (CUBIC FEET), CAL (CALIPER), CJ (CONTRACTION JOINT), CLR (CLEAR), CIP (CAST-IN-PLACE), CONT (CONTAINER / CONTINUOUS), CL / € (CENTER LINE), CP (CENTER POINT), CT (CURRENT TRANSFORMER), DIM (DIMENSION), DIA (DIAMETER), DEMO (DEMOLISH), DOM (DOMESTIC WATER LINE), (E) (EXISTING), EA (EACH), EJ (EXPANSION JOINT), ELC (EXTERIOR LIGHTING CONTROL), ELEV (ELEVATION), ENG (ENGINEER), EOP (EDGE OF PAVEMENT), EQ (EQUAL), EST (ESTIMATE), FB (FLAT BAR), FD (FIELD DRAIN), FG (FINISH GRADE), FL (FLOW LINE), FOC (FACE OF CURB), FTG (FOOTING), GALV (GALVANIZED), GA (GAUGE), GFI (GROUND FAULT INTERRUPTER), GB (GROUND BREAK), GND (GROUND), HDG (HOT DIP GALVANIZED), HMAC (HOT MIX ASPHALT CONCRETE), MHMAC (MINOR HOT MIX ASPHALT CONCRETE), HORIZ (HORIZONTAL), HP (HIGH POINT), HSS (HOLLOW STRUCTURAL SECTION), ID (INSIDE DIAMETER), IE (INVERT ELEVATION), INT (INTERMEDIATE), IR (IRON ROD), JT (JOINT), LT (LEFT), LF (LINEAR FEET), LP (LOW POINT), MAX (MAXIMUM), MIN (MINIMUM), MH (MANHOLE), NIC (NOT IN CONTRACT), NOM (NOMINAL), NPS (NOMINAL PIPE SIZE), NTS (NOT TO SCALE), OH (OVER HEAD), OC (ON CENTER), OD (OUTSIDE DIAMETER), OFCI (OWNER FURNISHED CONTRACTOR INSTALLED), PA (PLANTING AREA), PC (POINT OF CURVATURE), PCC (POINT OF COMPOUND CURVATURE / PORTLAND CEMENT CONCRETE), PI (POINT OF INTERSECTION), PIP (POURED-IN-PLACE), PL (PLATE), PLS (PURE LIVE SEED), POT (POINT OF TANGENCY), PT (PRESSURE TREATED), PERF (PERFORATED), PK (POINT KNOWN), PP (POWER POLE), PVC (POLYVINYL CHLORIDE PIPE), R (RADIUS), REF (REFERENCE), REINF (REINFORCED / REINFORCEMENT), REQ'D (REQUIRED), ROW (RIGHT-OF-WAY), RPZ (ROOT PROTECTION ZONE), RT (RIGHT), SAN (SANITARY), SD (STORM DRAIN), SEC (SECONDARY), SIM (SIMILAR), SS (SANITARY SEWER), SSSL (STAINLESS STEEL), STA (STATION), STD (STANDARD), STR (STRUCTURAL), TD (TRENCH DRAIN), TEL (TELEPHONE), THK (THICK), TOPO (TOPOGRAPHY), TC (TOP OF CURB), TR (TOP OF RAMP), TS (TOP OF STAIR), TPZ (TREE PROTECTION ZONE), TYP (TYPICAL), TW (TOP OF WALL), UG (UNDERGROUND), VIF (VERIFY IN FIELD), VAR (VARIES), VC (VERTICAL CURVE), VOL (VOLUME), W (WITH), W/O (WITHOUT), WM (WATER METER), WP (WORK POINT), WT (WEIGHT), WWM (WELDED WIRE MESH), YD (YARD).

SYMBOLS LEGEND

Table with 2 columns: SYMBOL, ITEM. Shows symbols for leader labels, reference keynotes, detail and elevation references, section references, enlargement references, linear and radius dimensions, angle dimensions, sheet matchlines, scale bars, north arrows, revision triangles, and limit of work lines.

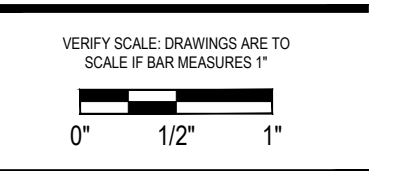
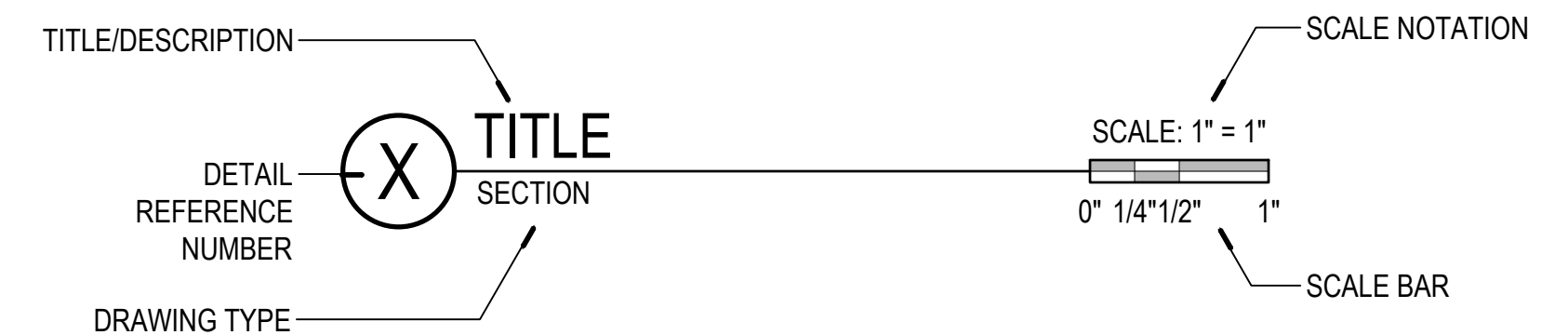
SITE DETAIL KEYNOTE SYSTEM LEGEND

Table for SITE DETAIL KEYNOTES. Includes a key for keynote category heading number and title, and key for keynote callout reference numbers. The main table lists keynotes 1.1 through 1.6 under the category 'PAVING / CURBS / RAMPS', with columns for NUMBER, ITEM, DETAIL / SHEET, and SPEC SECTION.

THE FOLLOWING KEYNOTE CATEGORIES HAVE BEEN PROPOSED IN THIS PROJECT:

- 1.0 PAVING / CURBS / RAMPS
2.0 JOINTING
3.0 STAIRS
4.0 WALLS
5.0 SITE FURNISHINGS
6.0 RAILINGS
7.0 DRAINAGE
8.0 IRRIGATION
9.0 PLANTING
10.0 PLAY
11.0 LIGHTING

DETAIL FRAME LEGEND



Project: Scott Park, Balfour Park, & Bowman Brae Park
City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53228
503-786-7555

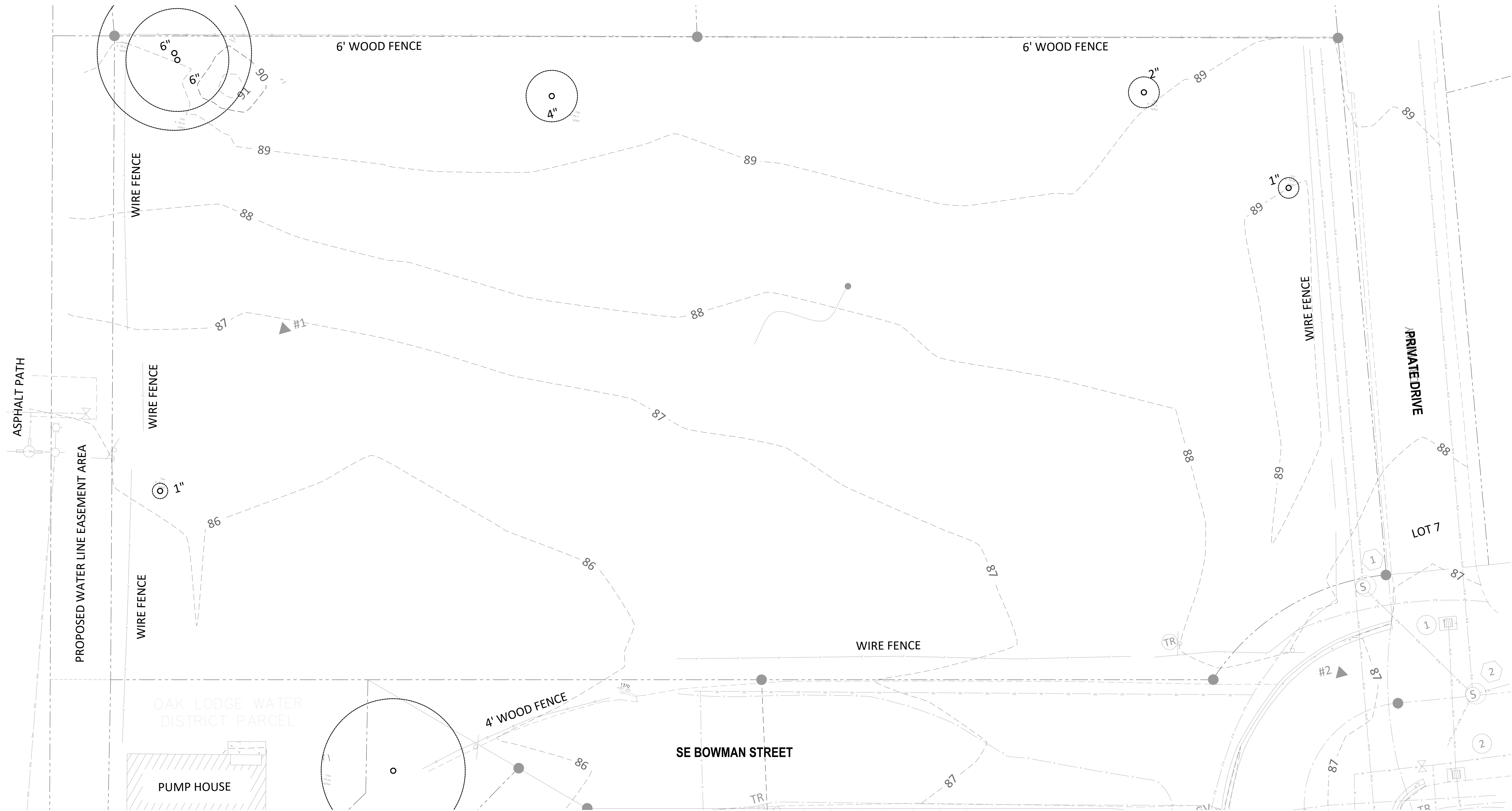
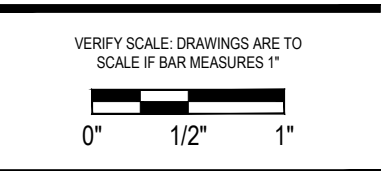
General Legend, Notes, and Abbreviations

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Date: 04/11/2023
Revisions:

Drawn By: GM/YC
Checked By: BJ/GM
Job No. 210234.1
Approved: GW

G0.01
Sheet No. 02 of 52



UTILITY LOCATES

- UTILITY LOCATIONS SHOWN ARE PER FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.

BASIS OF ELEVATION

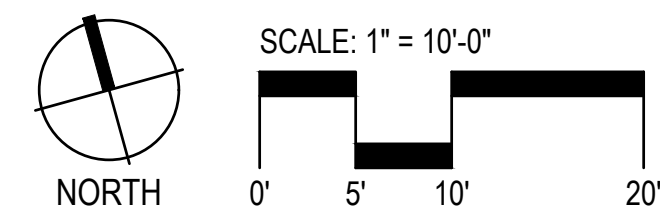
- THE VERTICAL DATUM IS NAVD 88 (GEOD 12A). ELEVATION WAS ESTABLISHED THROUGH A GPS OBSERVATION ON CONTROL POINT NO. 1 USING THE OREGON REAL-TIME GPS NETWORK (ORGN).
- BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTH LINE OF PENNYWOOD SUBDIVISION AS SOUTH 74°27'44" EAST AS ESTABLISHED FROM FOUND MONUMENTS.

EXISTING CONDITIONS GENERAL NOTES

- SURVEY PROVIDED BY KPFF ON APRIL 20, 2022
- THE SCALE OF THE EXISTING CONDITIONS DRAWINGS ARE HALF THE SCALE INDICATED ON THE PLANS WHEN THE DRAWINGS ARE SIZE 11"X17".

EXISTING CONDITIONS LEGEND

SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		STORM MANHOLE WITH STRUCTURE		SANITARY SEWER LINE		EXISTING TREE
	SANITARY STRUCTURE		CURB LINE		WATER LINE		PROJECT CONTROL POINT
	SANITARY MANHOLE WITH STRUCTURE		EDGE OF ASPHALT		GAS LINE		CONCRETE SURFACE
	SANITARY CLEAN OUT		RIGHT-OF-WAY LINE		TELECOM LINE		ASPHALT SURFACE
	POWER POLE		EASEMENT LINE		WOOD FENCE		MAJOR CONTOUR
	TELECOM RISER		LOT LINE		CATCH BASIN		MINOR CONTOUR
	WATER METER		PROPERTY LINE		WATER VALVE		
	POWER POLE / LIGHT		ELECTRICAL LINE		FIRE HYDRANT		



Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park

City of Milwaukee
 10722 SE Main Street
 Milwaukee, OR 97222
 503-786-7555

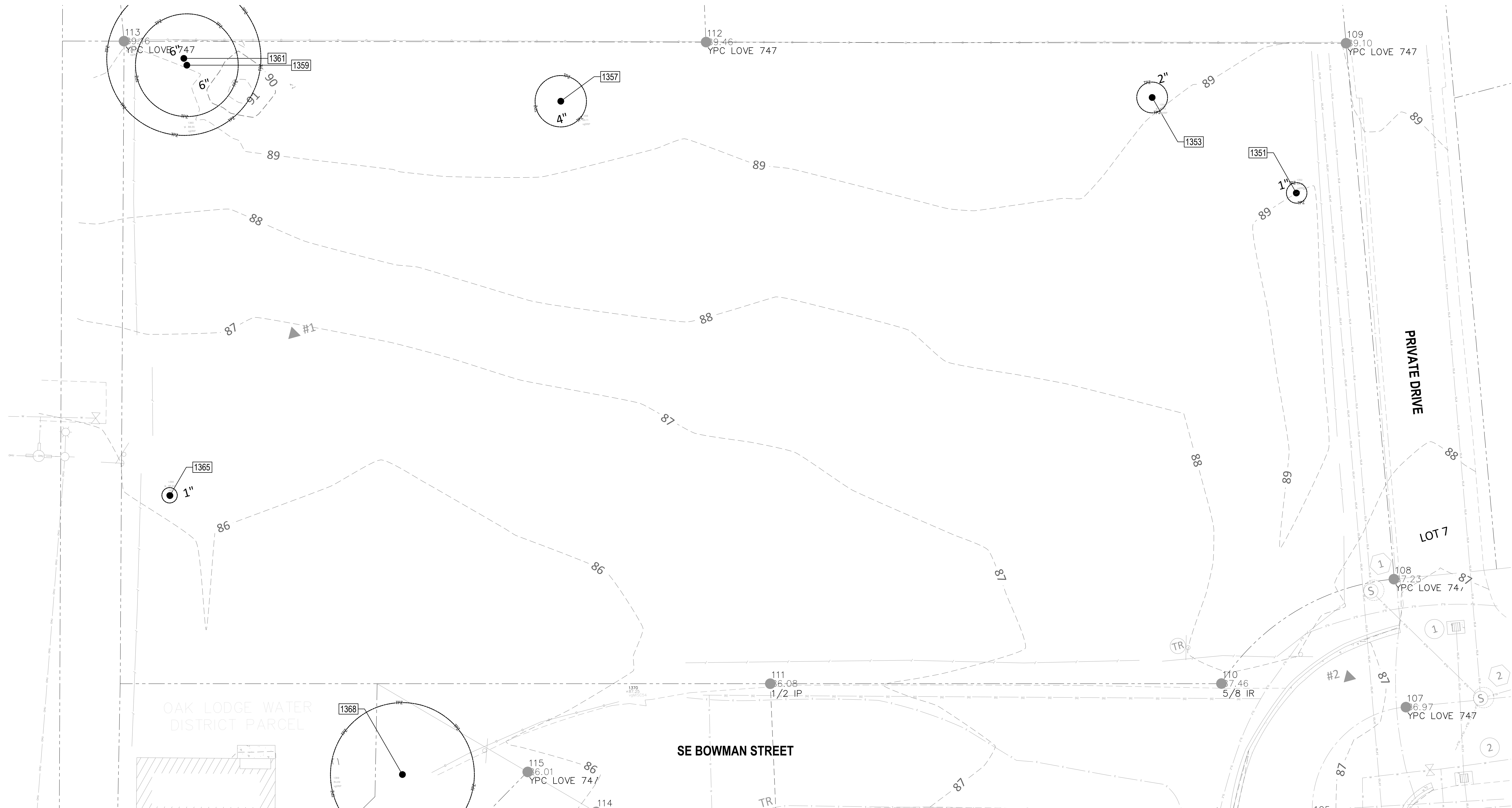
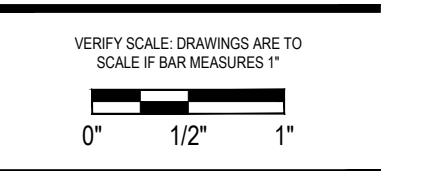
Submittal: Design Development
 Sheet Title – Bowman Brae Park :
 Existing Conditions Plan

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Date: 04/11/2023
 Revisions:

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 Checked By: BJ/GM
 Job No. 210234.1
 Approved: GW

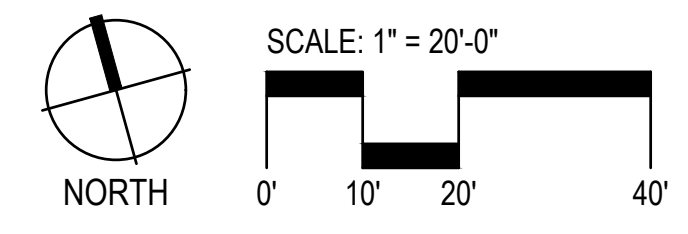
L19.01
 Sheet No. 31 of 52



Project: **Scott Park, Balfour Park, & Bowman Brae Park**
 City of Milwaukee
 10722 SE Main Street
 Milwaukee, WI 53222
 503-786-7555

Submittal: Design Development
Sheet Title – Bowman Brae Park : Tree Protection Plan

- TREE PROTECTION GENERAL NOTES**
1. REFER TO ARBORIST REPORT FOR ALL TREE NUMBERS, SPECIES IDENTIFICATION, AND TREE HEALTH.
 2. NO CONSTRUCTION ACTIVITIES ALLOWED TO IMPACT ONE-HALF TREE PROTECTION ZONE (TPZ) AREA.
 3. TRUNK PROTECTION AND SUPPLEMENTAL WATERING MAY BE REQUIRED AT THE DISCRETION OF THE PROJECT ARBORIST.
 4. ANY CONSTRUCTION WORK INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING AND TRENCHING IN ANY TPZ SHALL ONLY BE DONE WITH WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE. CUT AND GRIND ALL STUMPS EXCEPT AS NOTED.
 5. NO PARKING, EXCAVATION, TRENCHING, GRADING, ROOT PRUNING, STOCKPILING OF ANY MATERIALS OR OTHER ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION FENCING UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
 6. TREE PROTECTION FENCING NOT TO BE MOVED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.



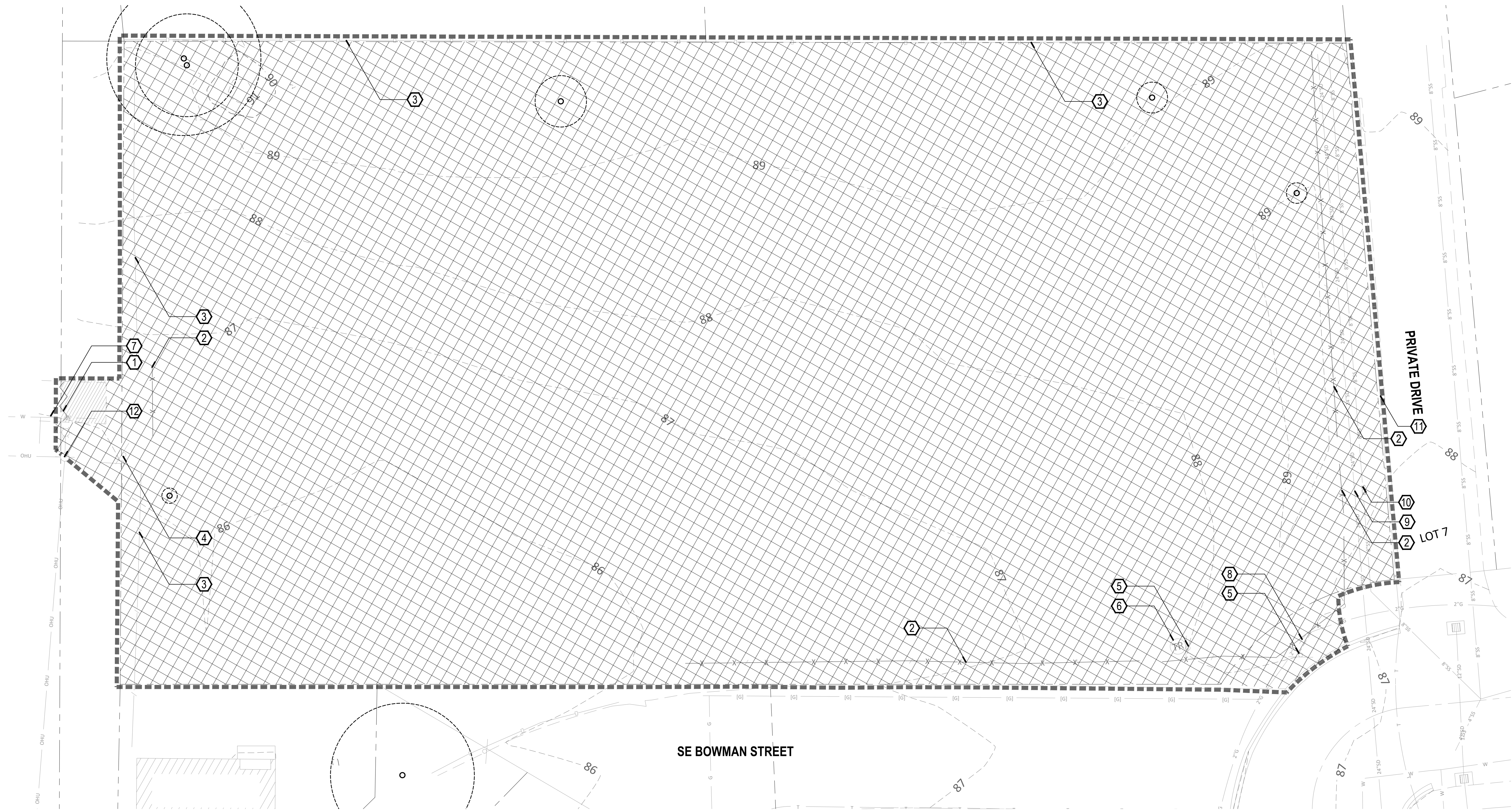
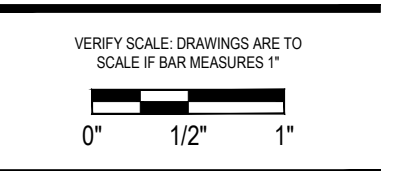
TREE PROTECTION LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	EXISTING TREES TO REMAIN		EXISTING TREES TO BE REMOVED
	TREE IDENTIFICATION LABEL		TREE PROTECTION ZONE (TPZ)
	TREE PROTECTION FENCING		

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 Checked By: BJ/GM
 Job No. 210234.1
 Approved: GW

L20.01
 Sheet No. 32 of 52

G:\PROJECTS\20234_1_MILWAUKEE_PARKS_CE_DESIGN_DEVELOPMENT_SERVICES\02_PRODUCTION\01_CADD\03_BOWMAN_BRAE_PARK\01_PLOT_SHEETS\210234_1_BWMM_TPRO.DWG



SITE DEMOLITION REFERENCE NOTES

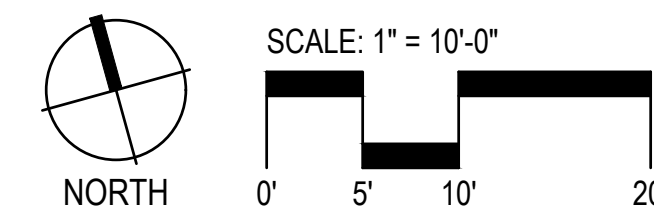
1. SAW CUT AND REMOVE CONCRETE OR ASPHALT PAVEMENT.
2. REMOVE AND DISPOSE OF EXISTING CHAIN AND BOLLARD FENCE.
3. PRESERVE AND PROTECT EXISTING FENCE.
4. REMOVE AND DISPOSE OF EXISTING SIGN.
5. SALVAGE EXISTING SIGN AND RELOCATE.
6. SALVAGE EXISTING TRASH RECEPTACLE.
7. PRESERVE AND PROTECT EXISTING WATER LINE.
8. PRESERVE AND PROTECT EXISTING GAS LINE.
9. PRESERVE AND PROTECT EXISTING STORM LINE.
10. PRESERVE AND PROTECT EXISTING SANITARY SEWER LINE.
11. PRESERVE AND PROTECT EXISTING TELECOMMUNICATIONS LINE.
12. PRESERVE AND PROTECT EXISTING POWER POLE / OVERHEAD LIGHT.

SITE DEMOLITION GENERAL NOTES

1. ITEMS ENCOUNTERED ON SITE (INCLUDING BELOW GRADE) WITHIN THE LIMITS OF WORK OR OTHERWISE FORTHCOMING WORK AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
2. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO COMPLETING BEGINNING ANY DEMOLITION WORK TO VERIFY WORK LIMITS AND IDENTIFY VEGETATION TO REMAIN.
3. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS IS APPROXIMATE AND MAY VARY IN THE FIELD. ADDITIONAL UTILITIES MAY EXIST ON SITE THAT ARE NOT SHOWN ON THE DRAWINGS. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.
4. SEE SPECIFICATIONS FOR GENERAL DEMOLITION, SALVAGE, CLEARING AND GRUBBING REQUIREMENTS.
5. ALL TREES EXCEPT THOSE SPECIFICALLY DESIGNATED ON THIS DRAWING TO BE REMOVED SHALL BE PROTECTED IN-PLACE. ADD TREE PROTECTION FENCING PRIOR TO DEMOLITION.
6. EROSION CONTROL FENCING SHALL BE INSTALLED BY CONTRACTOR PRIOR TO SITE DEMOLITION AND MUST REMAIN IN PLACE DURING ALL CONSTRUCTION PHASES.
7. SEE SITE DEMOLITION REFERENCE NOTES FOR HANDLING AND REUSE OF SALVAGED MATERIAL.
8. SEE GRADING PLAN AND DETAILS FOR REQUIRED EXCAVATION DEPTHS FOR SIDEWALKS, PAVEMENTS, PLAYGROUNDS AND LANDSCAPE AREAS.
9. ELEMENTS ON THE DRAWINGS SHOWN TO BE REMOVED SHALL BE REMOVED TO THE FULL DEPTHS OF THEIR CONSTRUCTION.
10. WORK AREAS INDICATED BY THE LIMIT OF WORK LINE SHALL BE COMPLETELY ENCLOSED WITH ABOVE GROUND SUPPORTED TEMPORARY CHAIN LINK FENCING A MINIMUM OF 6 FEET IN HEIGHT.
11. ALL SALVAGED ITEMS SHALL BE REUSED OR RETURNED TO THE OWNER'S REPRESENTATIVE AS INDICATED ON THE DRAWINGS.
12. DISPOSE ALL REMOVED MATERIALS OFF SITE IN AN APPROVED MANNER.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE CONSTRUCTION SITE, CONSTRUCTION EQUIPMENT, AND TO KEEP THE PUBLIC FROM HARM DUE TO CONSTRUCTION ACTIVITIES AND WORK IN PROGRESS.

DEMOLITION LEGEND

SYMBOL	ITEM
	LIMIT OF WORK
	SAW CUT CONCRETE OR ASPHALT PAVING
	CLEAR AND GRUB
	CHAIN STANCHION TO BE REMOVED
	TREE TO BE REMOVED



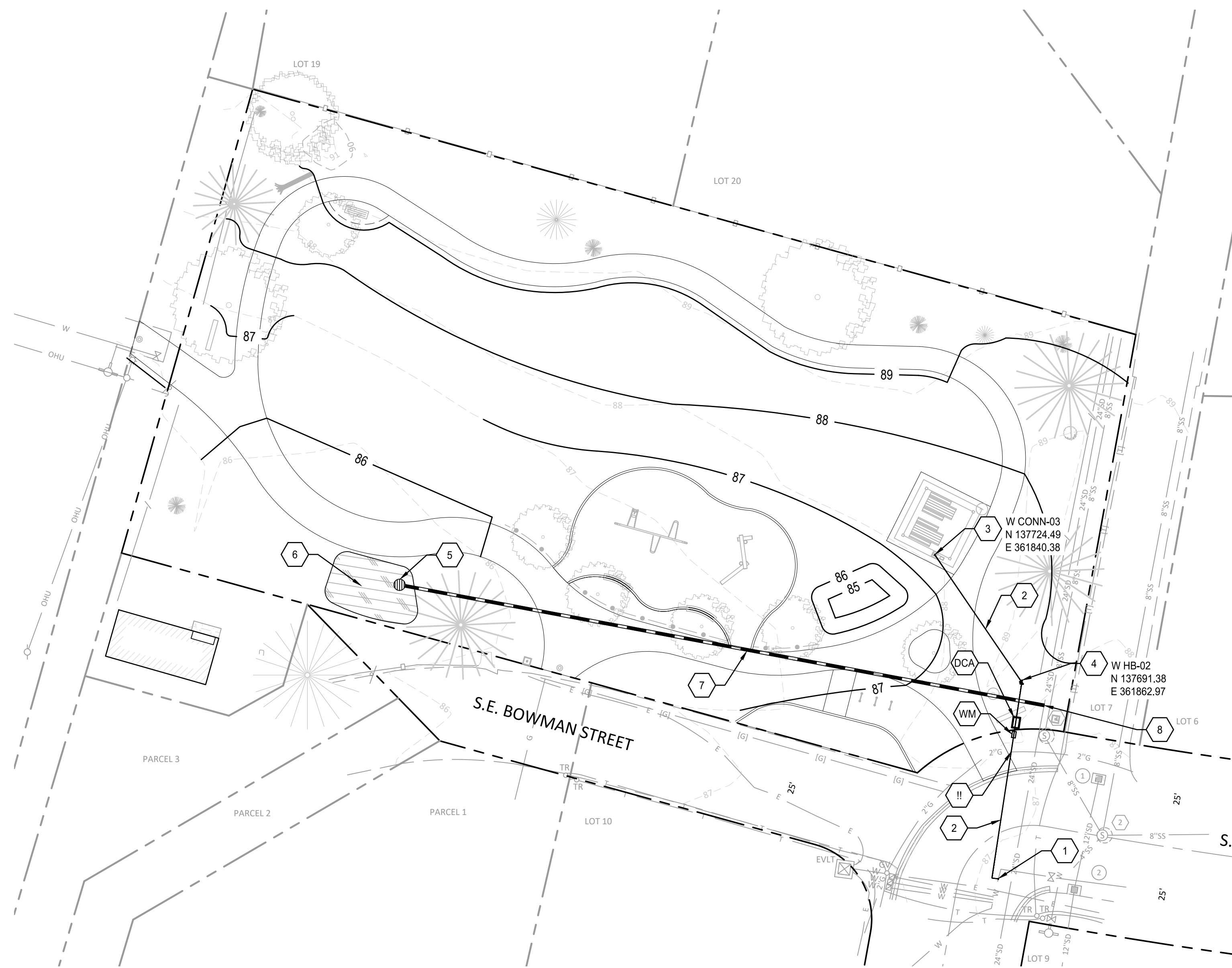
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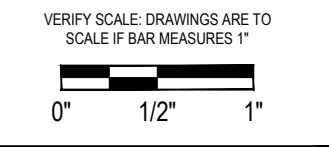


SHEET NOTES

1. PIPE BEDDING AND BACKFILL FOR ALL UTILITIES PER CITY OF MILWAUKIE STANDARD DETAIL 510/C28.00.
2. STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE.
3. INSTALL THRUST BLOCK ON WATER LINES PER DETAIL 1/C28.00.

UTILITY KEY NOTES

NOTE	DESCRIPTION	DETAIL REF.
1	INSTALL NEW WATER SERVICE CONNECTION TO CITY MAIN.	401/C28.00
2	INSTALL NEW 2" WATER LINE	
3	CONNECT TO WATER FOUNTAIN FEATURE, SEE LANDSCAPING PLANS FOR DETAILS.	
4	INSTALL NEW 45° BEND.	
5	INSTALL OVERFLOW INLET.	
6	LINED STORMWATER PLANTER	
7	INSTALL 8" STORM LINE.	
8	CONNECT TO CITY STORM SYSTEM.	
WM	INSTALL WATER METER.	401/C28.00
DCA	INSTALL DOUBLE CHECK BACKFLOW ASSEMBLY.	2/C28.00
!!	UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.	3/C28.00



UTILITY LABEL LEGEND

STRUCTURE LABEL

- UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP=FIRE PROTECTION)
- STRUCTURE TYPE CALLOUT
- ID NUMBER (WHERE APPLICABLE)
- LOCATION (WHERE APPLICABLE)
- STRUCTURE INFO (WHERE APPLICABLE)

PIPE LABEL

- UTILITY LENGTH
- UTILITY SIZE
- UTILITY TYPE
- SLOPE (WHERE APPLICABLE)

STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
CO	CLEANOUT TO GRADE	
DCA	DOUBLE CHECK BACKFLOW ASSEMBLY	2/C28.00
OF	OUTFALL	
OV	OVERFLOW INLET	
TEE	TEE CONNECTION	

Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7555

Submittal: Design Development
Sheet Title - Bowman Brae Park:
UTILITY PLAN

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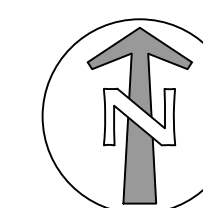
Revisions:

Drawn By: CK/RC

Checked By: JZ

Job No. 210234.1

Approved: CV



C22.00
Sheet No. 34 of 52

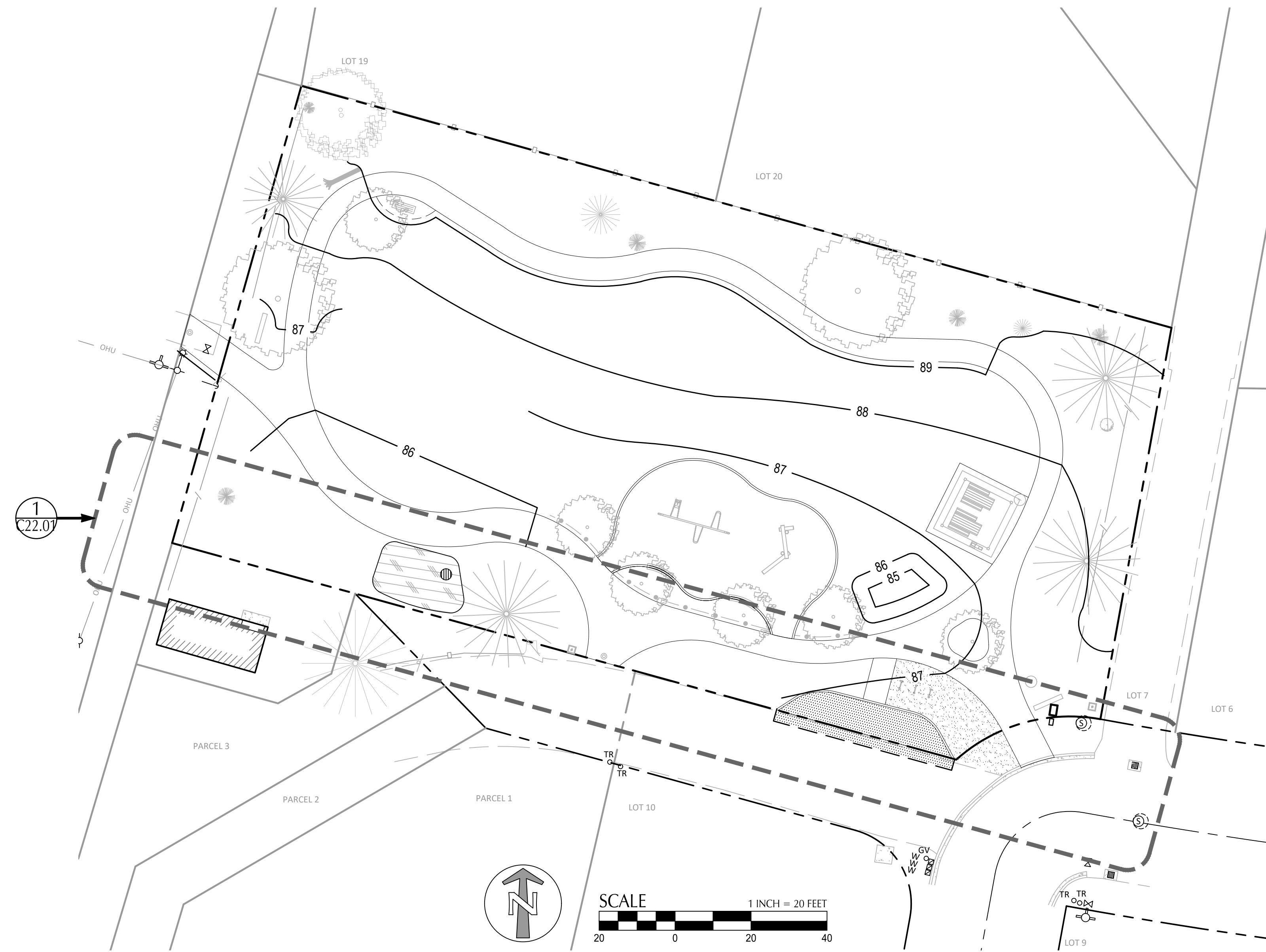


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SHEET NOTES

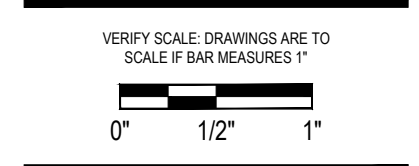
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
2. ALL SIDEWALK PAVEMENT JOINTS SHALL BE CONSTRUCTED PER DETAIL XX/XX.X.

(X) PUBLIC WORKS KEY NOTES

#	DESCRIPTION	DETAIL REF.
P1	CONCRETE SIDEWALK	
P2	CONCRETE DRIVEWAY	
P3	CONCRETE CURB RAMP WITH DETECTABLE WARNING	

SHEET LEGEND

	PROPERTY LINE		(X) (S.V)
	SAWCUT LINE		(X) (S.V)
	GRAVEL		
	STANDARD ASPHALT PAVEMENT		



Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7555

Submittal: Design Development
Sheet Title - Bowman Brae Park:
FRONTAGE IMPROVEMENT

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Date: 03/21/2023

Revisions:

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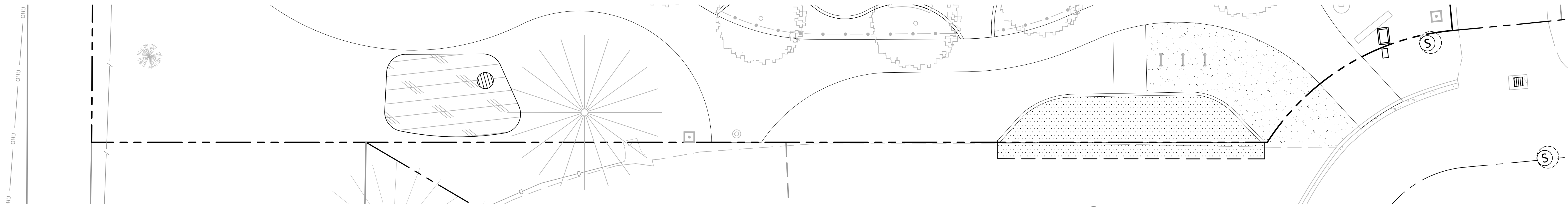
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Job No. 210234.1

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C22.01

Sheet No. 35 of 52



1 ENLARGEMENT 1
SCALE: 1" = 10'

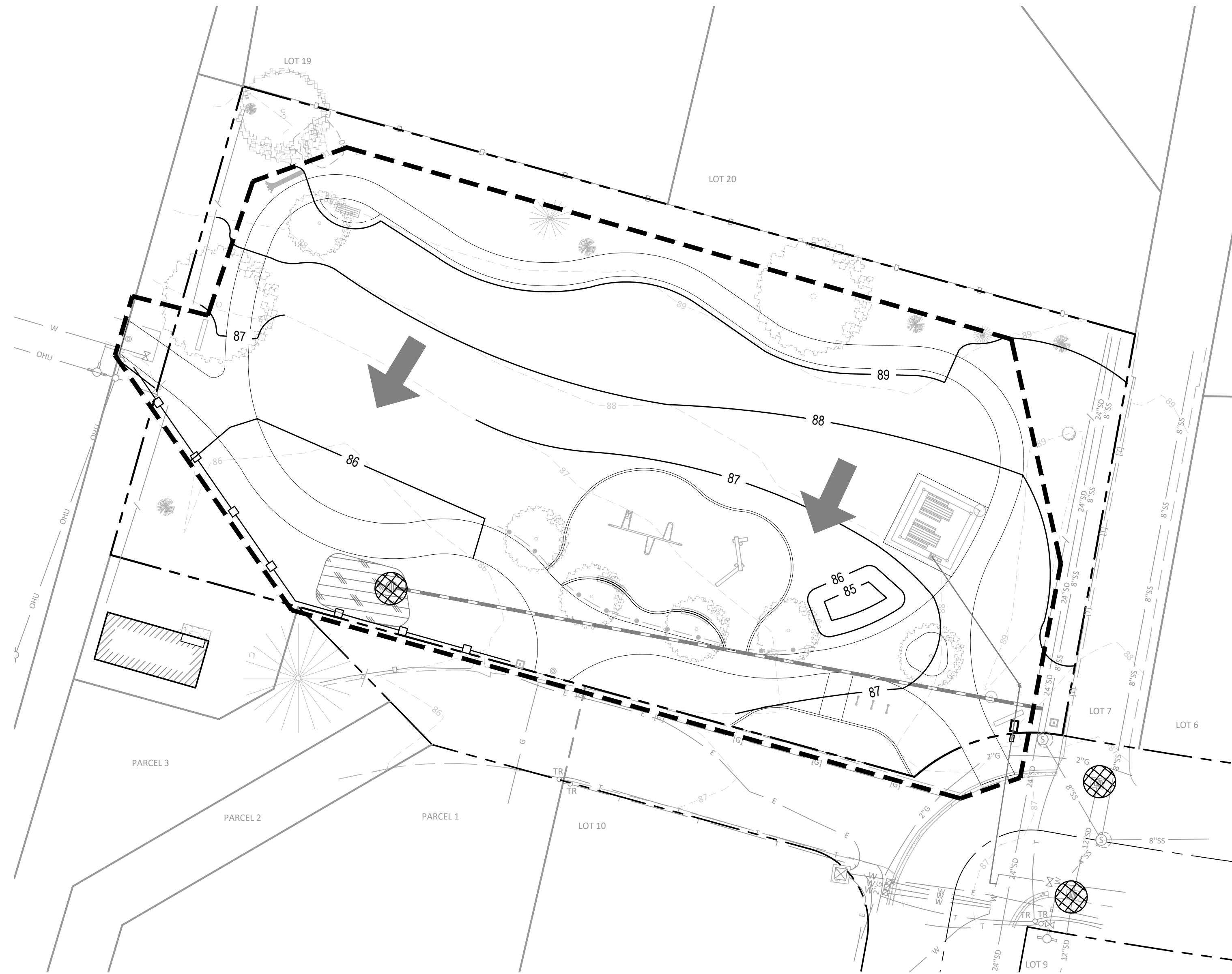




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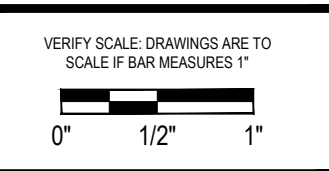


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EROSION PREVENTION AND SEDIMENT CONTROL (ECS) NOTES:

1. ALL EROSION PREVENTION MEASURES SHALL BE IN PLACE, FUNCTIONAL, AND APPROVED IN ACCORDANCE WITH THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. ALL SOIL DISTURBING AND CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH MMC CHAPTER 16.28 EROSION CONTROL AND ANY APPLICABLE LOCAL, STATE OR FEDERAL REQUIREMENTS.
2. ALTERNATIVE SEDIMENT CONTROLS MUST PROVIDE A DISCHARGE THAT IS CLEAN AND FREE OF SEDIMENT, SURFACTANTS, AND OTHER POLLUTANTS PRIOR TO ENTERING THE STORM SYSTEM. APPROVAL OF ALTERNATIVE SEDIMENT CONTROLS BY THE CITY OF MILWAUKIE WASTEWATER DIVISION MANAGER IS REQUIRED PRIOR TO INSTALLATION.
3. WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES SHALL BE DEVELOPED, MAINTAINED, AND IMPLEMENTED ON THE CONSTRUCTION SITE.
4. DUMPING OR DISPOSAL OF SPOIL MATERIALS INTO ANY STREAM CORRIDOR, WETLANDS, SURFACE WATERS OR ON ANY PUBLIC OR PRIVATE PROPERTY NOT SPECIFIED FOR SAID PURPOSE IS PROHIBITED.
5. SEDIMENT AND POLLUTANTS SHALL NOT BE WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES. DRY SWEEPING SHALL BE IMPLEMENTED TO CLEAN UP CONSTRUCTION AREAS TO PREVENT RELEASE OF SEDIMENTS INTO THE STORM SYSTEM.
6. DISPOSAL OF SEDIMENT LADEN WATER INTO THE WASTEWATER SYSTEM IS PROHIBITED, UNLESS PRIOR WRITTEN APPROVAL IS RECEIVED FROM THE CITY OF MILWAUKIE WASTEWATER DIVISION MANAGER. SEDIMENT LADEN WATER SHALL BE PUMPED THROUGH AN APPROVED SEDIMENT CONTROL BMP PRIOR TO DISPOSAL INTO THE WASTEWATER SYSTEM.
7. SAWCUTTING SLURRY AND DEBRIS SHALL BE VACUUMED AND REMOVED FROM ALL IMPERVIOUS SURFACES. VACUUMED SAWCUTTING SLURRY SHALL BE PROPERLY DISPOSED OF AND NOT DISCHARGED INTO THE STORM SYSTEM.
8. WATER TIGHT TRUCKS SHALL BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE.
9. TEMPORARY STABILIZATION AND COVERING OF SOIL STOCKPILES SHALL OCCUR AT THE END OF EACH WORK DAY.
10. ALL TOXIC OR HAZARDOUS MATERIALS SHALL BE PROPERLY STORED, APPLIED, AND DISPOSED.
11. AN AREA SHALL BE DESIGNATED FOR WASHING OUT CONCRETE TRUCKS SUCH THAT RUNOFF FROM WASHING ACTIVITIES ARE CONTAINED AND DO NOT LEAVE THE SITE OR ENTER THE STORM SYSTEM.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE WASHED TO THE STREET OR STORM SYSTEM. SWEEPINGS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN THE TRASH.
13. PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUNOFF INTO THE STORM SYSTEM IS PROHIBITED.
14. TRACKING OF DIRT AND DEBRIS ONTO IMPERVIOUS SURFACES, SUCH AS STREETS AND PARKING LOTS, IS PROHIBITED. IMPERVIOUS SURFACES SHALL BE KEPT FREE OF DIRT AND DEBRIS AT ALL TIMES IF IT CAN BE SPREAD BY TRAFFIC OR CAN ENTER THE STORM SYSTEM.
15. GRAVEL OR DIRT CURB RAMPS ARE PROHIBITED. ONLY WOOD STEP STYLE CURB RAMPS ARE ALLOWED.
16. UPON COMPLETION OF SITE RESTORATION AND APPROVAL FROM THE CITY OF MILWAUKIE ENGINEERING DIRECTOR, ALL TEMPORARY EROSION CONTROL MEASURES MAY BE REMOVED.
17. DRAINAGE FROM SPRINGS OR GROUNDWATER MUST BE ADDRESSED DURING CONSTRUCTION BY THE CONTRACTOR. DISCHARGE FROM GROUNDWATER ENCOUNTERED ON THE SITE MUST BE CLEAN OF SEDIMENT OR POLLUTANTS.
18. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCH, OR OTHER APPROVED MEASURES.
19. DATES OF IMPLEMENTATION OF WET WEATHER MEASURES ARE OCTOBER 1ST TO APRIL 30TH.
20. MATERIALS SHALL NOT BE STOCKPILED ON PUBLIC STREETS OR IN THE RIGHT OF WAY FOR LONGER THAN IMMEDIATE USE.



Project:
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& Bowman Brae Park
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Submittal: Design Development
Sheet Title - Bowman Brae Park:
EROSION CONTROL PLAN

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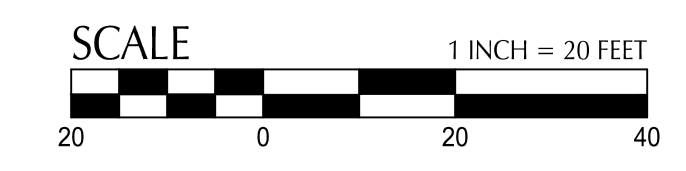
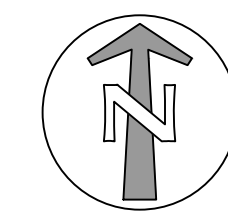
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Revisions:

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Checked By: JZ
Job No. 210234.1
Approved: CV

C22.02
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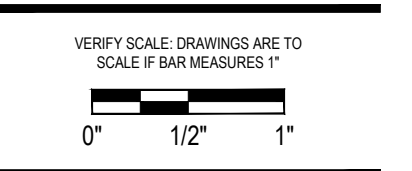
SHEET LEGEND

	PROPERTY LINE		INLET PROTECTION	
	EX. CONTOUR MINOR		SURFACE FLOW DIRECTION	
	EX. CONTOUR MAJOR		TREE PROTECTION FENCE	
	PROP. CONTOUR MINOR		TEMPORARY GRASS SEED MIX	SEE LANDSCAPE PLANS FOR MORE INFORMATION.
	PROP. CONTOUR MAJOR			
	EXTENT OF WORK			
	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).			



SITE MATERIALS KEY NOTES

ITEM	DETAIL /SHEET(S)	SPEC SECTION
1.0 PAVEMENTS, CURBS		
1.1 ASPHALT PAVING		
1.2 CONCRETE PAVING		
1.3 EWF PLAY SURFACING		
1.4 CONCRETE CURB		
2.0 JOINTING		
2.1 DOWELED EXPANSION JOINT		
2.2 CONTRACTION JOINT		
2.3 DUMMY JOINT		
3.0 WALLS		
3.1 CONCRETE PLANTER WALL		
4.0 RAILINGS, BARRIERS		
4.1 BOLLARD AND CABLE FENCING		
4.2 PLAY AREA FENCING		
4.3 REMOVABLE BOLLARD		
5.0 SITE LIGHTING		
5.1 EXISTING LAMP AND POST		
6.0 MISCELLANEOUS SITE FEATURES		
6.1 PICNIC TABLE		
6.2 6' BENCH		
6.3 BICYCLE RACK		
6.4 DRINKING FOUNTAIN		
6.5 PARK SIGN		
6.6 WOOD LOG		
6.7 PICNIC SHELTER		
6.8 SWING		
6.9 TRASH OR DOG WASTE CAN		
6.10 TRUNCATED DOMES		



SITE MATERIALS GENERAL NOTES

- REFER TO SHEET L22.00 FOR SITE MATERIALS NOTES.
- GENERAL MATERIALS NOTES APPLY TO ALL SITE MATERIALS DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE MATERIALS PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.

Project:
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 & Bowman Brae Park
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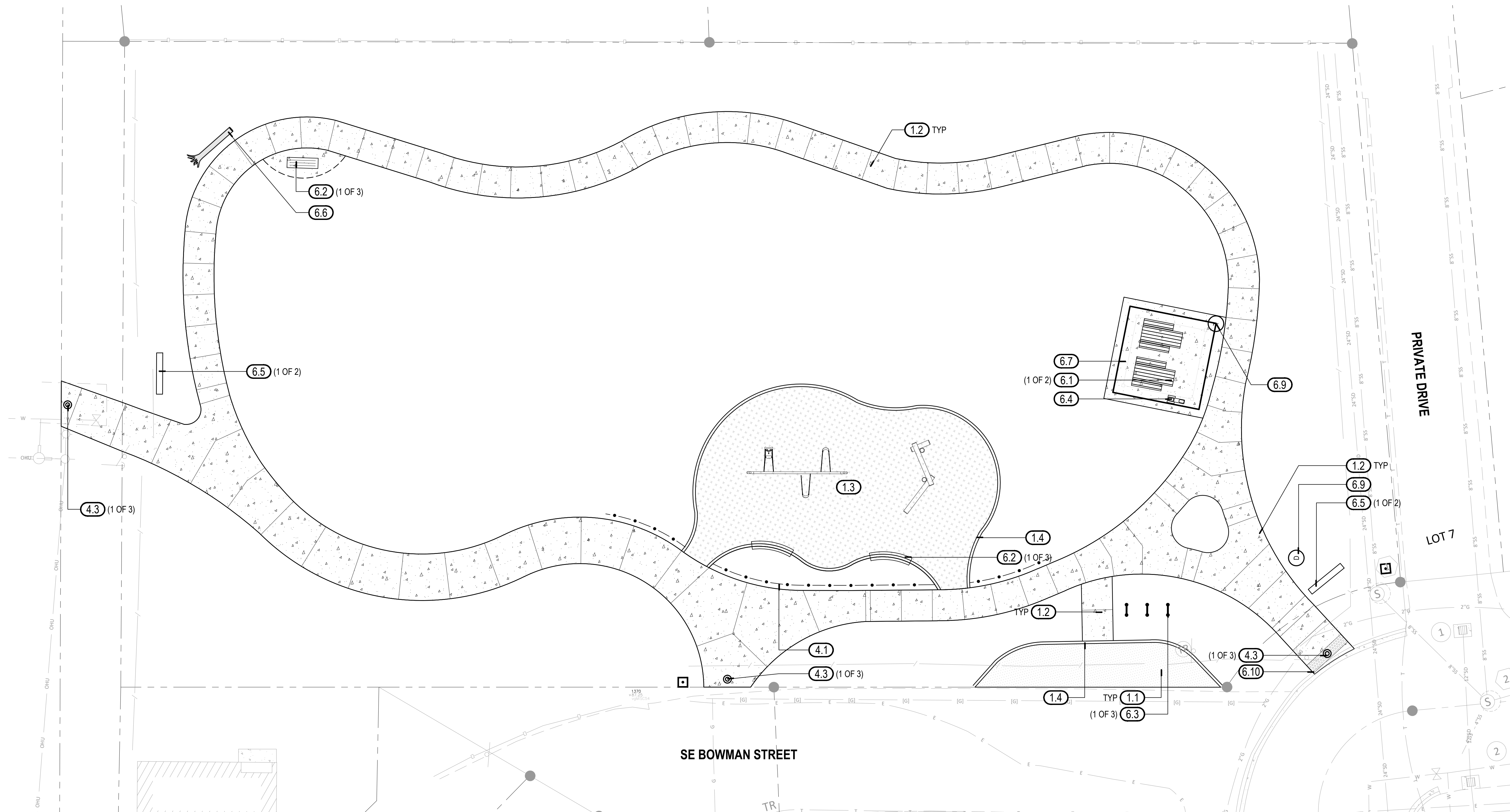
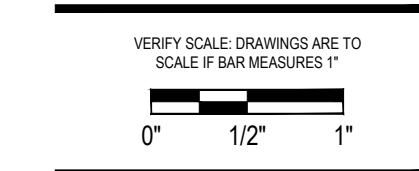
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Sheet Title – Bowman Brae Park :
Materials Notes

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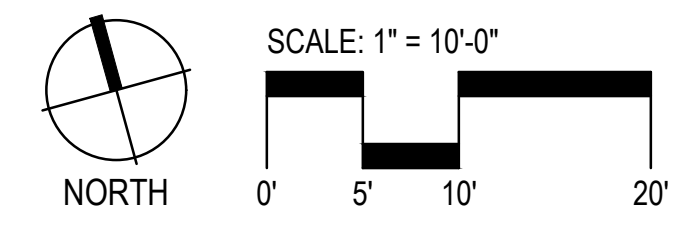
Date: 04/11/2023
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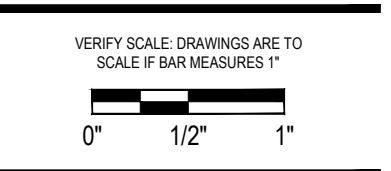
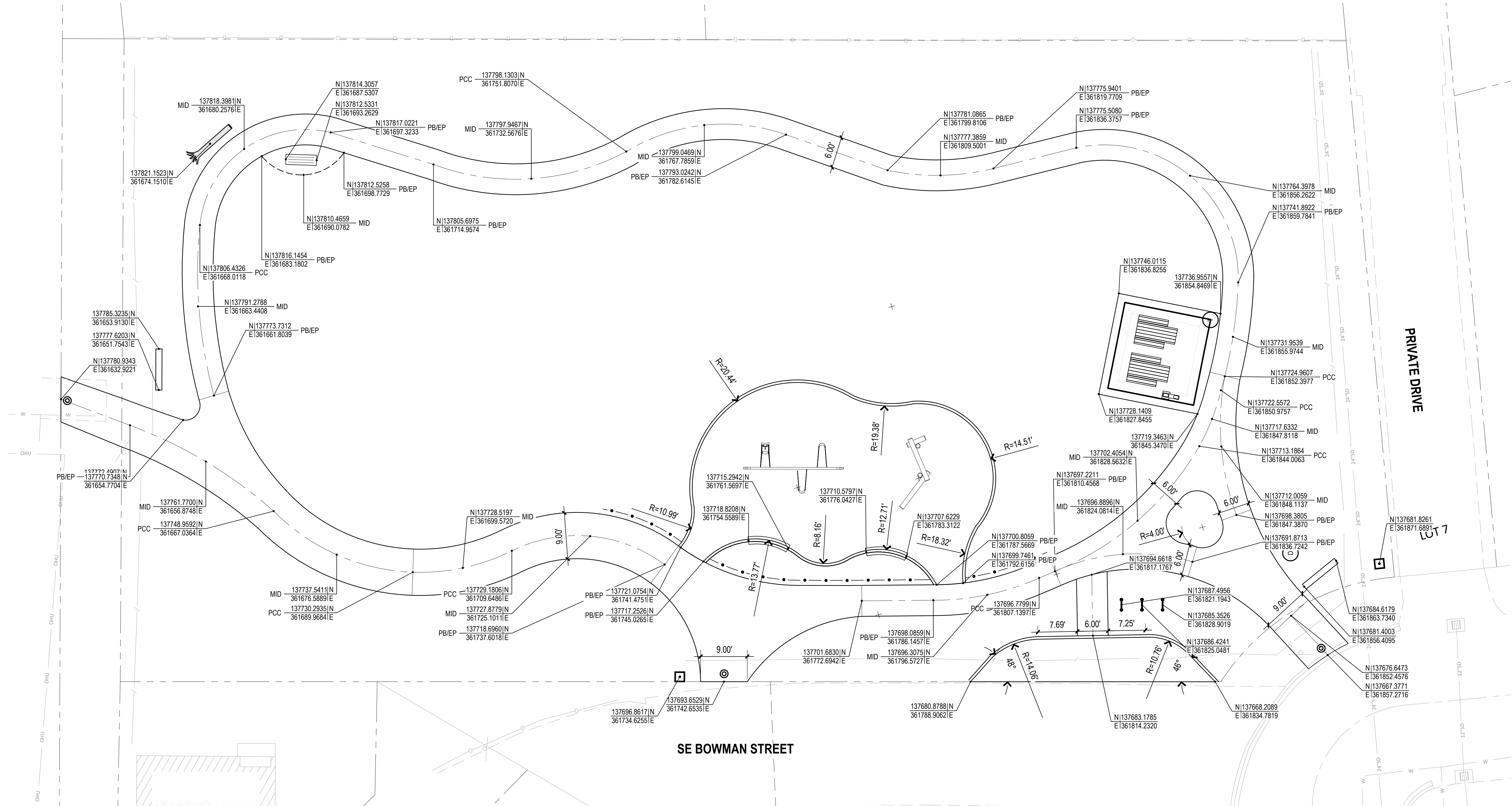
L22.00
 Sheet No. 37 of 52



MATERIALS LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	PERMEABLE CONCRETE PAVING		DOWELED EXPANSION JOINT
	GRAVEL		CONTRACTION JOINT
	ENGINEERED WOOD FIBER		DUMMY JOINT
	CONCRETE CURB OR WALL		WOOD BENCH
	BOLLARD & CABLE FENCE		BICYCLE RACK
	PICNIC TABLE		TRUNCATED DOMES



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CITY OF MILWAUKEE

Project: Scott Park, Balfour Park, & Bowman Brae Park

Sheet Title - Bowman Brae Park : Layout Plan

Submittal: Design Development

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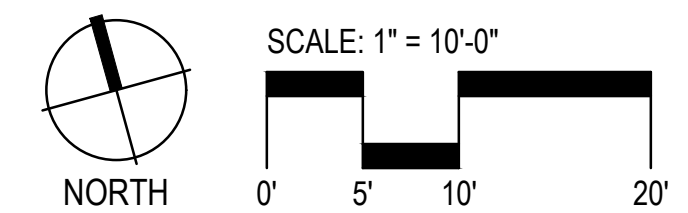
Date: 04/11/2023

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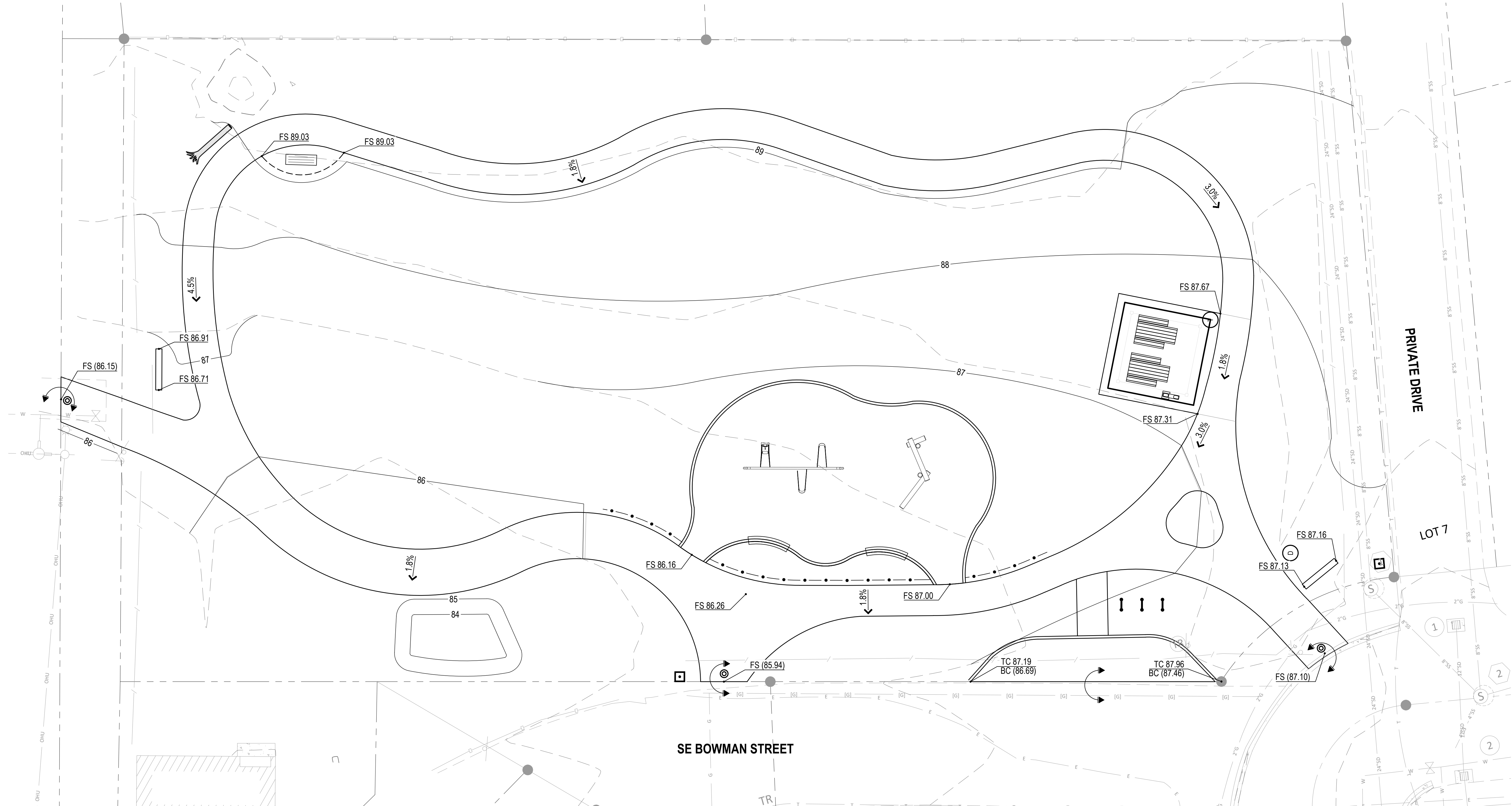
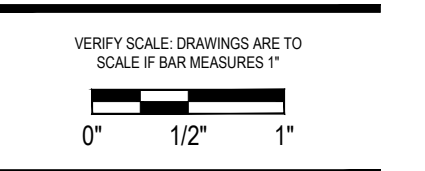
L23.01
 Sheet No. 39 of 52

- SITE LAYOUT GENERAL NOTES**
1. GENERAL LAYOUT NOTES APPLY TO ALL SITE LAYOUT DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE LAYOUT PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.
 2. VERIFY ALL DIMENSIONS AND PROJECT LAYOUT PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF MATERIALS. IF LAYOUT CONFLICTS ARISE, CONTACT THE OWNER'S REPRESENTATIVE.
 3. DIMENSIONS ARE TO FACE OF BUILDING, PAVING, WALLS, AND CURBS, ETC. UNLESS INDICATED OTHERWISE.
 4. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE OF PLANS
 5. DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF LAYOUT CONFLICTS ARISE IN FIELD, CONTACT OWNER'S REPRESENTATIVE FOR RESOLUTION.
 6. ALL CURVED WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED.
 7. CONTRACTOR SHALL STAKE PATHS AND PAVING AREAS. FINAL LAYOUT WILL BE APPROVED BY OWNER'S REPRESENTATIVE.
 8. OWNER'S REPRESENTATIVE TO APPROVE FORMWORK FOR PATHS PRIOR TO CONTRACTOR PLACING CONCRETE.



LAYOUT LEGEND	
SYMBOL	ITEM
	CENTERLINE
	LINEAR DIMENSION
	RADIAL DIMENSION
	NORTHING AND EASTING COORDINATES

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GRADING REFERENCE NOTES

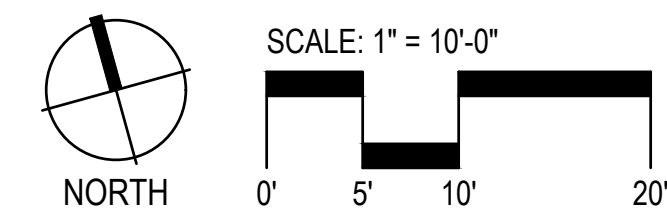
1. ALL CONCRETE PATHS SHALL NOT EXCEED 5% RUNNING SLOPE AND MUST MAINTAIN 1%-2% CROSS SLOPE.
2. ALL GRAVEL AREAS AND TRAILS SHALL NOT EXCEED 5% RUNNING SLOPE AND MUST MAINTAIN 2% CROSS SLOPE.

GRADING GENERAL NOTES

1. GENERAL GRADING NOTES APPLY TO ALL SITE GRADING DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE GRADING PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.

GRADING LEGEND

SYMBOL	ITEM
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR



Project: **Scott Park, Balfour Park, & Bowman Brae Park**

Sheet Title - **Bowman Brae Park : Grading Plan**

Submittal: Design Development

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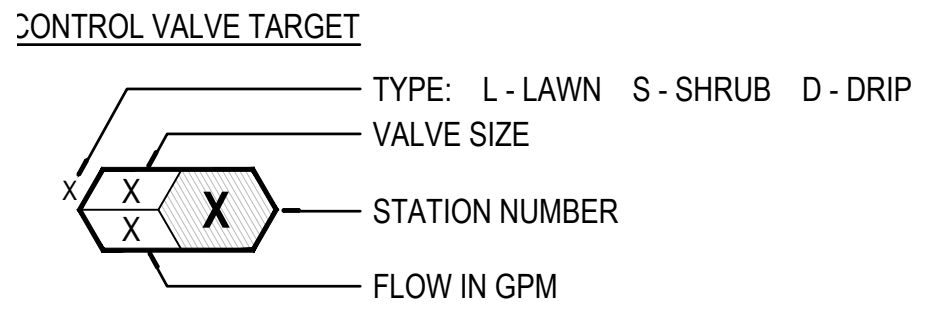
L24.01
 Sheet No. 40 of 52

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IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY	PRECIP	PSI	GPM
	LAWN ROTATOR	11,116 S.F.	0.45 in/h	40	52
	SHRUB ROTATOR	8,167 S.F.	0.45 in/h	40	38

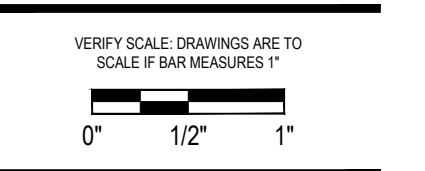
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD PEB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.
	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.
	POINT OF CONNECTION 1 1/2"
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40



IRRIGATION GENERAL NOTES

- REFER TO SHEETS L25.01 FOR IRRIGATION PLANS AND SHEET L26.01 FOR PLANTING PLAN.
- REFER TO SHEETS L29.01, L29.02, L29.03 FOR IRRIGATION DETAILS.
- GENERAL IRRIGATION NOTES APPLY TO ALL IRRIGATION DRAWINGS. NUMBERS IN HEXAGONS () REFER TO IRRIGATION PLAN KEY NOTES AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO CONSTRUCTION AND VERIFY THE EXTENT OF THE WORK REQUIRED. COMMENCEMENT OF CONSTRUCTION BY THE CONTRACTOR DESIGNATES ACCEPTANCE OF THE SITE CONDITIONS APPARENT AT OUTSET. THE CONTRACTOR SHALL OBTAIN APPROVAL TO ACCESS EXISTING SYSTEM COMPONENTS FOR INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY, LOCATE AND PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATION OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OF WORK DEFINED ON THE DRAWINGS AND ANY EXISTING ON-SITE VEGETATION, STRUCTURES, UTILITIES, ETC. ALL DAMAGE AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT THE EXISTING SYSTEM AND MAINTAIN ITS PERFORMANCE AT ALL TIMES DURING THE WORK OF THIS SECTION UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CAP ALL LINES THAT ARE CUT BY NEW CONSTRUCTION AND/OR RE-ROUTE TO MAINTAIN SYSTEM PERFORMANCE. UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL RETURN TO THE OWNER ALL SALVAGED HEADS, ELECTRICAL COMPONENTS AND VALVE BOXES NOT USED IN THIS CONSTRUCTION.
- WHEN NECESSARY DURING CONSTRUCTION THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR IRRIGATION SHUTOFF THROUGH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE COMPLETE TEMPORARY IRRIGATION TO ALL LANDSCAPE AREAS AFFECTED BY THE SHUT-OFF, DURING NORMAL WATERING SEASONS.
- THE CONTRACTOR SHALL MAINTAIN, REPAIR OR REPLACE CONTROLLER WIRING AFFECTED BY CONSTRUCTION AND INTEGRATE NEW SYSTEM REQUIREMENTS INTO THE EXISTING CONTROLLER. VERIFY WHETHER OR NOT THE EXISTING CONTROLLER WILL ACCOMMODATE THE ADDITION OF NEW IRRIGATION ZONES OR ANY OTHER NEW WATERING REQUIREMENTS.
- SYSTEM OPERATION AND DESIGN IS BASED ON XX POUNDS OF PRESSURE AND XX GALLONS PER MINUTE AT THE SHUTOFF VALVE. THE CONTRACTOR SHALL VERIFY THE DESIGN PRESSURE AND VOLUME BEFORE INSTALLATION AND NOTIFY OWNER IF THERE IS A DISCREPANCY.
- CONTRACTOR SHALL REFERENCE PLANTING PLAN(S) PRIOR TO INSTALLATION OF VALVES. LOCATE VALVES IN PLANTING BEDS WHEREVER POSSIBLE. ADJUST VALVE LOCATIONS TO ELIMINATE CONFLICT WITH PROPOSED PLANTINGS AND PLANTING PATTERNS.
- VALVE LOCATIONS AND MAINLINE TRENCHES SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF NEW IRRIGATION SYSTEM. PLACE ALL VALVES IN VALVE BOXES IN A MANNER THAT FACILITATES ACCESS FOR MAINTENANCE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY.
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND LAYOUT OF ALL NEW PLANTING AND LAWN AREAS ON SITE BEFORE STARTING WORK AND IMMEDIATELY NOTIFY OWNER OF ANY DEVIATIONS FROM PLAN.
- NEW TREE LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF NEW IRRIGATION SYSTEM.
- THE CONTRACTOR SHALL INSTALL QUICK COUPLING VALVES A MINIMUM OF 200' ALONG MAINLINE AND AS SHOWN ON PLANS AND DETAILS.
- MAIN AND LATERAL LINES MAY BE SHOWN DIAGRAMMATICALLY FOR CLARITY. MAIN AND LATERAL LINES SHOWN IN PAVED AREAS SHALL BE PLACED IN ADJACENT PLANTING BEDS UNLESS SPECIFICALLY SHOWN AS PASSING UNDER PAVING IN SLEEVEING (SEE LEGEND FOR SLEEVE SYMBOL). THE CONTRACTOR SHALL OBTAIN THE OWNER'S REPRESENTATIVE APPROVAL BEFORE MAKING CHANGES IN ROUTING OF PIPE OR LOCATION OF VALVES.
- INSTALL AND ADJUST ALL COMPONENTS OF IRRIGATION SYSTEM TO PROVIDE UNIFORM COVERAGE AND MINIMIZE OVER SPRAY ONTO WALLS AND PAVING. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE OPERATIONAL / WORKING IRRIGATION SYSTEM.
- INSTALL TRACING WIRE OVER ALL PIPE. ROUTE FROM POINT OF CONNECTION TO ENDS OF PIPE.
- INSTALL PE-89 COMMUNICATION WIRE IN SEPARATE TRENCH FROM ELECTRICAL WIRING TRENCHING.
- ALL SURGE PROTECTION AND WIRE SPLICES SHALL BE CONTAINED WITHIN A VALVE BOX.
- CONSULT PROJECT ARBORIST PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES NEAR EXISTING TREES OR WITHIN THE SPECIFIED TREE CRITICAL ROOT ZONE.
- THE SCALE OF THE IRRIGATION DRAWINGS ARE HALF THE SCALE INDICATED ON THE PLANS WHEN THE DRAWINGS ARE SIZE 11"X17".

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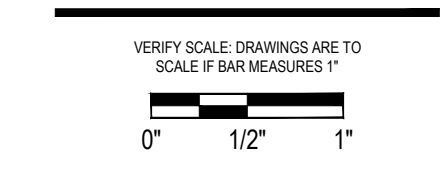
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Sheet Title – Bowman Brae Park : Irrigation Schedule and Notes

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Revisions:	
Drawn By:	MM
Checked By:	BJ/GM
Job No.	210234.1
Approved:	GW

L25.00
Sheet No. 41 of 52

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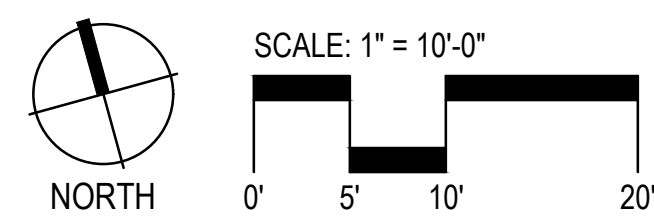
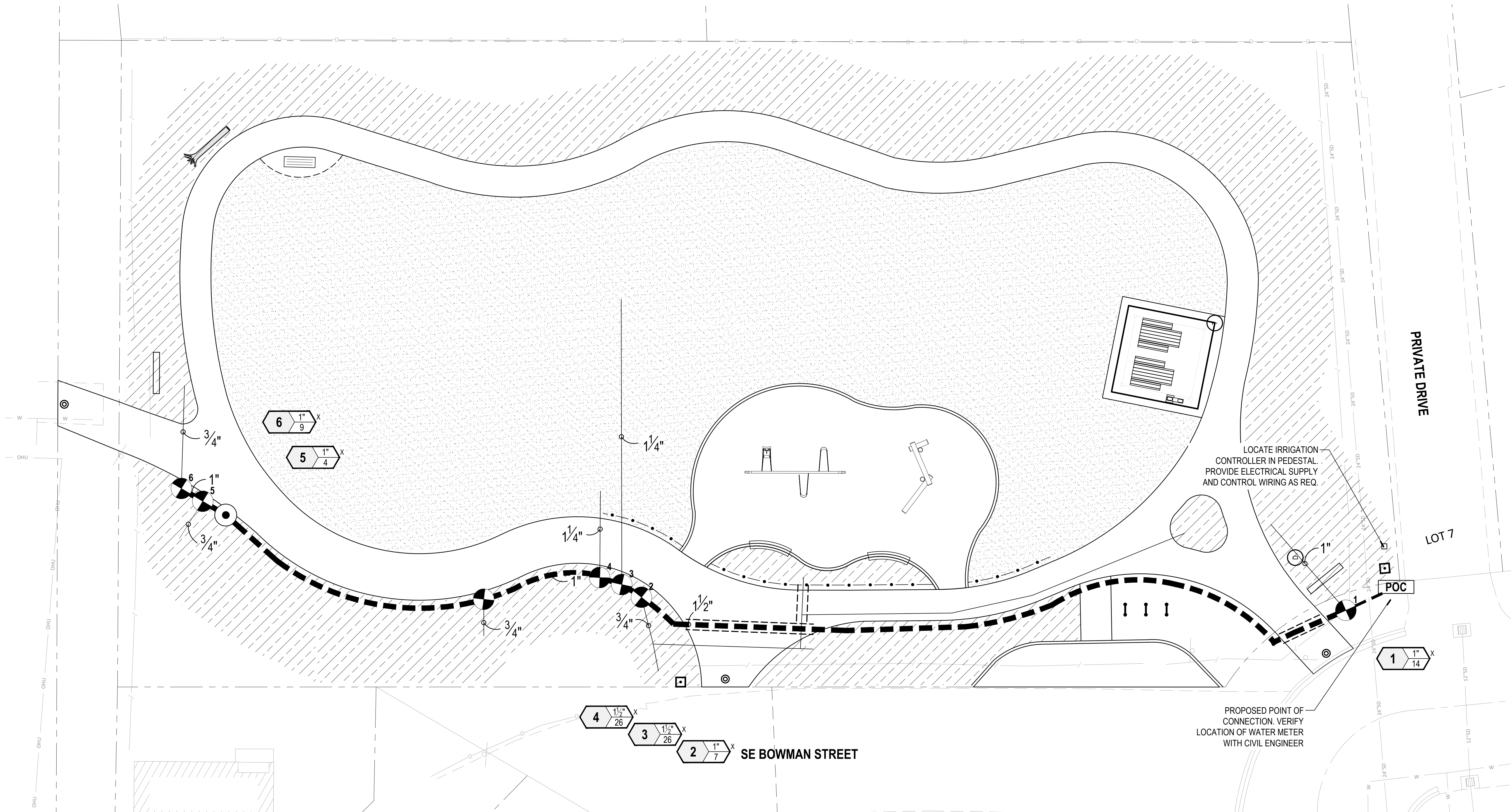
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 Sheet Title - Bowman Brae Park : Irrigation Plan

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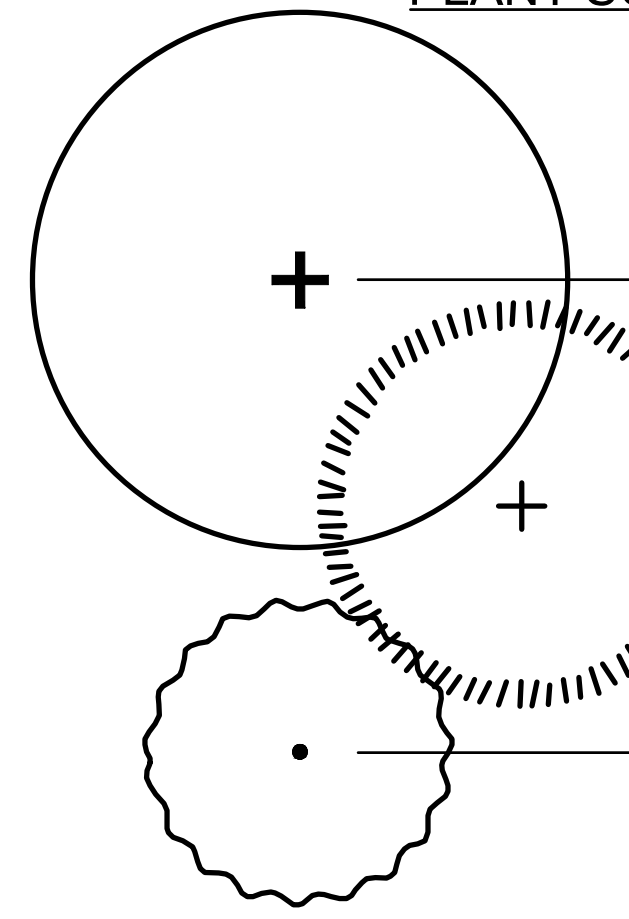
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L25.01
 Sheet No. 42 of 52



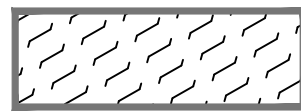
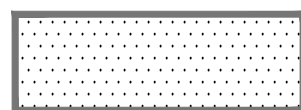

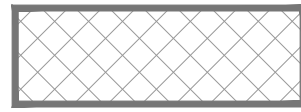

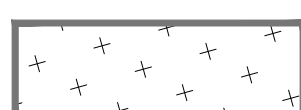
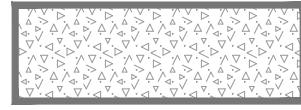
PLANT SCHEDULE



TREES

BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
ULMUS DAVIDIANA 'JFS KW2UD'	GREENSTONE ELM	1.5" CAL., B&B	AS SHOWN	2
QUERCUS GARRYANA	OREGON WHITE OAK	1.5" CAL., B&B	AS SHOWN	4
RHAMNUS PURSHIANA	CASCARA	1.5" CAL., BAREROOT	AS SHOWN	6

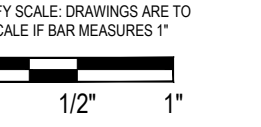
SHRUBS / GROUNDCOVERS

BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	QTY. /100SF	TOTAL QTY.
FULL SUN SCREENING SHRUBS					
	Spiraea douglasii	Douglas spirea		2 GAL	
	Philadelphus lewisii	Lewis' mock orange		2 GAL	
	Gaultheria shallon	Salal		1 GAL	
5,577 SF					
WOODLAND UNDERSTORY PLANTING					
	Symphoricarpos albus	Snowberry		2 GAL	
	Vaccinium ovatum	Evergreen huckleberry		2 GAL	
	Asplenium trichomanes	Maidenhair spleenwort		2 GAL	
1,184 SF					
NATIVE GRASS AND WILDFLOWERS					
	Deschampsia caespitosa	Tufted Hair Grass		1 GAL	
	Achillea millefolium	Yarrow		1 GAL	
	Campanula rotundifolia	Common Harebell		1 GAL	
3,722 SF					
POLLINATOR PLANTS					
	Erigonum nudum	Barestem Buckwheat		1 GAL	
	Ceanothus integerrimus	Deerbrush		1 GAL	
	Spiraea douglasii var. douglasii	Douglas' Spiraea		1 GAL	
577 SF					
RAIN GARDEN					
	Cornus sericea	Red Twig Dogwood		1 GAL	
	Spiraea betulifolia	White Spirea		1 GAL	
	Juncus effusus sp. spacificus	Pacific Rush		1 GAL	
327 SF					
TURF SEED MIX:					
	LOLIUM PERENNE	PERENNIAL RYEGRASS			
	FESTUCA ARUNDINACEA	FINE FESCUE			
	POA PRATENSIS	KENTUCKY BLUEGRASS			
11,697 SF					
BARK MULCH					
					
93 SF					

PLANT SAME SPECIES IN GROUPS OF 1, 3, OR 5

PLANTING REFERENCE NOTES

- EXISTING PLANTING AREA TO REMAIN, PRESERVE AND PROTECT.
- SEED ALL DISTURBED AREAS.



PLANTING GENERAL NOTES

- PROVIDE PLANTING SOIL AND BARK MULCH TO THE COMPOSITION AND DEPTHS IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- INSTALL PLANTS IN ACCORDANCE WITH THE DRAWINGS AND THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- PLANT QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. ALL COUNTS MUST BE VERIFIED PRIOR TO INSTALLATION. IN THE CASE OF A DISCREPANCY BETWEEN THE LEGEND AND THE PLAN, PLANTS INDICATED ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN THE LEGEND.
- UTILITY LOCATIONS SHOWN ON PLANS MAY DIFFER FROM FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE INSTALLATION. CONFLICTS BETWEEN ANY EXISTING AND PROPOSED UTILITIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- PLANTS INDICATED TO BE INSTALLED IN STORMWATER FACILITIES DESIGNED TO BE FREQUENTLY INUNDATED (TO WATER DEPTHS ABOVE THE SMALLEST INSTALLED PLANT HEIGHT) SHALL BE ENTIRELY DEWATERED PRIOR TO PLANT INSTALLATION. PLANTS INSTALLED IN STORMWATER FACILITIES WITH ANTICIPATED HIGH WATER LEVELS MAY BE INSTALLED OUTSIDE THE SPECIFIED PLANT INSTALLATION WINDOW IF ADDITIONAL SUPPLEMENTAL IRRIGATION IS PROVIDED.

Project: Scott Park, Balfour Park, & Bowman Brae Park

Sheet Title - Bowman Brae Park : Plant Schedule and Notes

City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7555

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Date: 04/11/2023

Revisions:

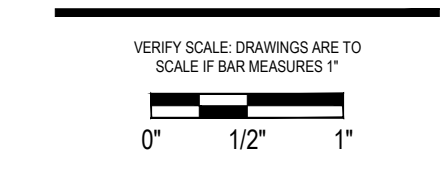
Drawn By: JD/YC

Checked By: BJ/GM

Job No. 210234.1

Approved: GW

L26.00
Sheet No. 43 of 52



Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park

City of Milwaukee
 10722 SE Main Street
 Milwaukee, OR 97222
 503-786-7555

Submittal: Design Development
Sheet Title – Bowman Brae Park :
Planting Plan

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Date: 04/11/2023

Revisions:

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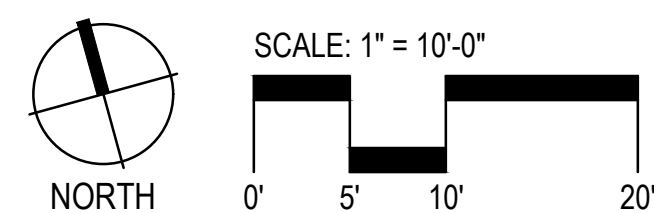
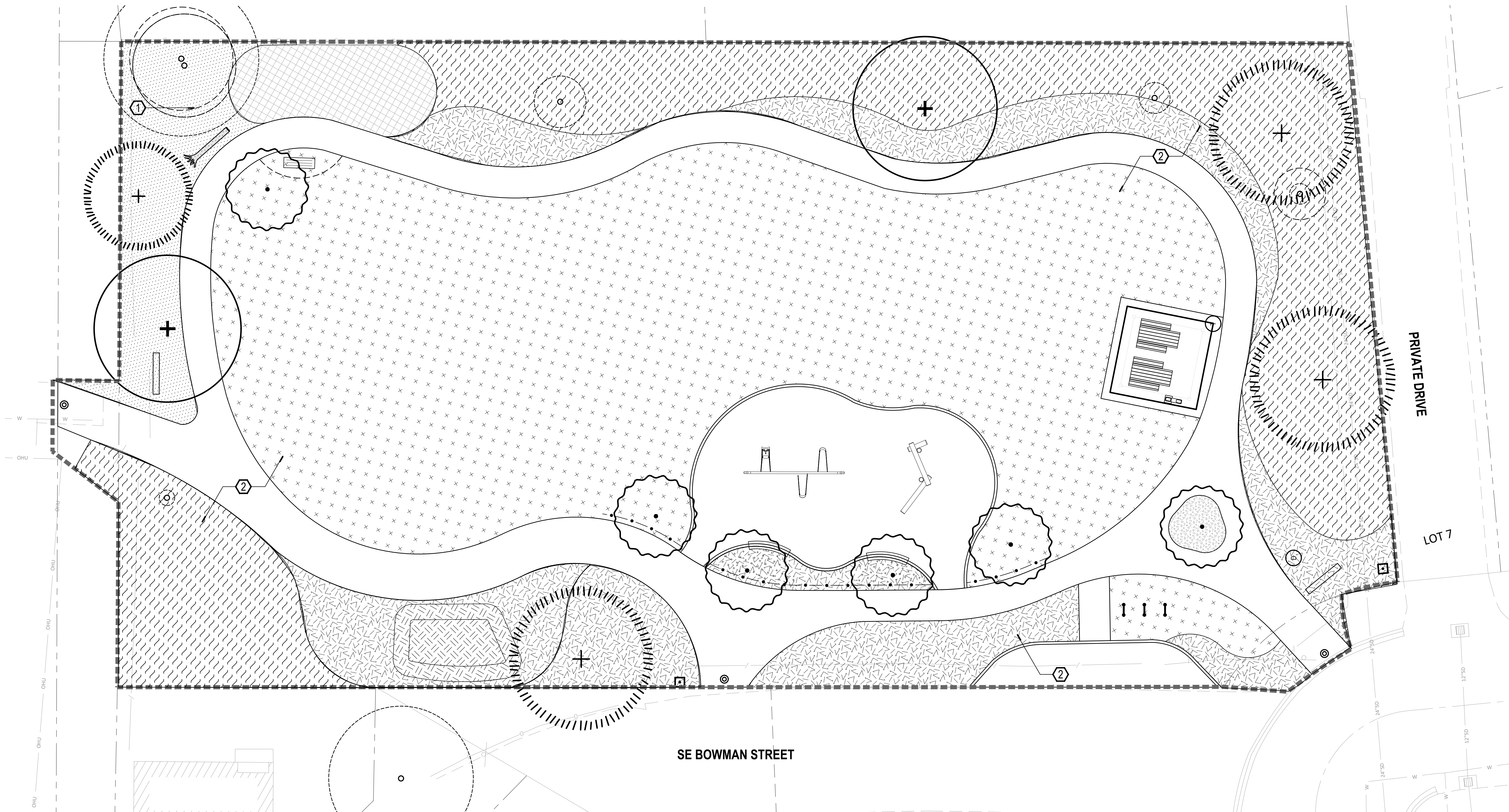
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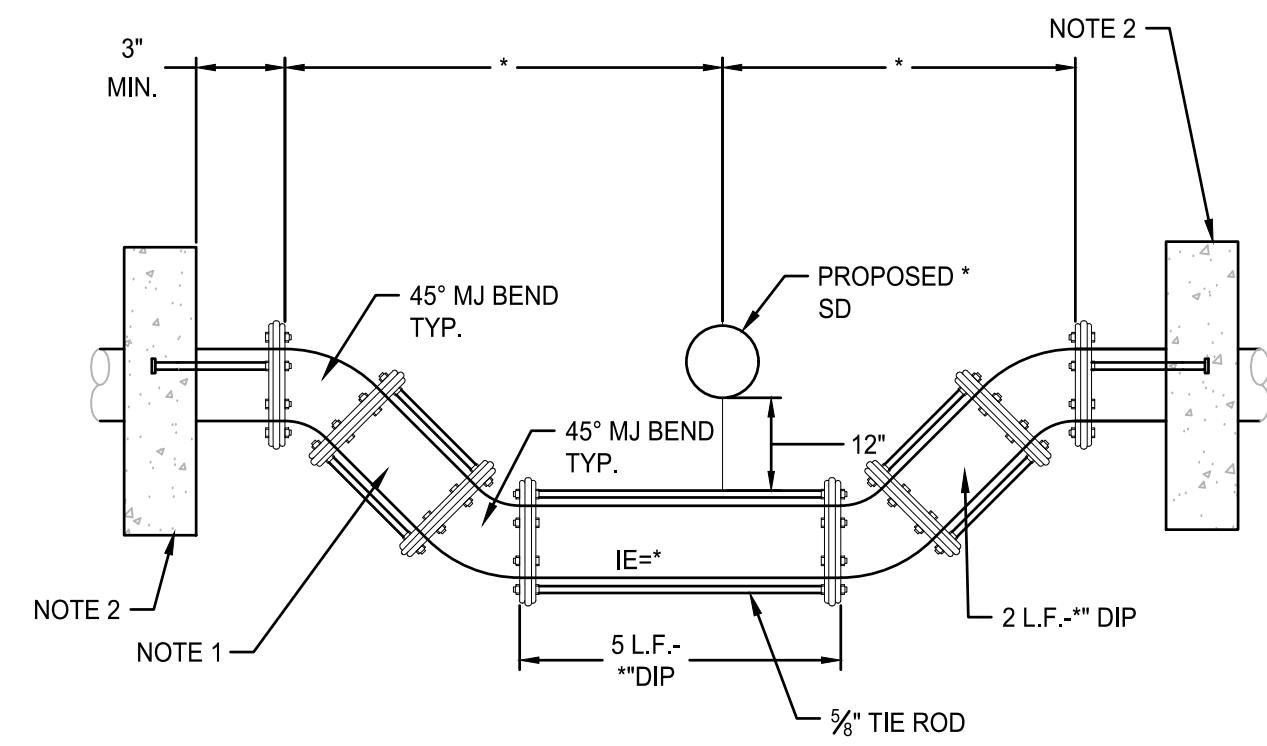
Job No. 210234.1

Approved: GW

L26.01

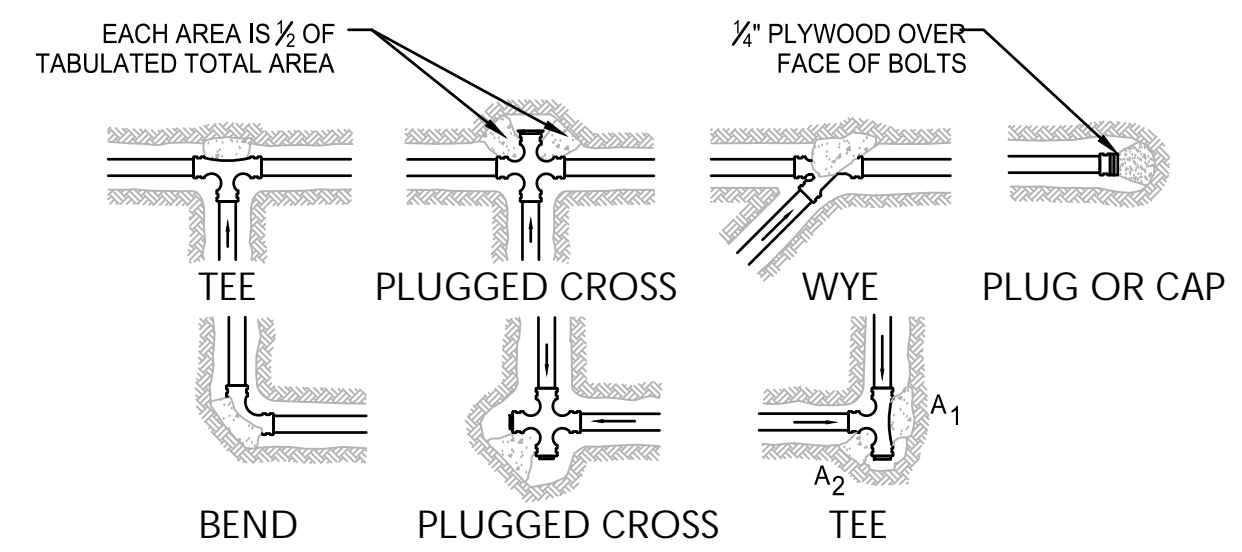
Sheet No. 44 of 52





- NOTES:
- DIP MJ SPOOL, * L.F.-* DIP CONTRACTOR TO VERIFY LENGTH OF * DIP NECESSARY TO MEET WATERLINE CLEARANCE TYP.
 - CONC. ANCHOR BLOCK W/ TIE BOLTS, DUCT LUGS OR STEEL PLATE AS APPROVED

3 TYPICAL WATERLINE UTILITY CROSSING
SCALE: NTS



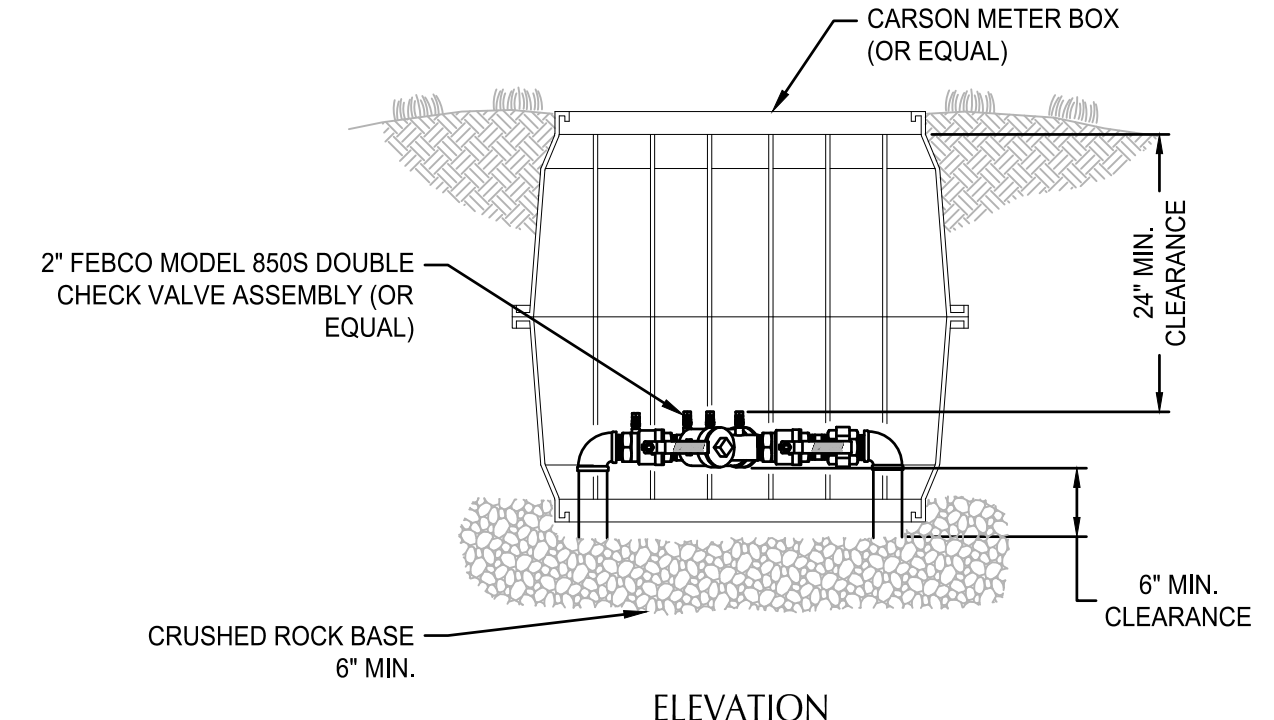
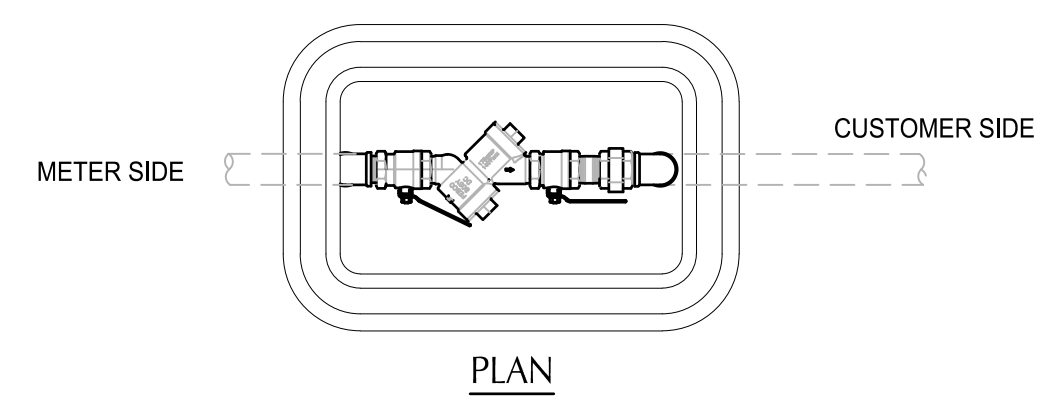
- CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
- KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
- THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENCIRCLED ON THE PLAN; e.g. 15 INDICATES 15 SQUARE FEET BEARING AREA REQUIRED.
- IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW, ADJUST IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS (ES) STATED IN THE SPECIAL SPECIFICATIONS.
- BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.

BEARING AREA OF THRUST BLOCK IN SQUARE FOOT

FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22 1/2° BEND	11 1/2° BEND
			A1	A2			
4	1.0	1.4	1.9	1.4	1.0		
6	2.1	3.0	4.3	3.0	1.6	1.0	
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0
10	5.9	8.4	11.8	8.4	4.6	2.4	1.2

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 p.s.i. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 p.s.i. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURE AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150)(X)/2000/ SOIL BEARING STRESS(X)TABLE VALUE).

1 THRUST BLOCK
SCALE: NTS



NOTE: INSTALLATION SHOWN IS ONLY A SUGGESTION. THE DISTANCE FROM BOTTOM OF DEVICE TO FINISH GRADE, FREEZE PROTECTION, AND CLEARANCE FOR TESTING & REPAIR ARE THE MAJOR CONSIDERATIONS FOR INSTALLATION. PLUGS TO BE INSTALLED IN TEST COCKS OF BELOW GROUND INSTALLATIONS (NO DISSIMILAR METALS). IF FREEZE PROTECTION IS PROVIDED, THE 24" MIN CLEARANCE MAY BE REDUCED.

2 DOUBLE CHECK BACKFLOW ASSEMBLY
SCALE: NTS

CLASSIFICATION	DEPTH (IN.) WHICH EVER IS GREATER
ARTERIAL/INDUSTRIAL	8 OR EXISTING
COLLECTOR	6 OR EXISTING
LOCAL	4 OR EXISTING

NOTES:

- ADDITIONAL REPAIR IS REQUIRED FOR STREETS PAVED WITHIN THE LAST 5 YEARS; SEE STANDARD DETAIL NO. 511.
- FINAL SAWCUTS MUST BE 6" WIDER THAN THE WIDTH OF THE ROLLER USED FOR COMPACTION
- PAVING TO CONSIST OF LEVEL 3 ASPHALT CONCRETE AND BE PLACED IN LIFTS. EACH LIFT MUST HAVE A MAXIMUM DEPTH OF 3" & MINIMUM DEPTH OF 2".
- INFRARED ASPHALT REPAIRS MAY BE REQUIRED AT THE DISCRETION OF THE CITY ENGINEER.
- UNDERMINED, BROKEN OR CRACKED PAVEMENT EDGES MUST BE SAWCUT AND REMOVED AT THE DISCRETION OF THE CITY ENGINEER.
- CONTROL DENSITY FILL (CDF) MAY BE REQUIRED AT CITY ENGINEER'S DISCRETION.
- ALL ROCK AND BACKFILL TO BE COMPACTED TO 95% MAX. DENSITY AASHTO T-180.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.
Trench Patch
DRAWING NO. 510

NO.	REVISIONS	DATE	BY
3	ADDED T-CUT LANGUAGE	12/14	AKR
4	DRAWING NUMBER CHANGED	11/18	TAP
5	UPDATED NOTES, DRAWING NUMBER CHANGE	06/19	TAP

UNTHREADED GALVANIZED PIPE CONNECTION:

ROMAC STYLE 511 COUPLING OR APPROVED EQUAL

M.I.P. THREAD C.T.S. BRASS COUPLING FORD C84-44

GALVANIZED NIPPLE

GALVANIZED BUSHING TO MATCH SERV. SIZE

DIELECTRIC UNION WATTS SERIES LF3003 OR APPROVED EQUAL

COPPER PIPE

NOTES:

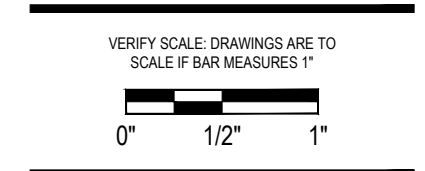
- IF COPPER TUBING CROSSES CATHODICALLY PROTECTED LINE, ENCASE COPPER IN POLYETHYLENE TUBING FOR 24" (CENTERED AT THE CROSSING LINE) AND FASTEN WITH 2" WIDE ADHESIVE TAPE THAT IS COMPATIBLE WITH POLYETHYLENE.
- PLACE METER BOXES (1) LOCATED BEHIND THE SIDEWALK WHERE THERE IS SUFFICIENT RIGHT-OF-WAY; (2) WITHIN THE PLANTER STRIP, EXCLUDING WATER QUALITY FACILITIES; (3) WITHIN THE SIDEWALK WITH THE BACK OF THE METER BOX AT THE BACK EDGE OF THE SIDEWALK.
- CONNECT GALVANIZED SERVICE PIPE; (1) AT EXISTING THREADED FITTING WITHIN 5 FEET OF WATER METER; (2) RETHREAD EXISTING GALVANIZED SERVICE PIPE; (3) IF EXISTING PIPE IS IN POOR CONDITION AND CANNOT BE RETHREADED, USE UNTHREADED GALVANIZED PIPE CONNECTION DETAIL.
- IF METER BOX IS LOCATED IN THE SIDEWALK, DIELECTRIC UNION WILL BE INSTALLED (1) 6" FROM BACK OF METER INSIDE OF METER BOX, (2) BEHIND BACK OF SIDEWALK.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.
3/4 to 1 Inch Water Service
DRAWING NO. 401

NO.	REVISIONS	DATE	BY
5	ADDED DIELECTRIC UNION NOTE	12/14	AKR
6	ADDED 3/4" WATER SERVICE	11/18	TAP
7	TITLE CHANGE	06/19	TAP

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111 SW Fifth Ave., Suite 2600
Portland, OR 97204
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www.kpff.com

GREENWORKS
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ENVIRONMENTAL DESIGN
110 SE Main St., Suite 100
Portland, OR 97214
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Fax: 503.222.2283
Email: info@greenworks-pc.com



CITY OF MILWAUKIE

Project: Scott Park, Balfour Park, & Bowman Brae Park
City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53228
503-786-7555

Submittal: Design Development
Sheet Title: DETAILS

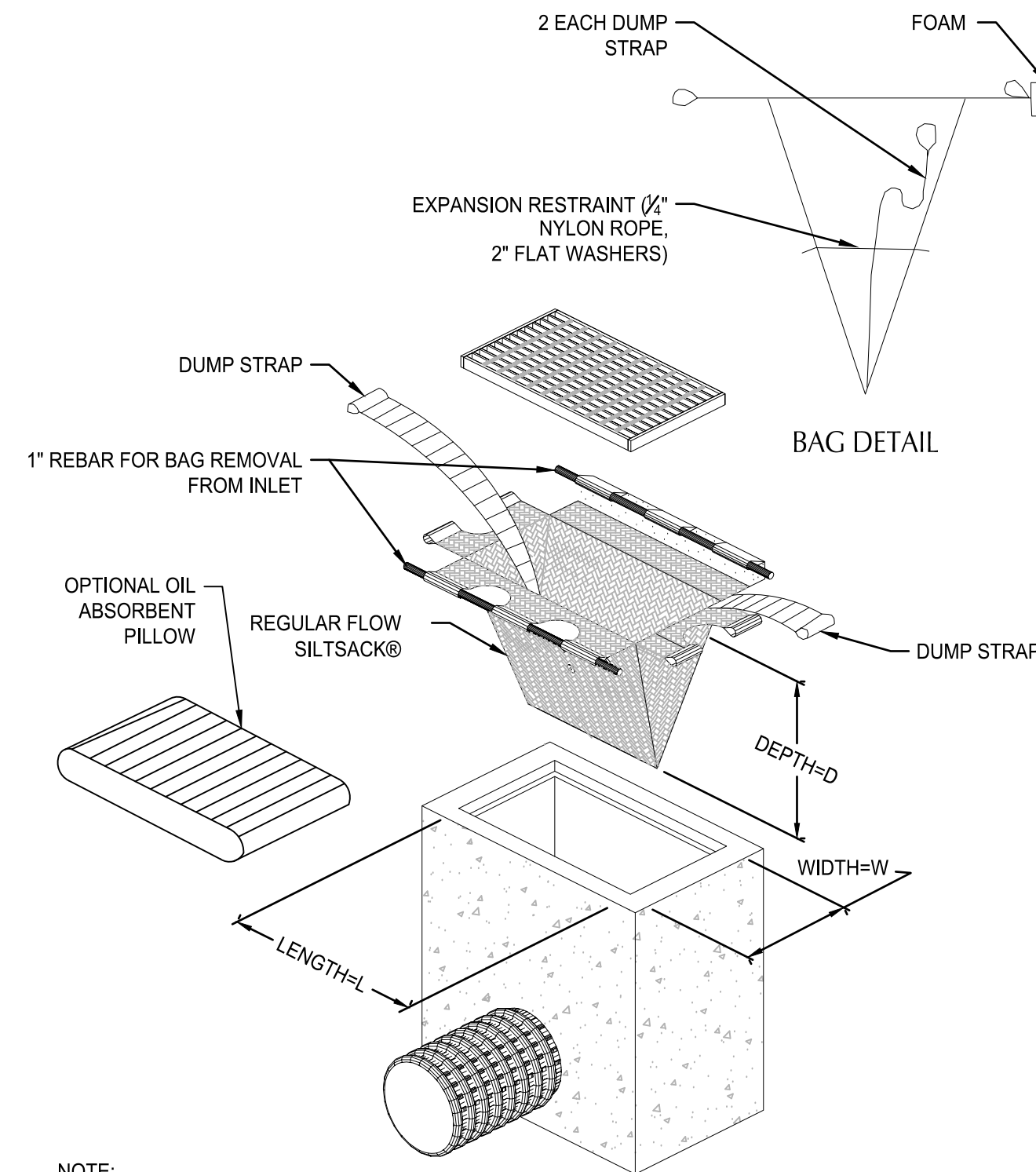
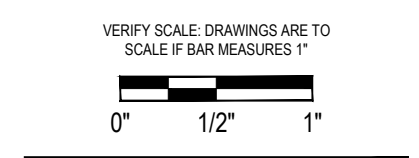
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Date: 03/21/2023

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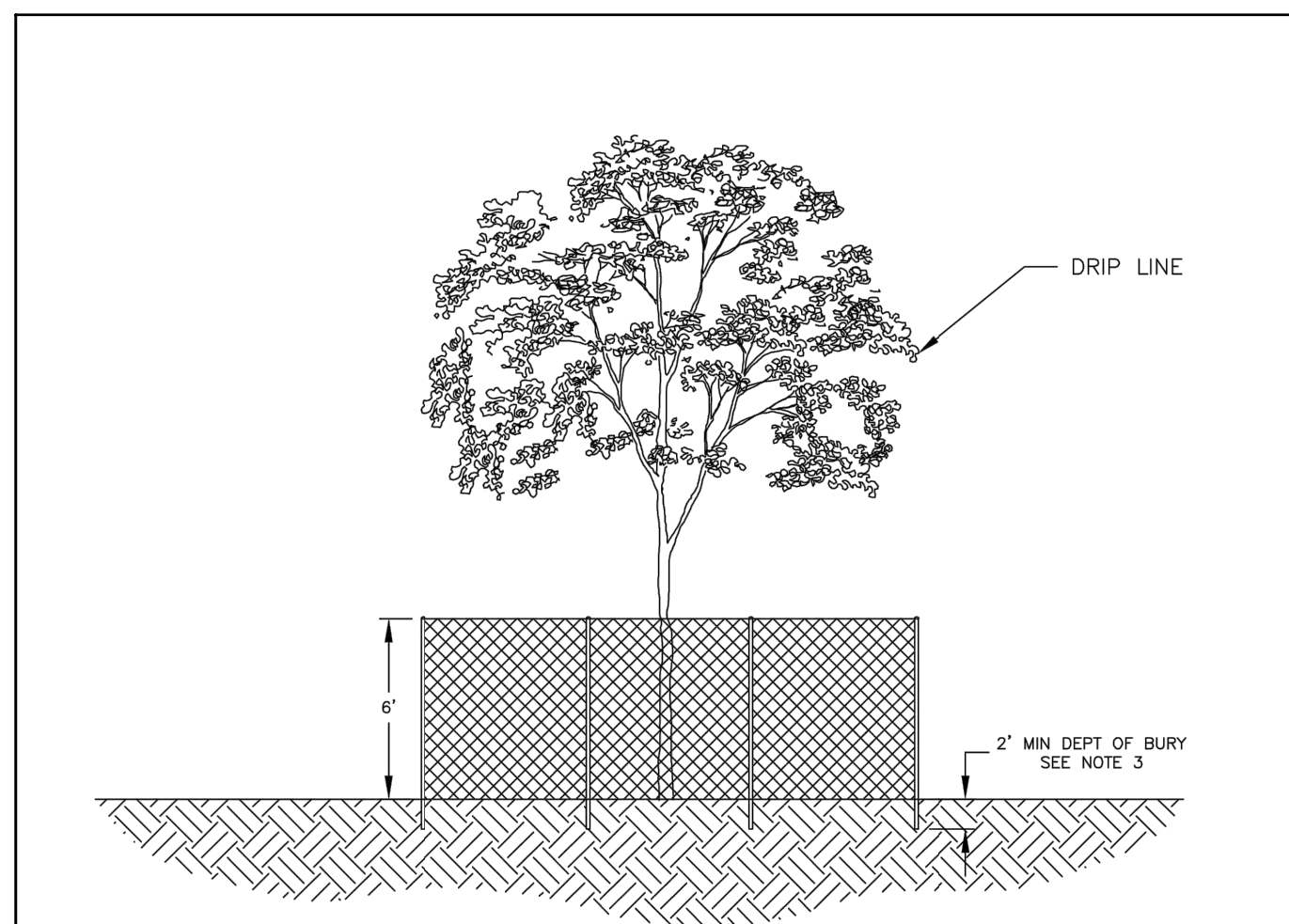
Drawn By: CK/RC
Checked By: JZ
Job No. 210234.1
Approved: CV

C28.00
Sheet No. 46 of 52



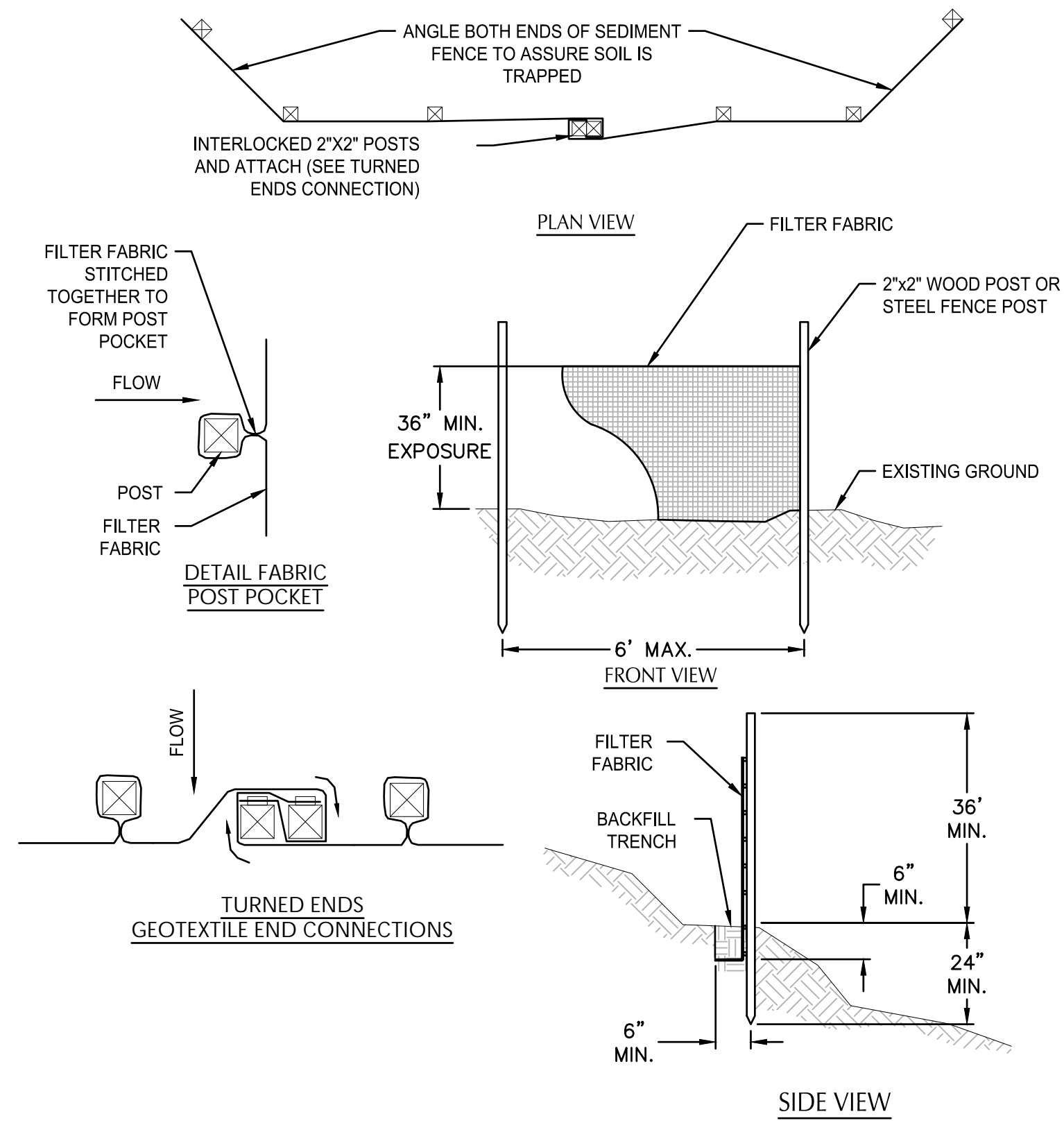
NOTE:
1. DO NOT USE HIGH FLOW INSERT BAGS.

2 INLET SEDIMENT PROTECTION
SCALE: NTS



- NOTES**
- FENCE MUST BE 6 FEET IN HEIGHT AND SET AT THE TREE DRIP LINE.
 - FENCE MATERIALS TO CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1-1/2" DIA. STEEL OR ALUMINUM POST.
 - POST TO BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
 - TREE PROTECTION FENCING MUST BE INSTALLED, INSPECTED AND APPROVED BY THE CITY'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY EROSION CONTROL FENCING BEING INSTALLED OR ANY GRADING ACTIVITIES OCCUR.
 - FENCE MUST REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

CITY OF MILWAUKIE, OREGON - PUBLIC WORKS DEPT.		DRAWING NO.	
Tree Protection Fencing		524	
APPROVED:	NO. 1	REVISIONS NEW DRAWING	DATE 08/18
CITY ENGINEER	DATE 01/2021		BY TAP



- NOTES**
- THE FILTER FABRIC SHALL BE (36" MIN. WIDTH) PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACH AS SHOWN ON DETAIL SHEET.
 - THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6- FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
 - THE FILTER FABRIC SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION, SHALL BE BACKFILLED AND COMPACTED, ALONG THE ENTIRE DISTURBED AREA.
 - STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS WITH STAKES SHALL BE INSTALLED ON THE DOWN-HILL SIDE OF THE SLOPED AREA.
 - FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP-SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
 - FILTER FABRIC FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

1 SEDIMENT FENCE
SCALE: NTS

Project:
Scott Park, Balfour Park,
& Bowman Brae Park
City of Milwaukie
10722 SE Main Street
Milwaukie, OR 97222
503-786-7555

Submittal: Design Development
Sheet Title:
DETAILS

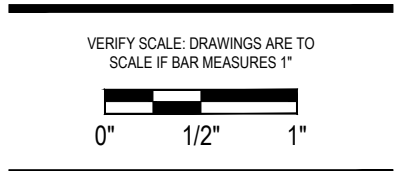
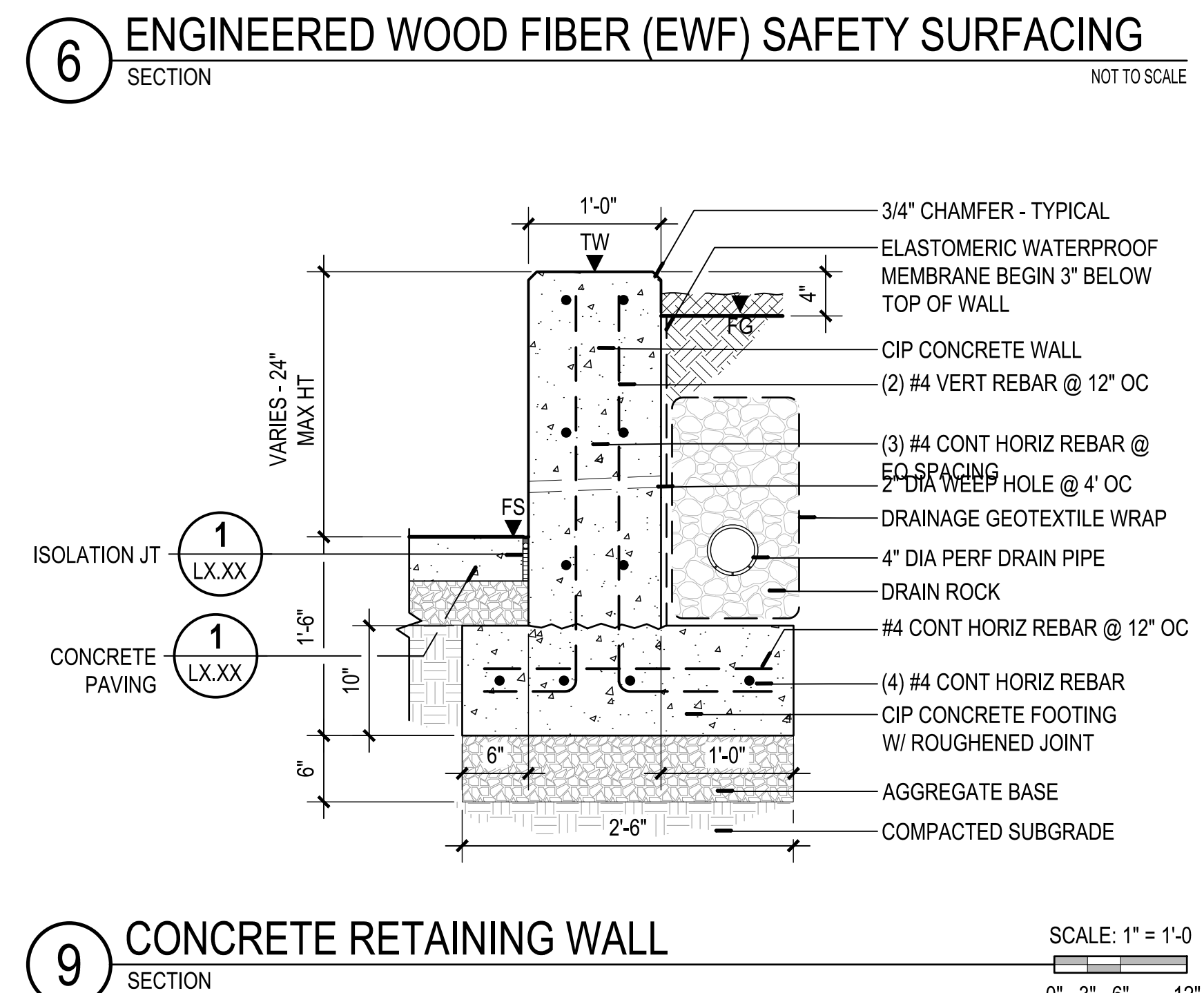
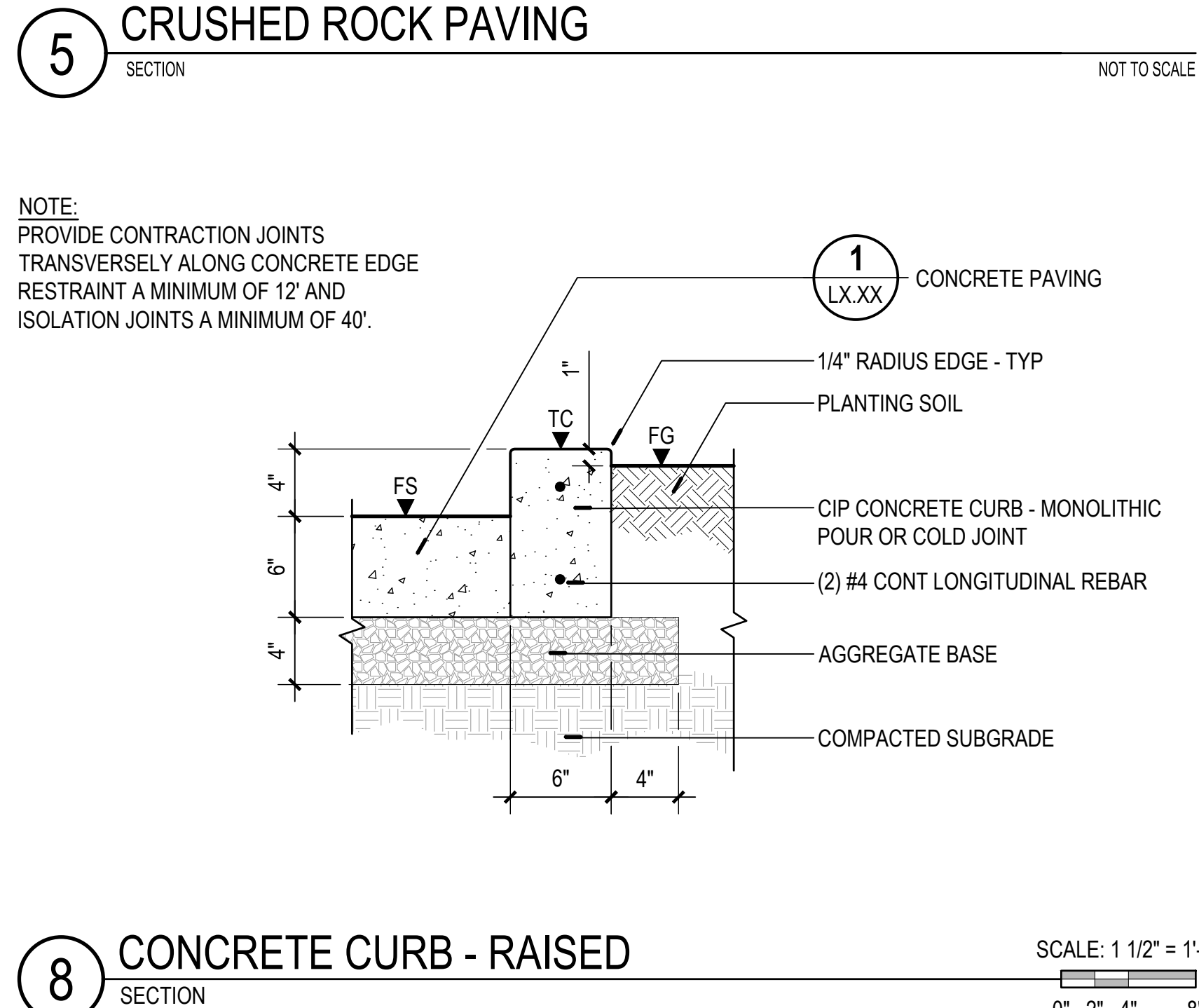
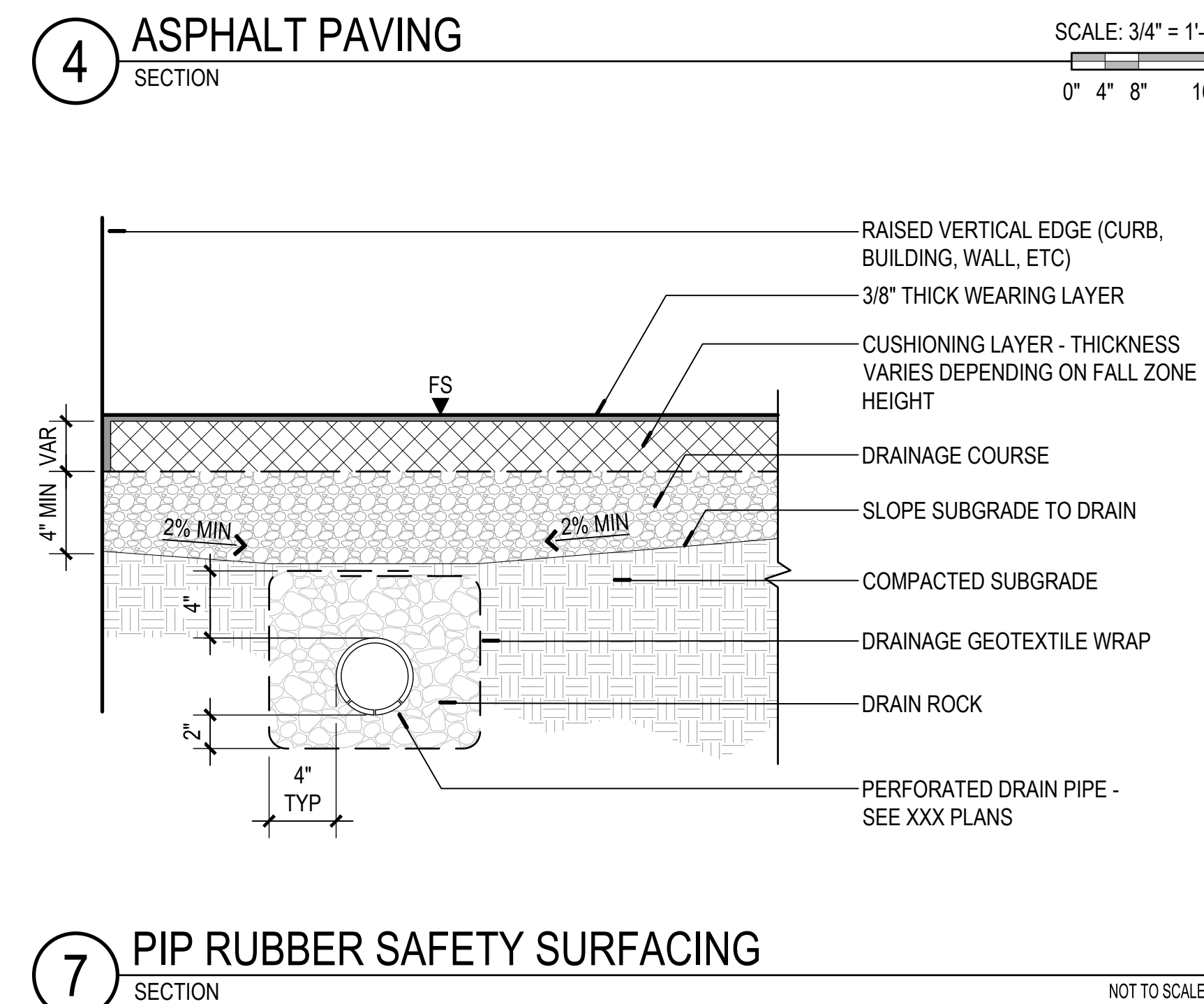
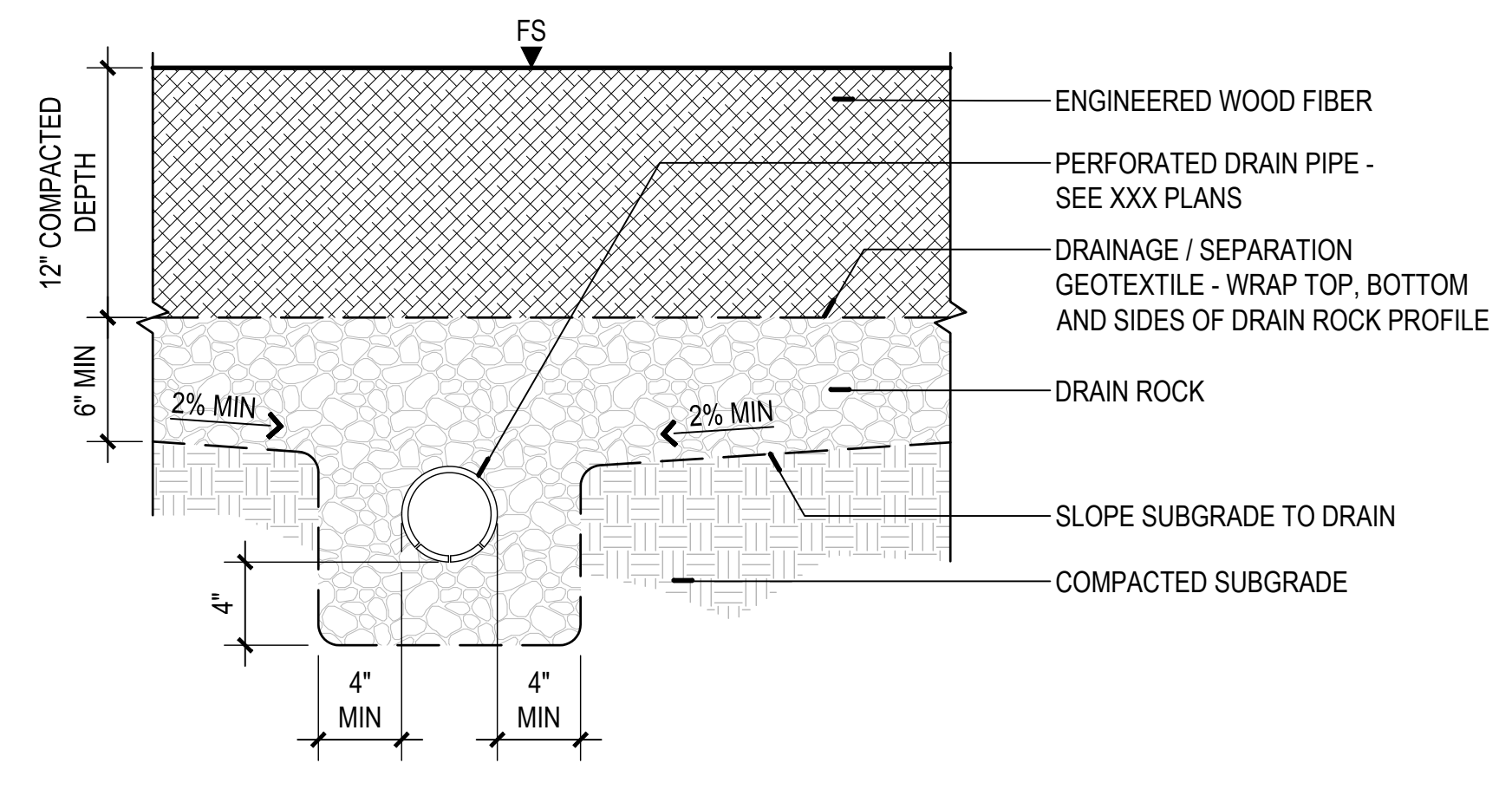
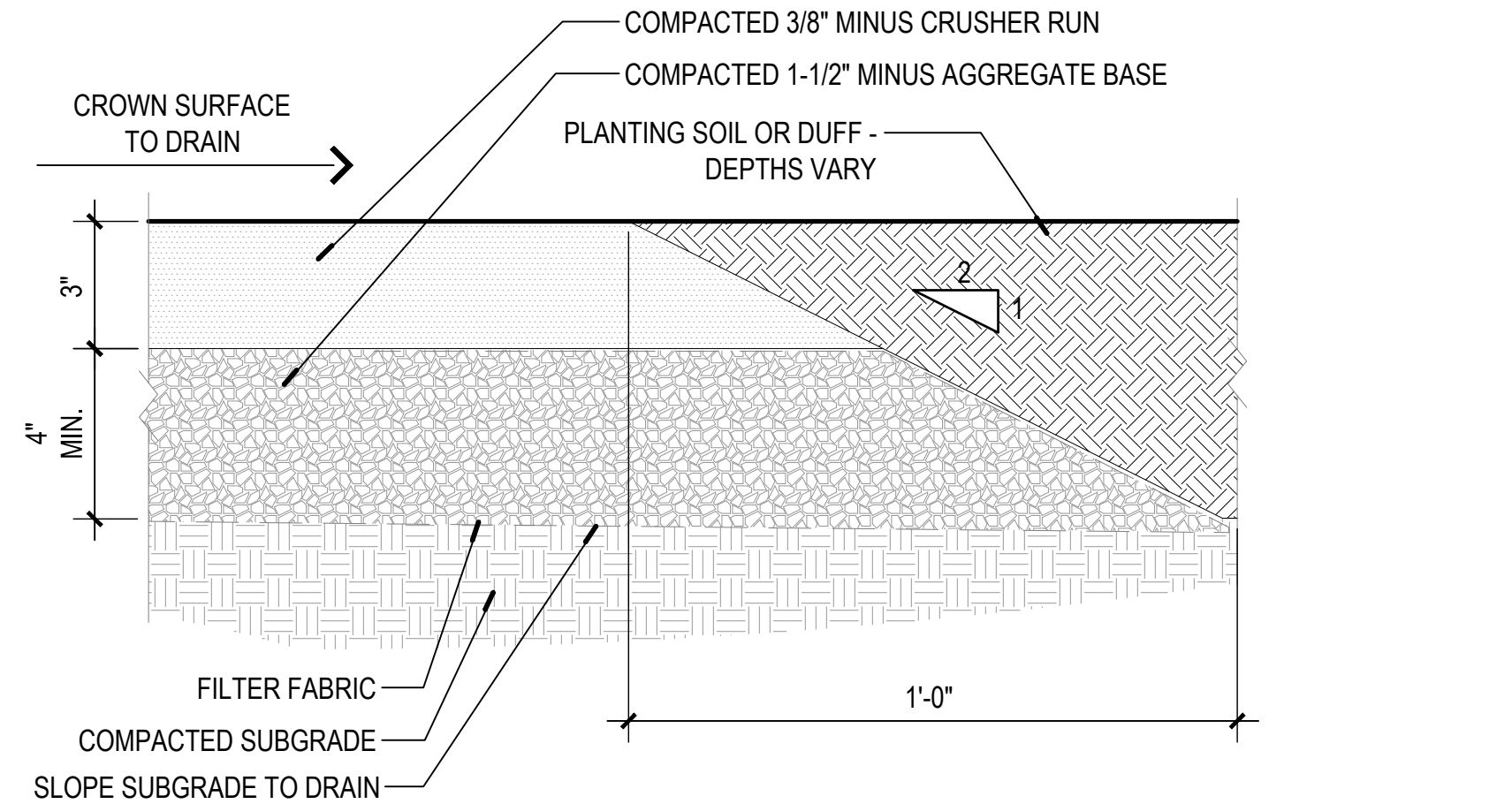
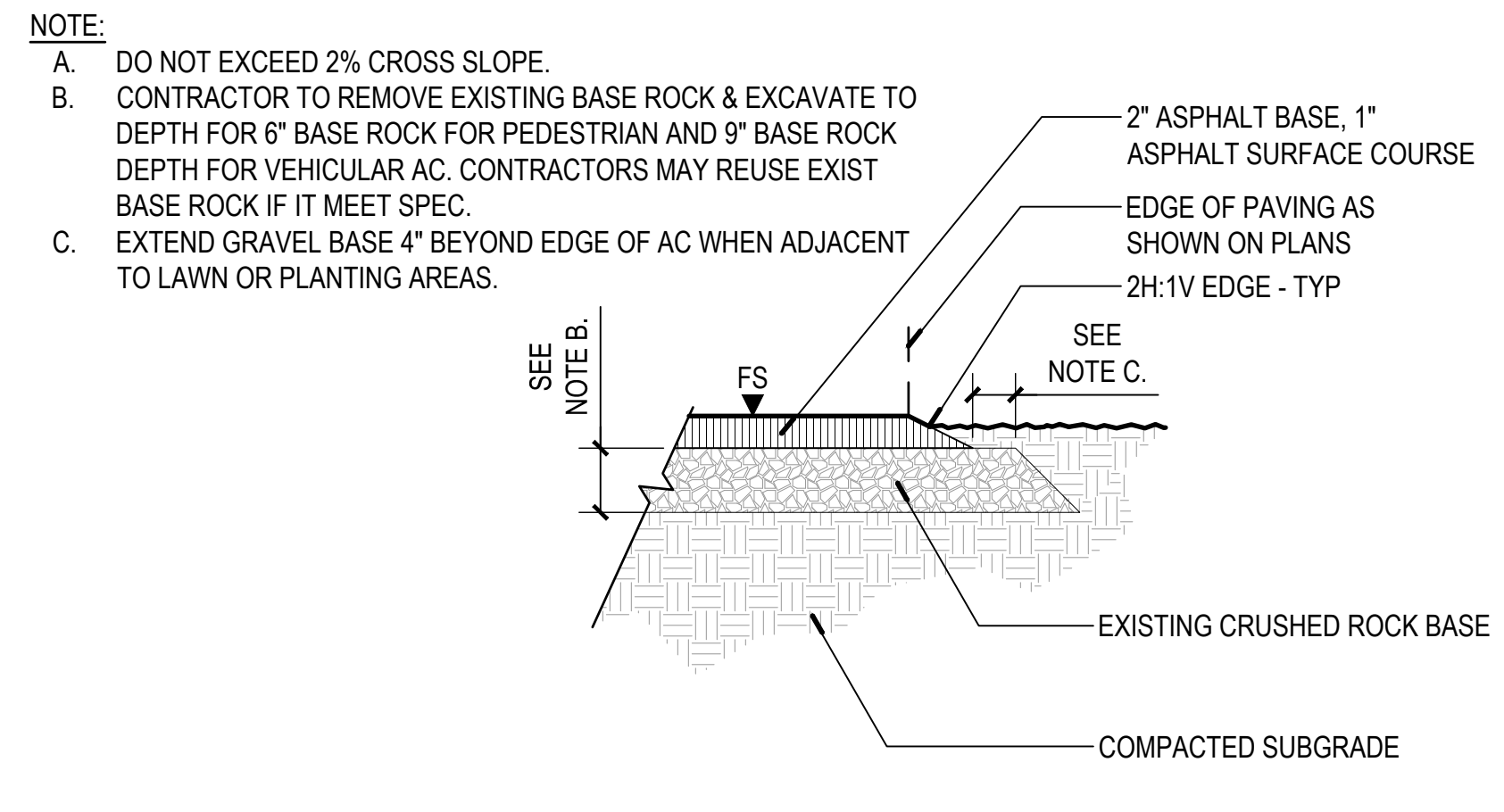
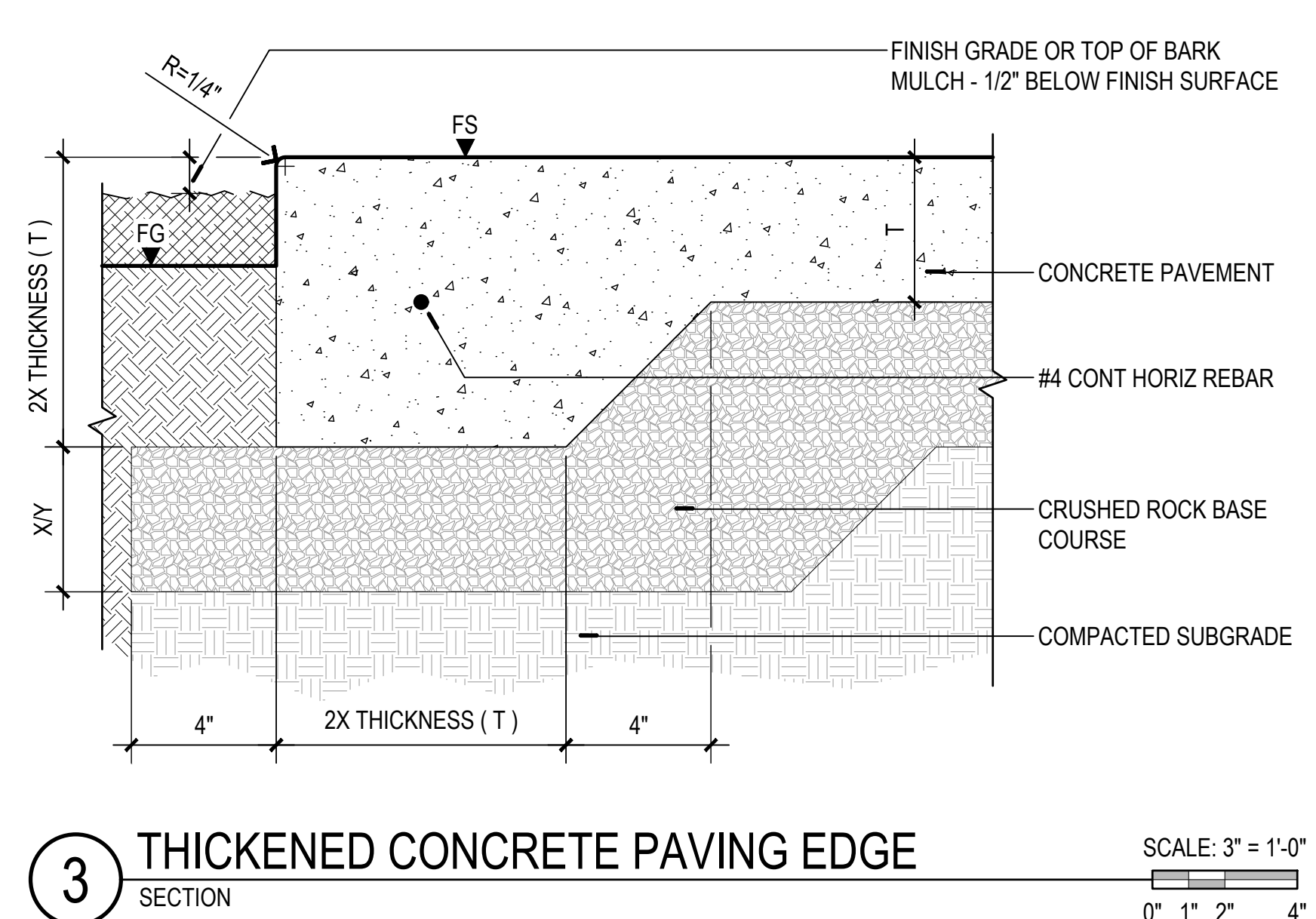
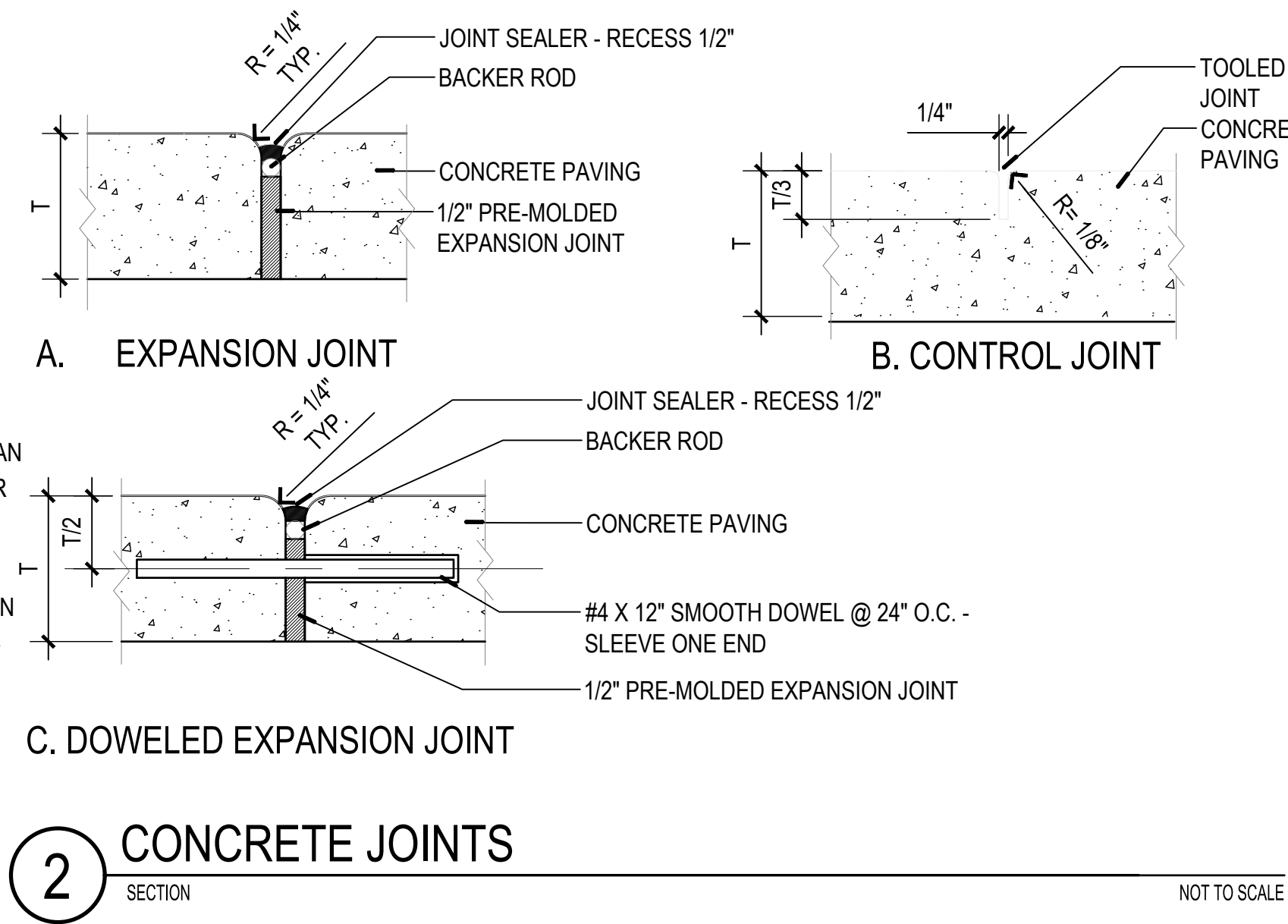
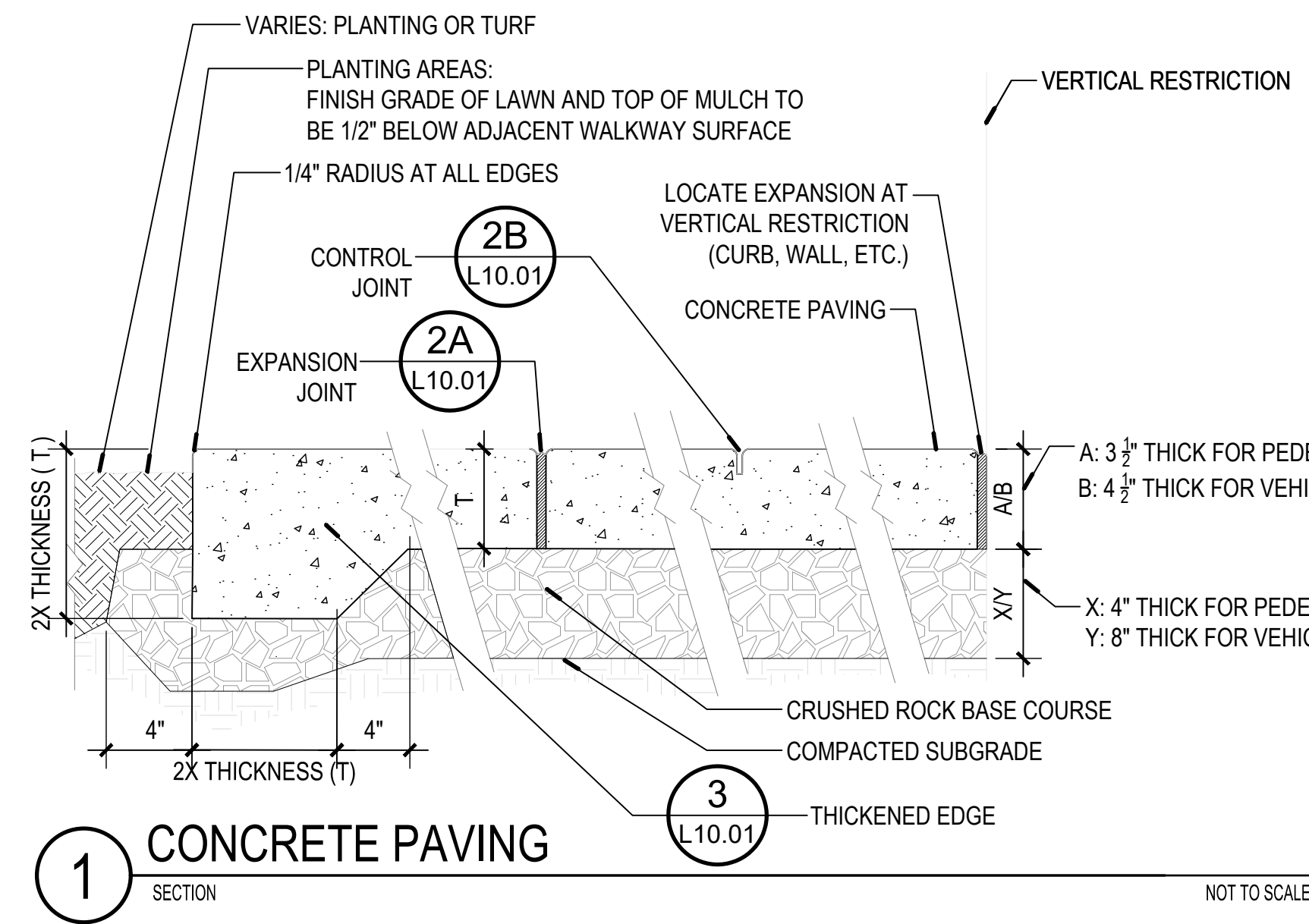
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Date: 03/21/2023

Revisions:

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Checked By: JZ
Job No. 210234.1
Approved: CV

C28.01
Sheet No. 47 of 52



CITY OF MILWAUKEE

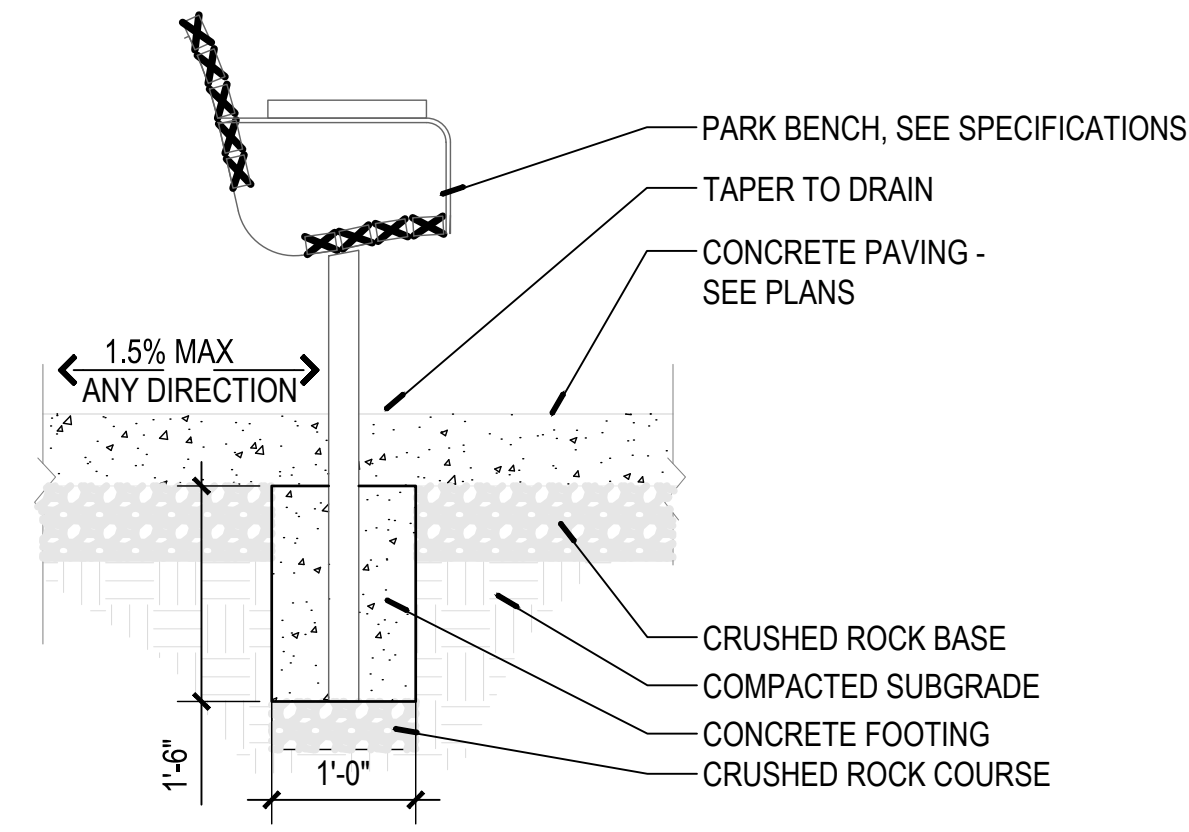
Project:
Scott Park, Balfour Park,
& Bowman Brae Park
City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53228
503-786-7555

Submittal: Design Development
SITE DETAILS

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Date: 04/11/2023
Revisions:

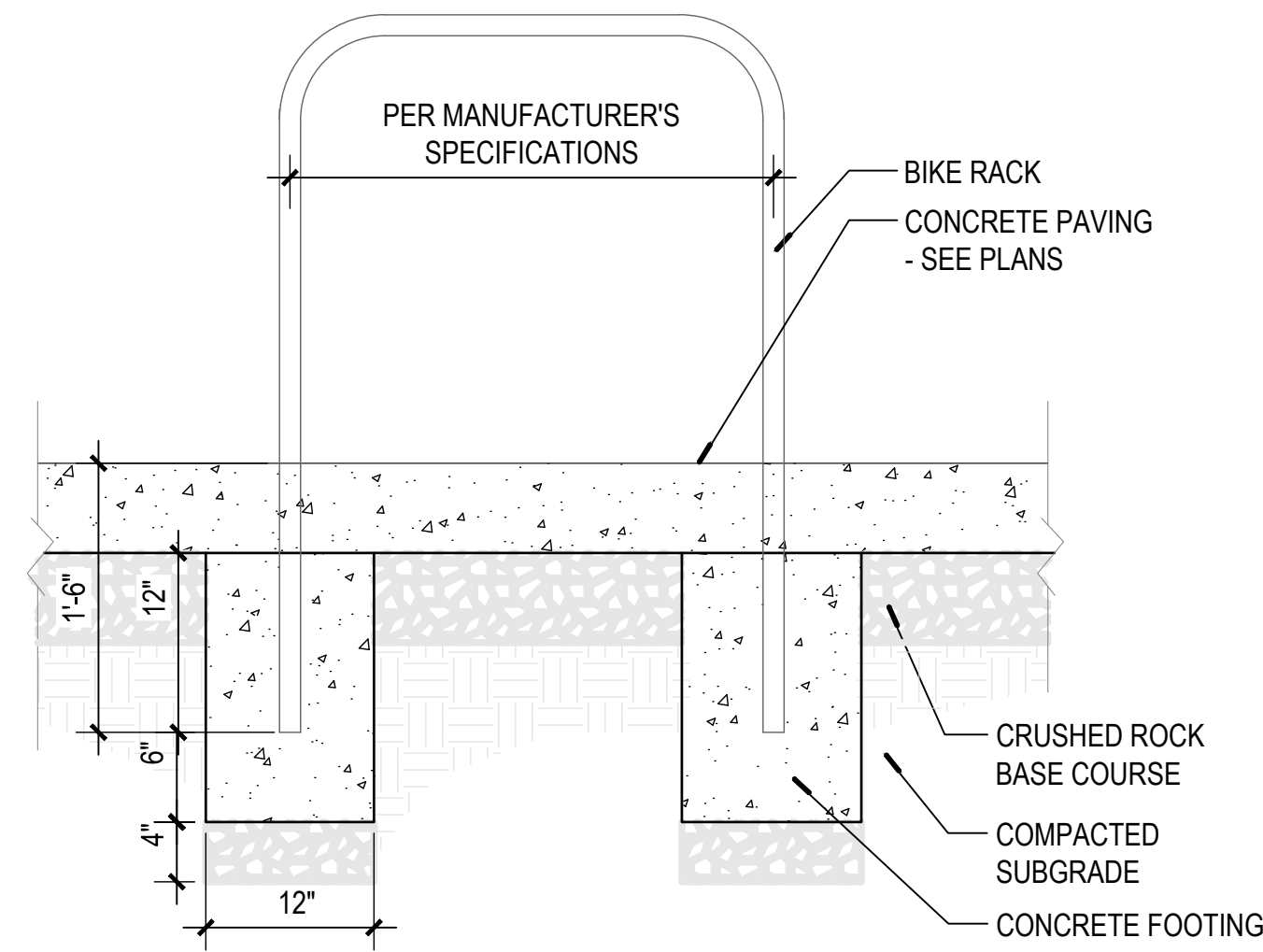
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Checked By: BJ/GM
Job No. 210234.1
Approved: GW

L28.01
Sheet No. 48 of 52



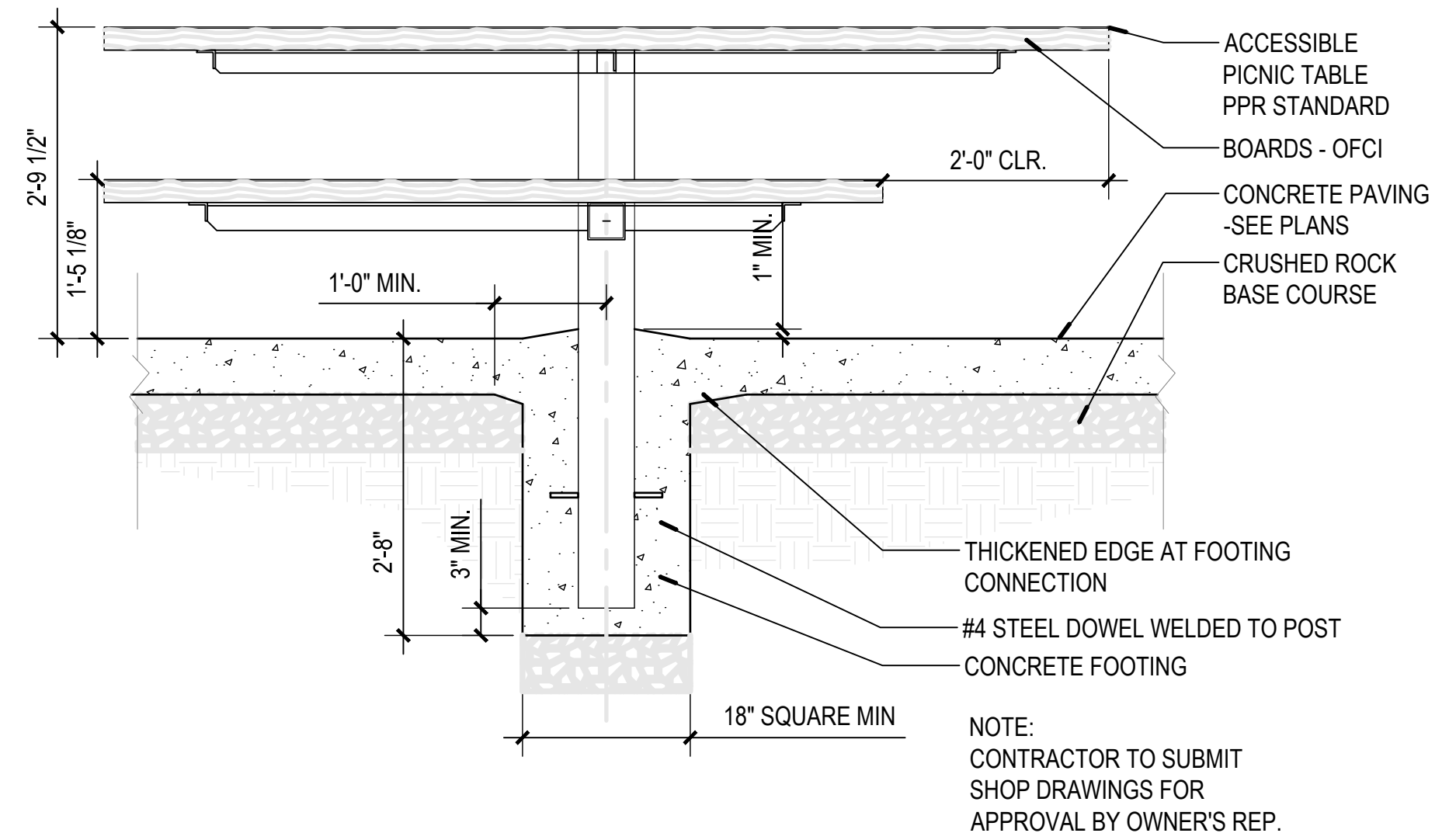
1 STANDARD BENCH
SECTION PLAN

SCALE: 3/4" = 1'-0"
0' 4' 8' 16'



2 BIKE RACK
SECTION

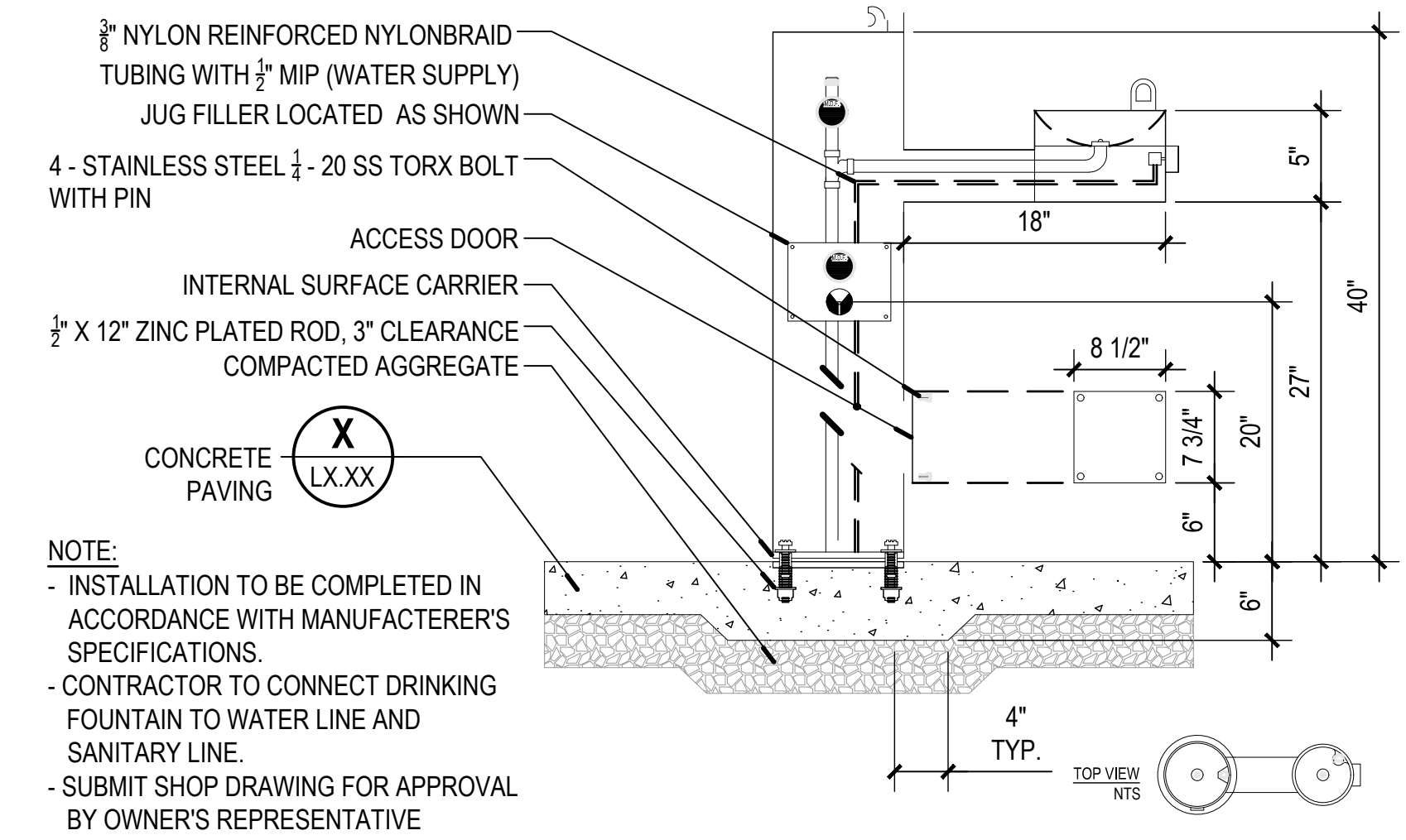
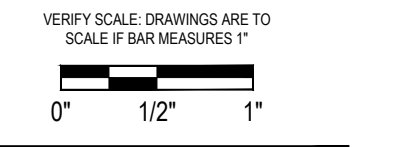
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0' 3' 6' 12'



3 ACCESSIBLE PICNIC TABLE
SECTION

SCALE: 3/4" = 1'-0"
0' 4' 8' 16'

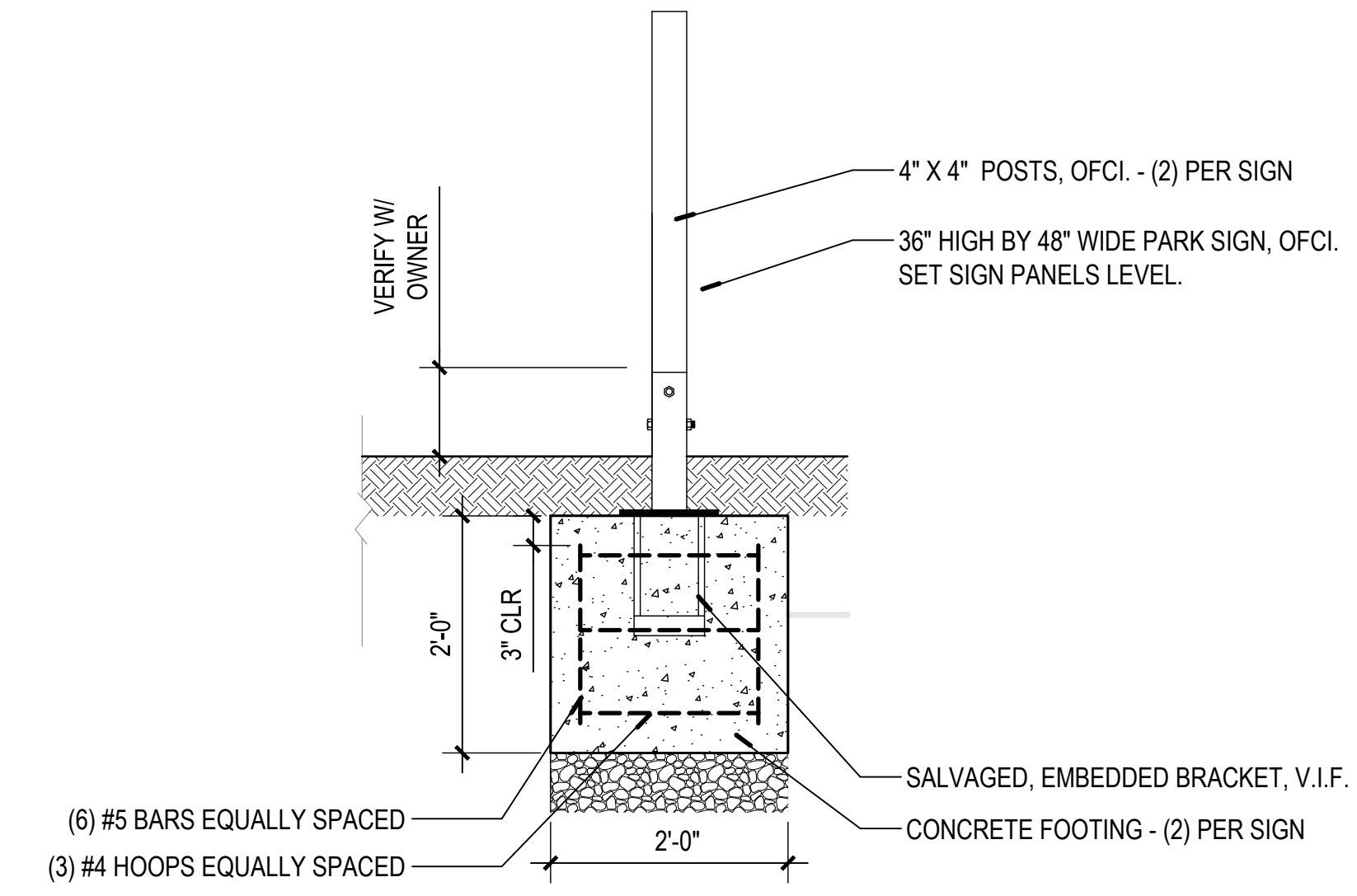
NOTE:
CONTRACTOR TO SUBMIT
SHOP DRAWINGS FOR
APPROVAL BY OWNER'S REP.



4 DRINKING FOUNTAIN
SECTION

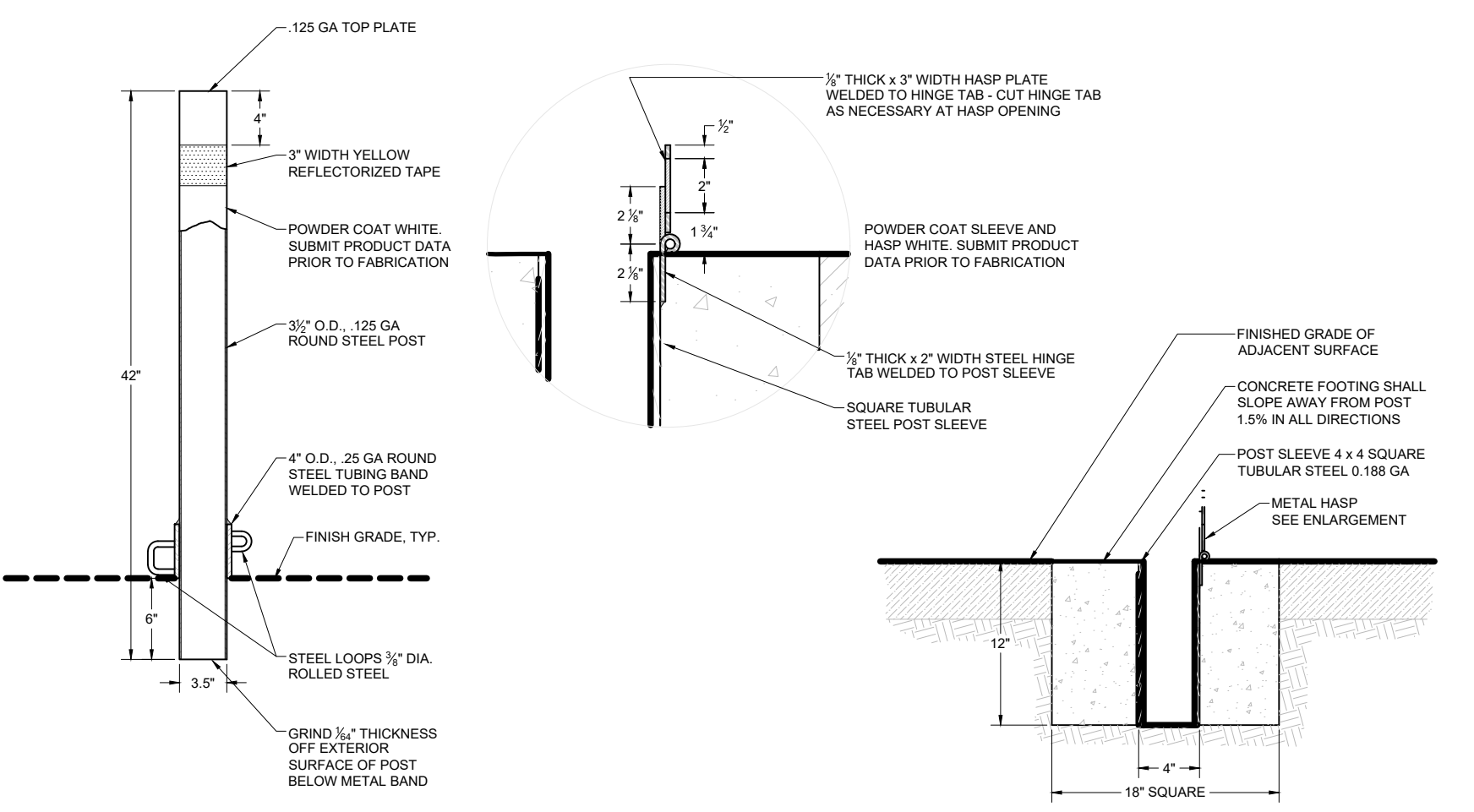
SCALE: 1" = 1'-0"
0' 3' 6' 12'

NOTE:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO CONNECT DRINKING FOUNTAIN TO WATER LINE AND SANITARY LINE.
- SUBMIT SHOP DRAWING FOR APPROVAL BY OWNER'S REPRESENTATIVE



5 PARK SIGN FOOTING
SECTION PLAN

SCALE: 3/4" = 1'-0"
0' 4' 8' 16'



6 REMOVABLE BOLLARD
SECTION

SCALE: 1" = 1'-0"
0' 1/4' 1/2' 1'

Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7555

Submittal: Design Development

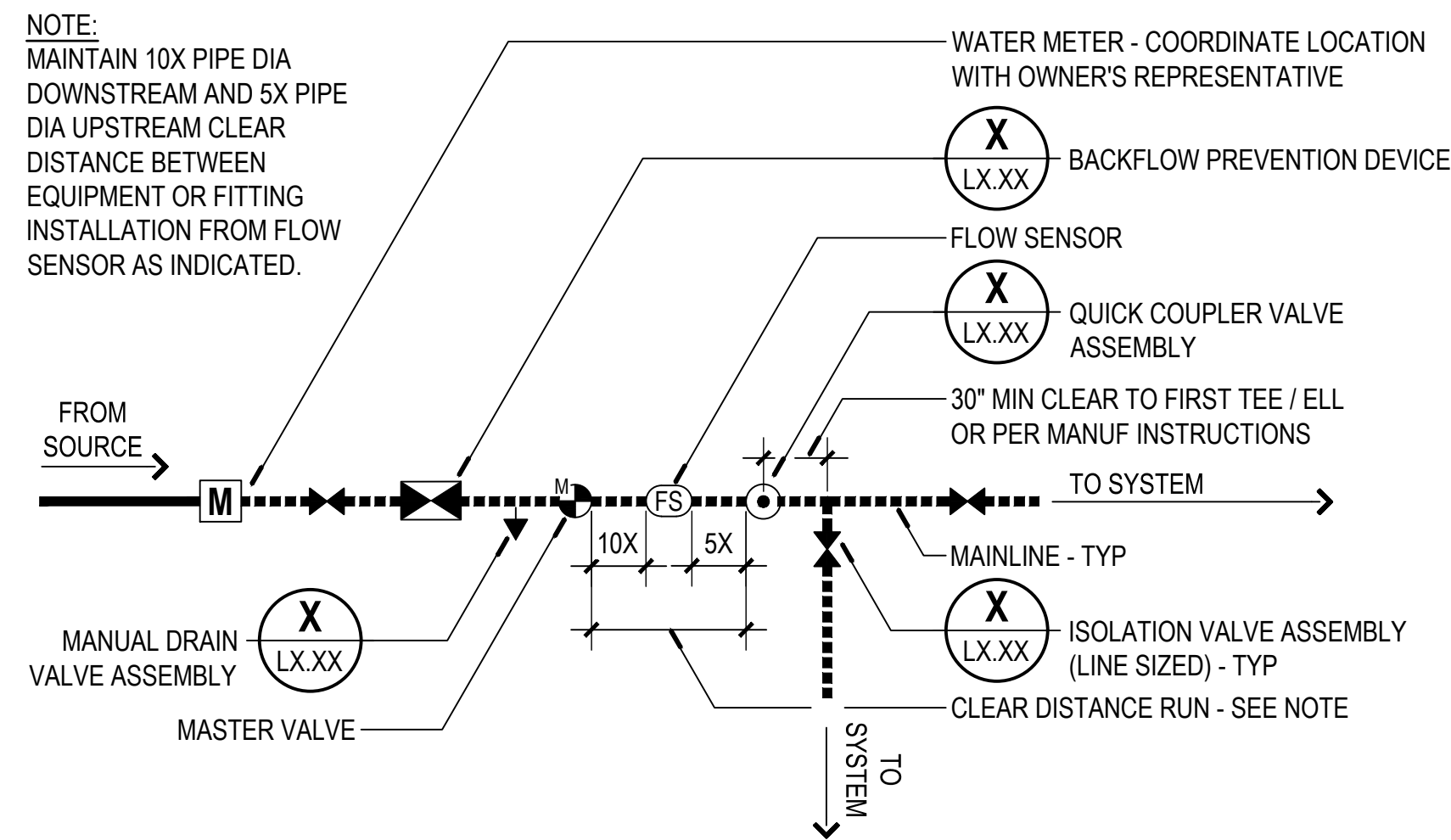
SITE DETAILS

© GREENWORKS, P.C.
2023. ALL RIGHTS RESERVED.
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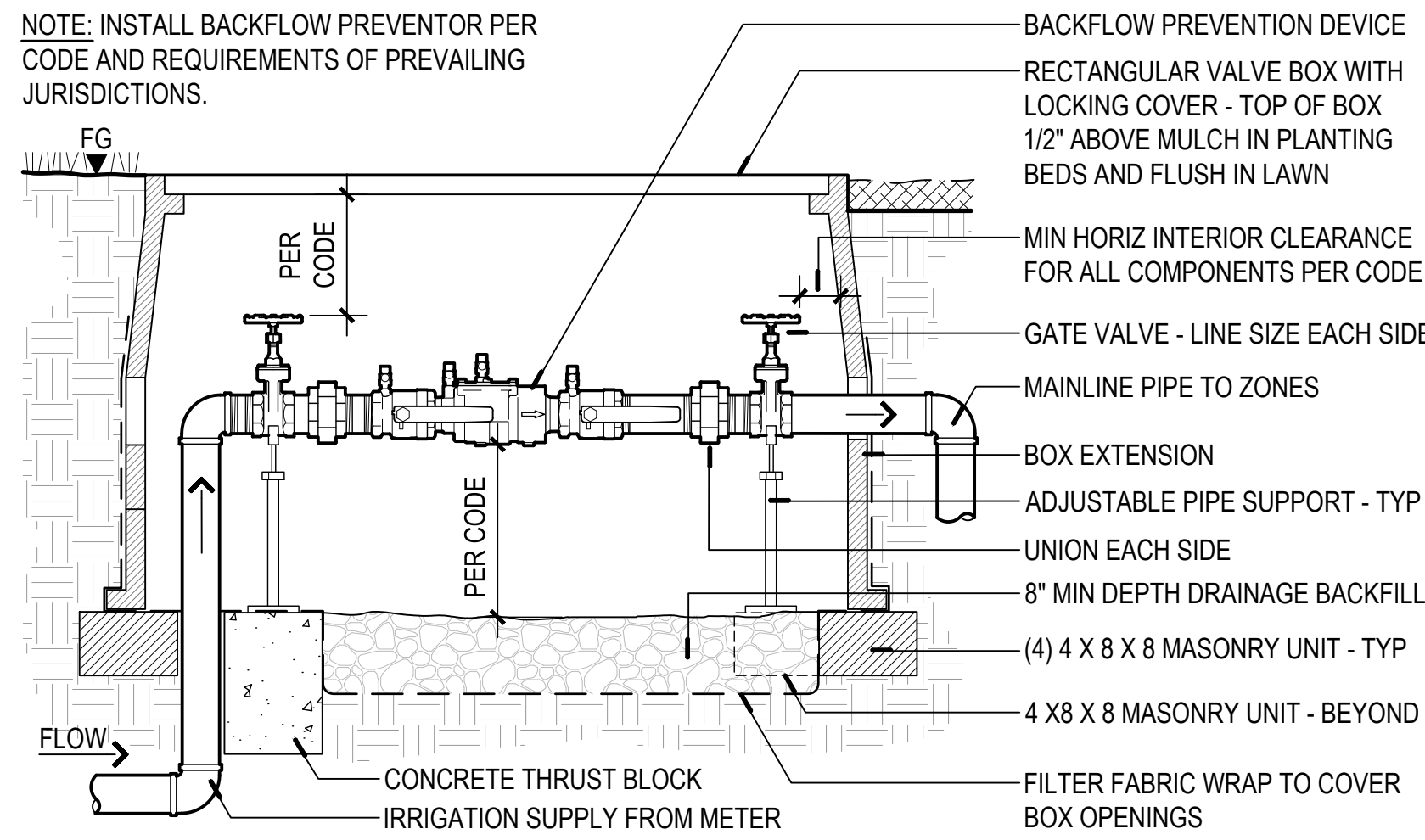
Date: 04/11/2023
Revisions:

Drawn By: GM/YC
Checked By: BJ/GM
Job No. 210234.1
Approved: GW

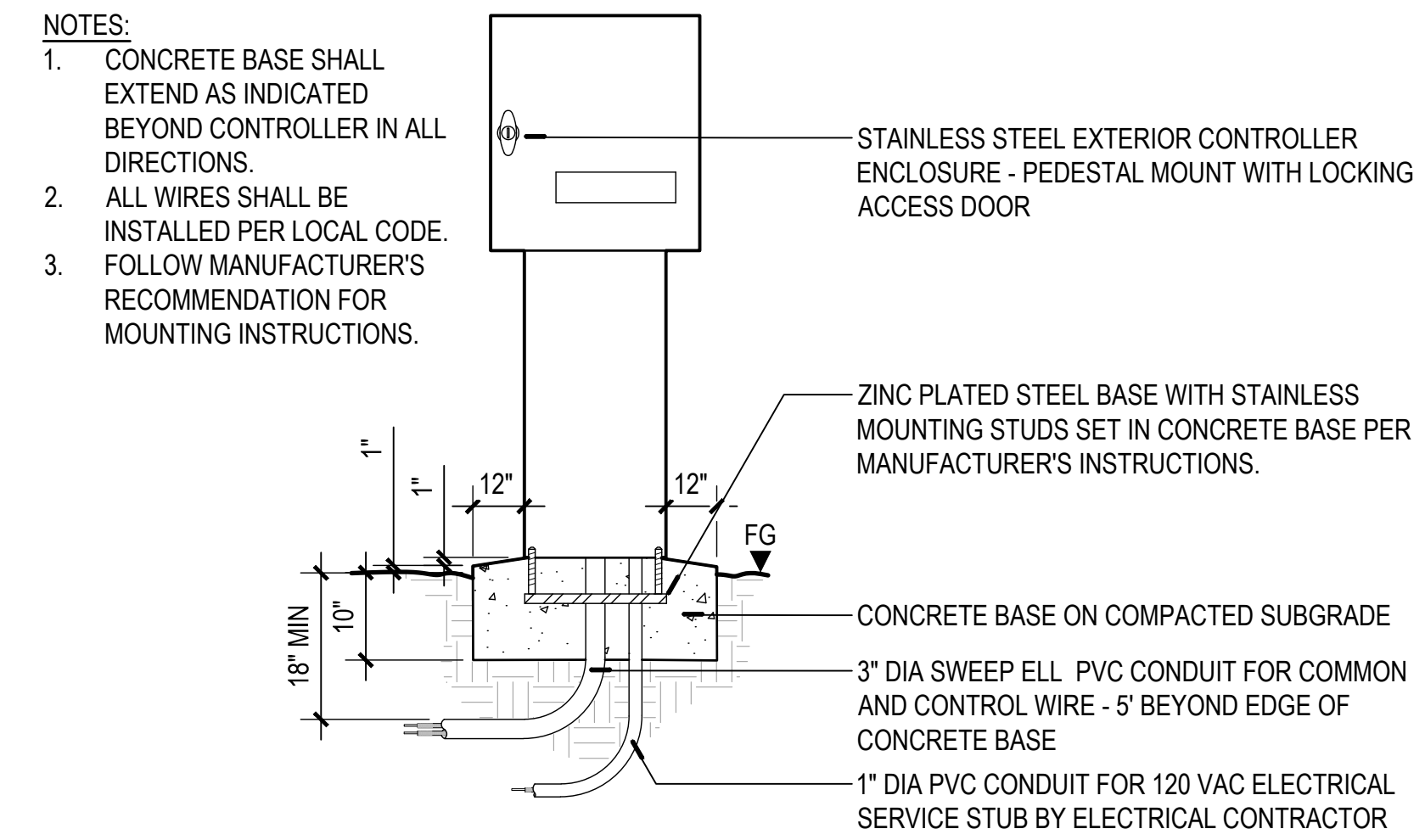
L28.02
Sheet No. 49 of 52



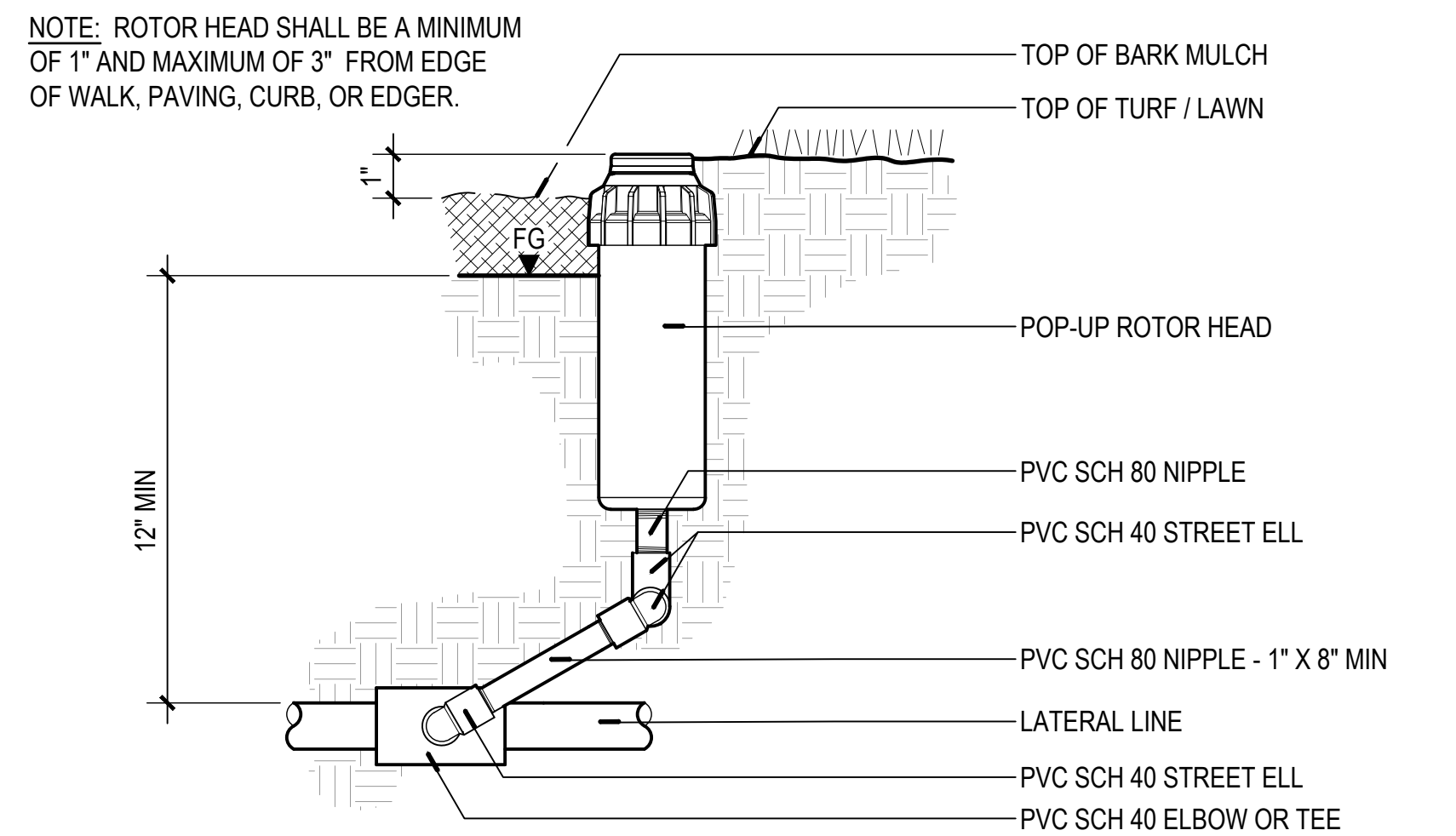
1 POINT OF CONNECTION DIAGRAM
PLAN NOT TO SCALE



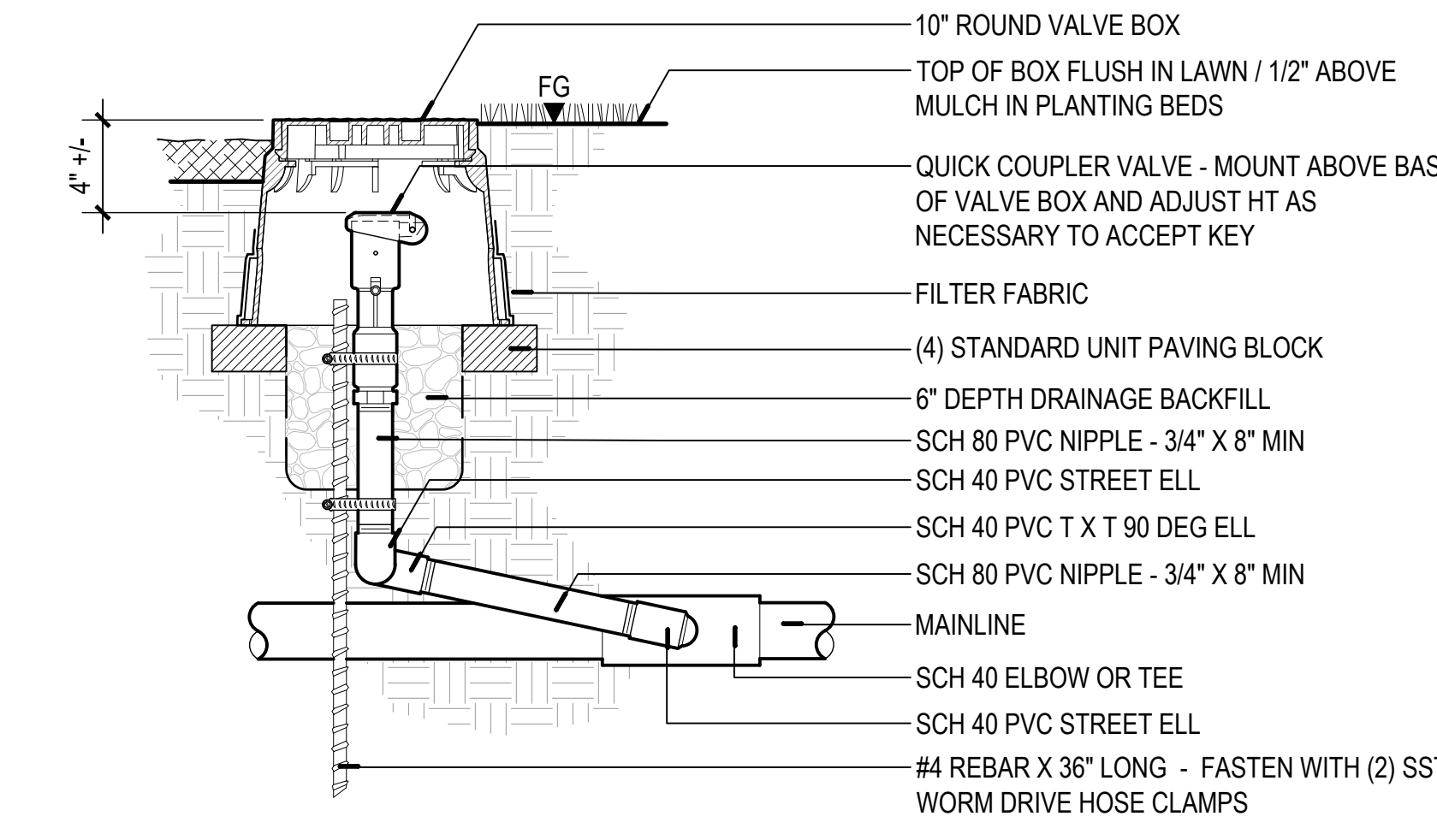
2 BACKFLOW PREVENTION DEVICE ASSEMBLY
SECTION NOT TO SCALE



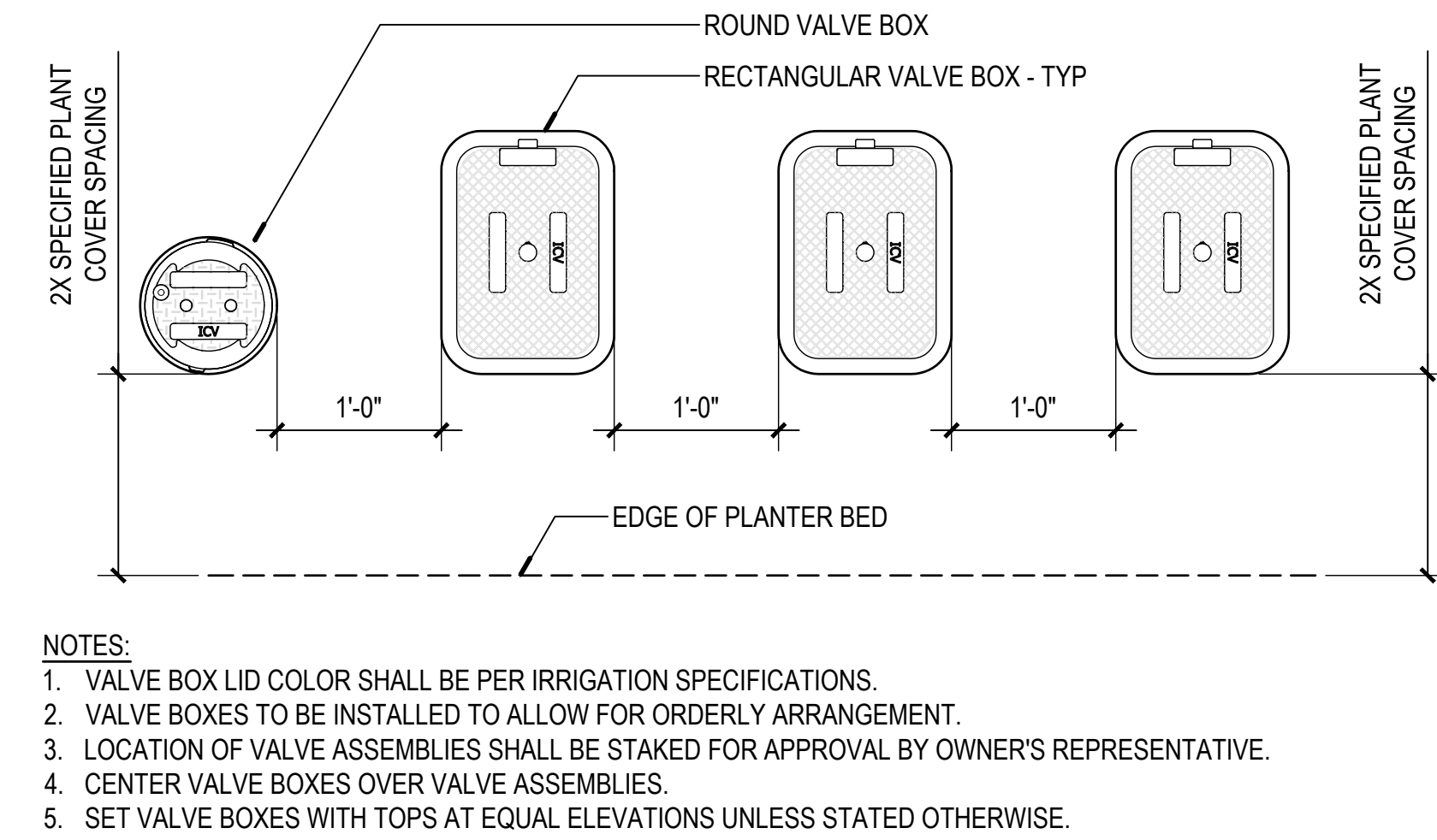
3 CONTROLLER - PEDESTAL MOUNT
SECTION NOT TO SCALE



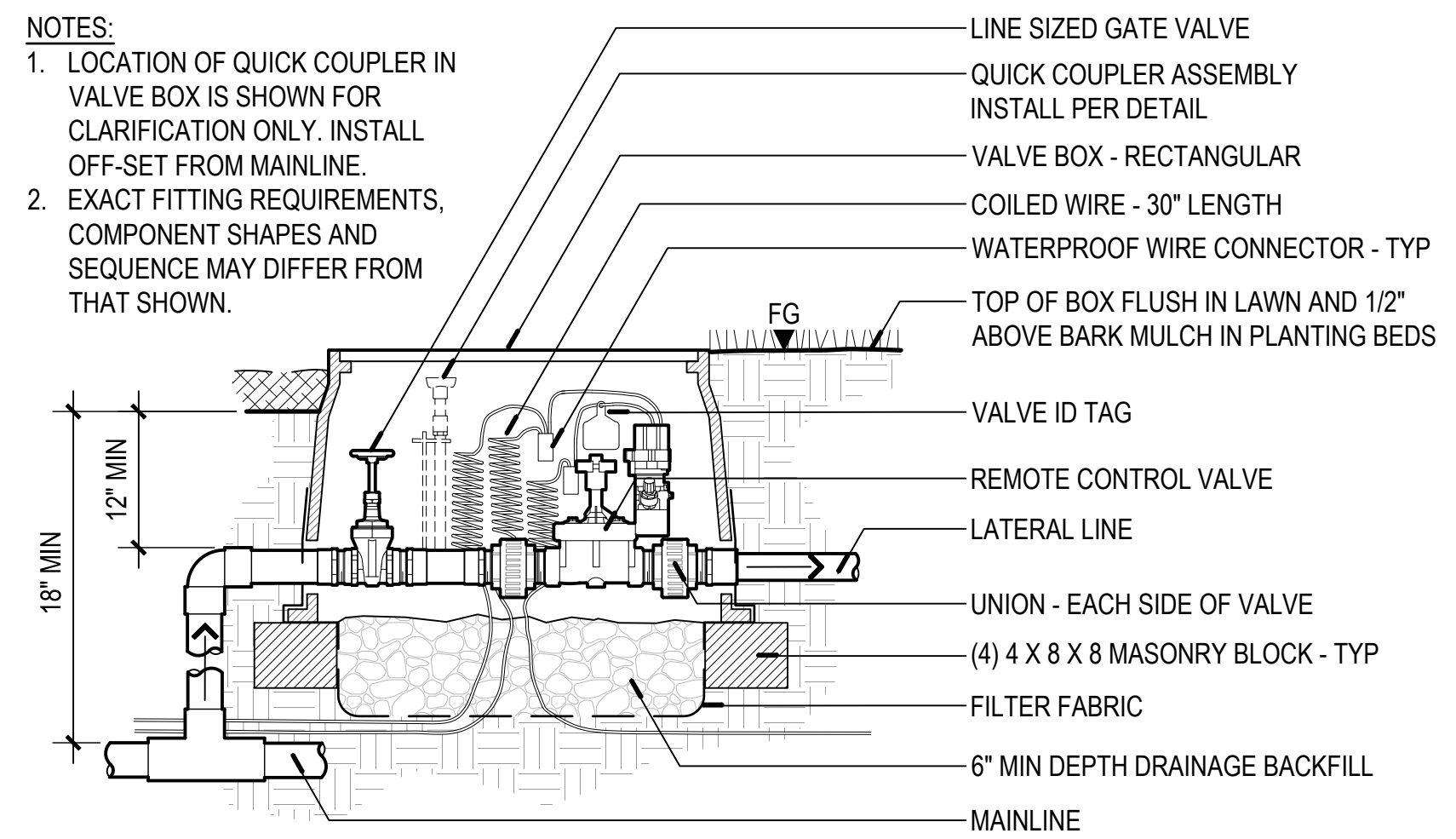
4 ROTOR HEAD - PVC SWING JOINT ASSEMBLY
SECTION NOT TO SCALE



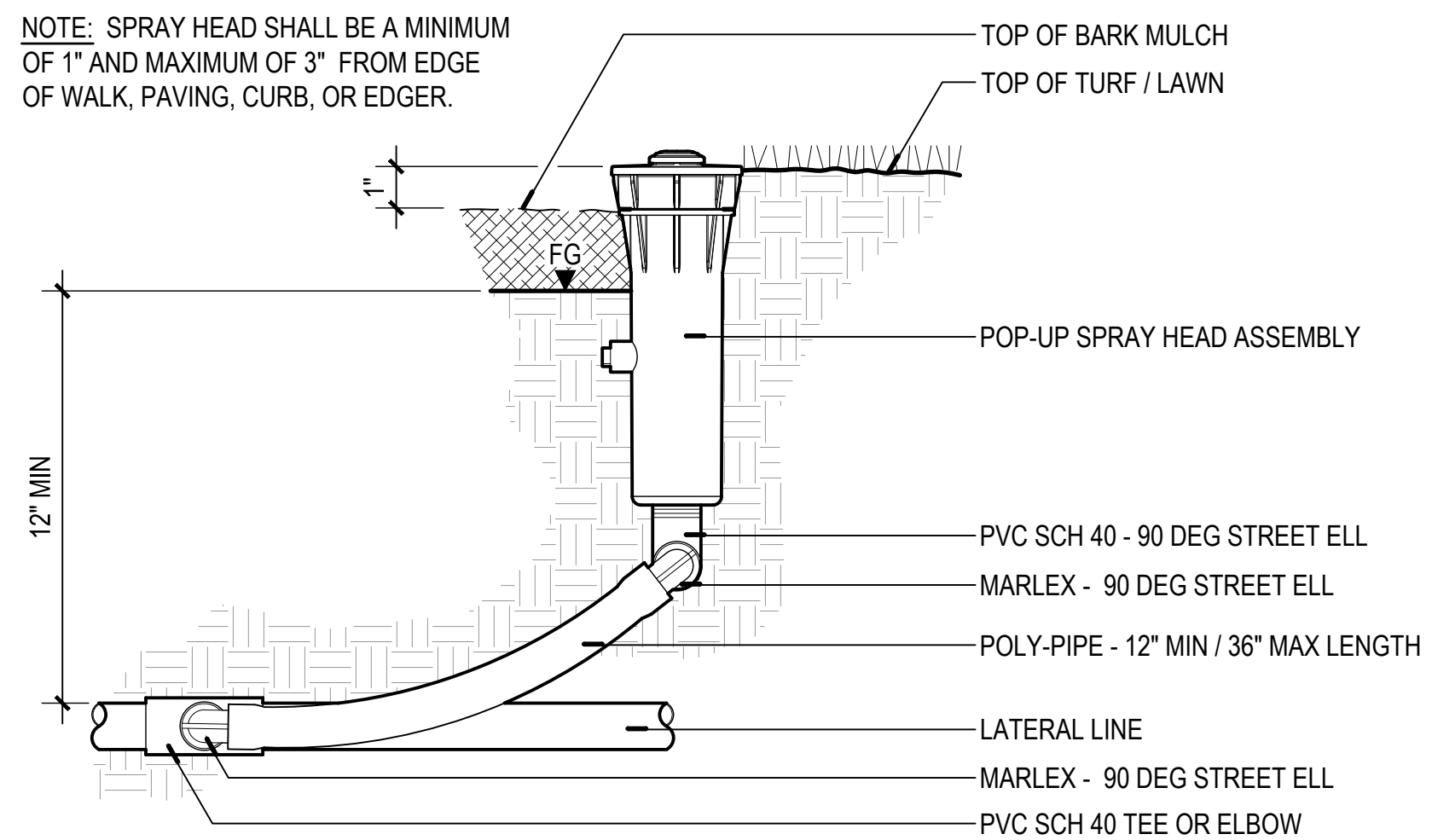
5 QUICK COUPLER VALVE ASSEMBLY
SECTION NOT TO SCALE



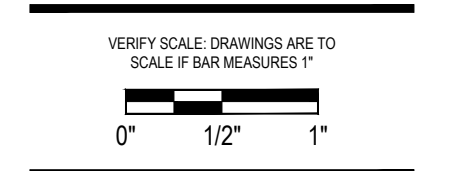
6 VALVE BOX LAYOUT
PLAN NOT TO SCALE



7 REMOTE CONTROL VALVE ASSEMBLY
SECTION NOT TO SCALE



8 SPRAY HEAD - SWING JOINT ASSEMBLY
SECTION NOT TO SCALE



Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, OR 97222
503-786-7555

Submittal: Design Development

IRRIGATION DETAILS

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC

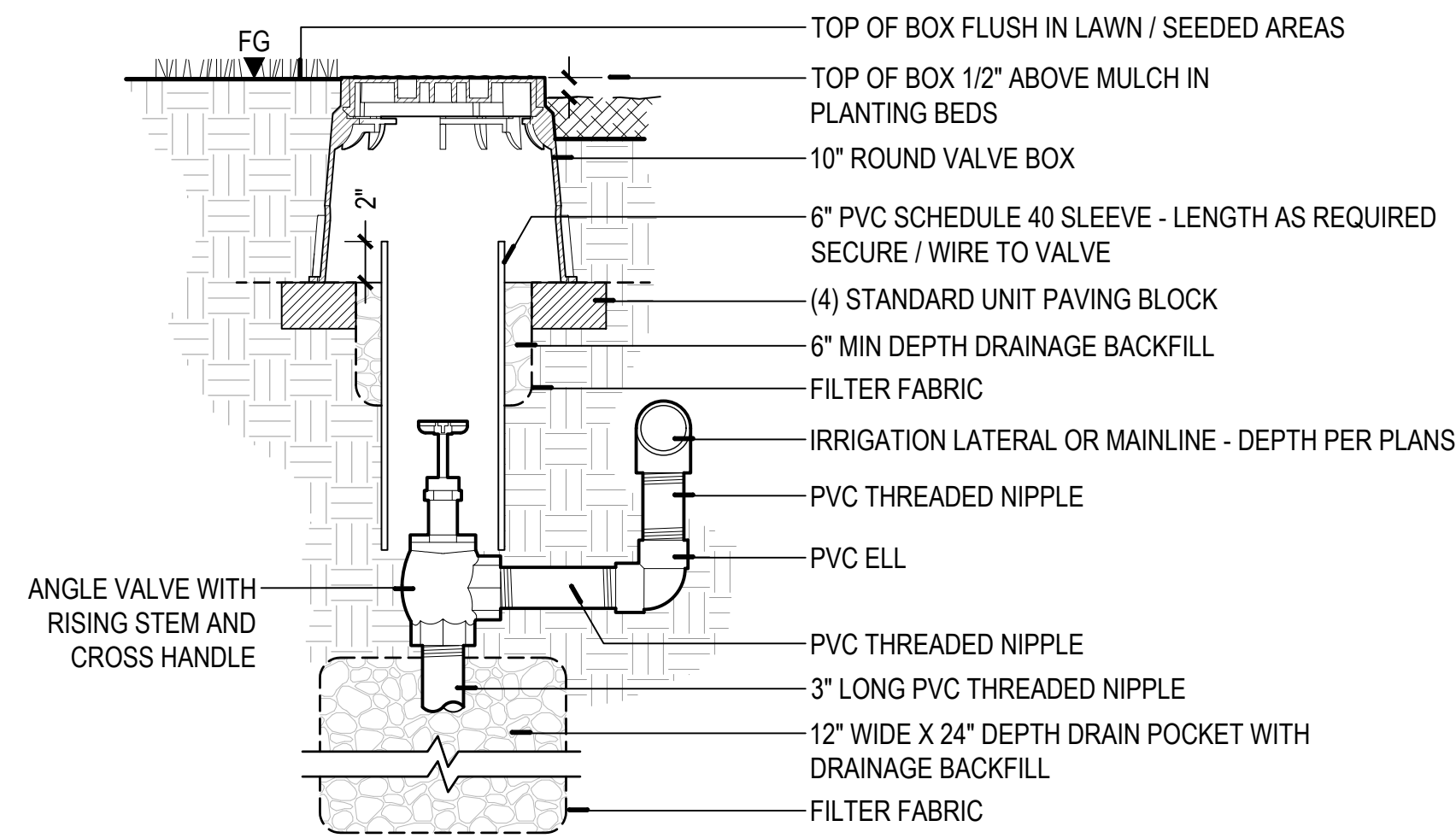
Checked By: BJ/GM

Job No. 210234.1

Approved: GW

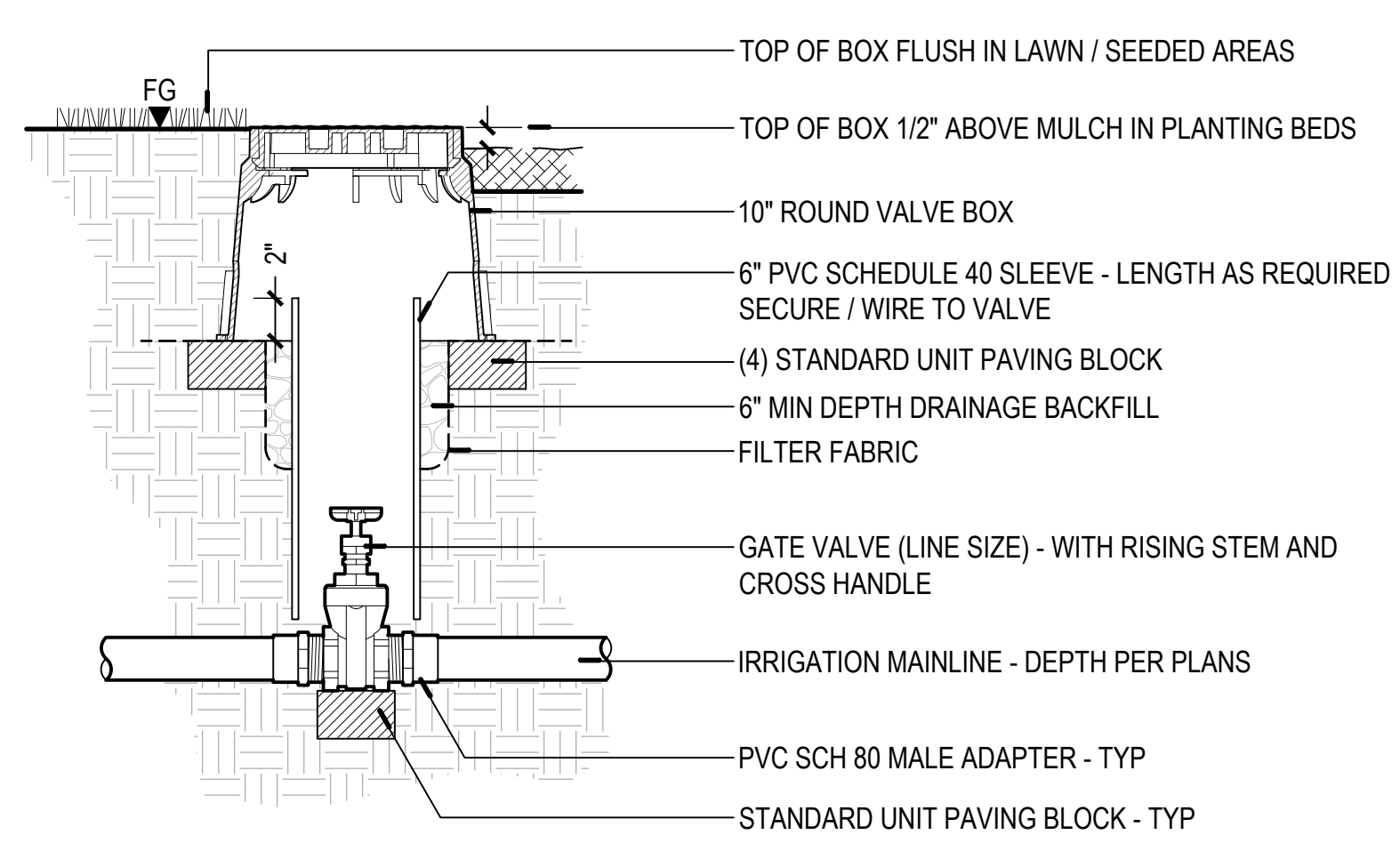
L29.01

Sheet No. 50 of 52



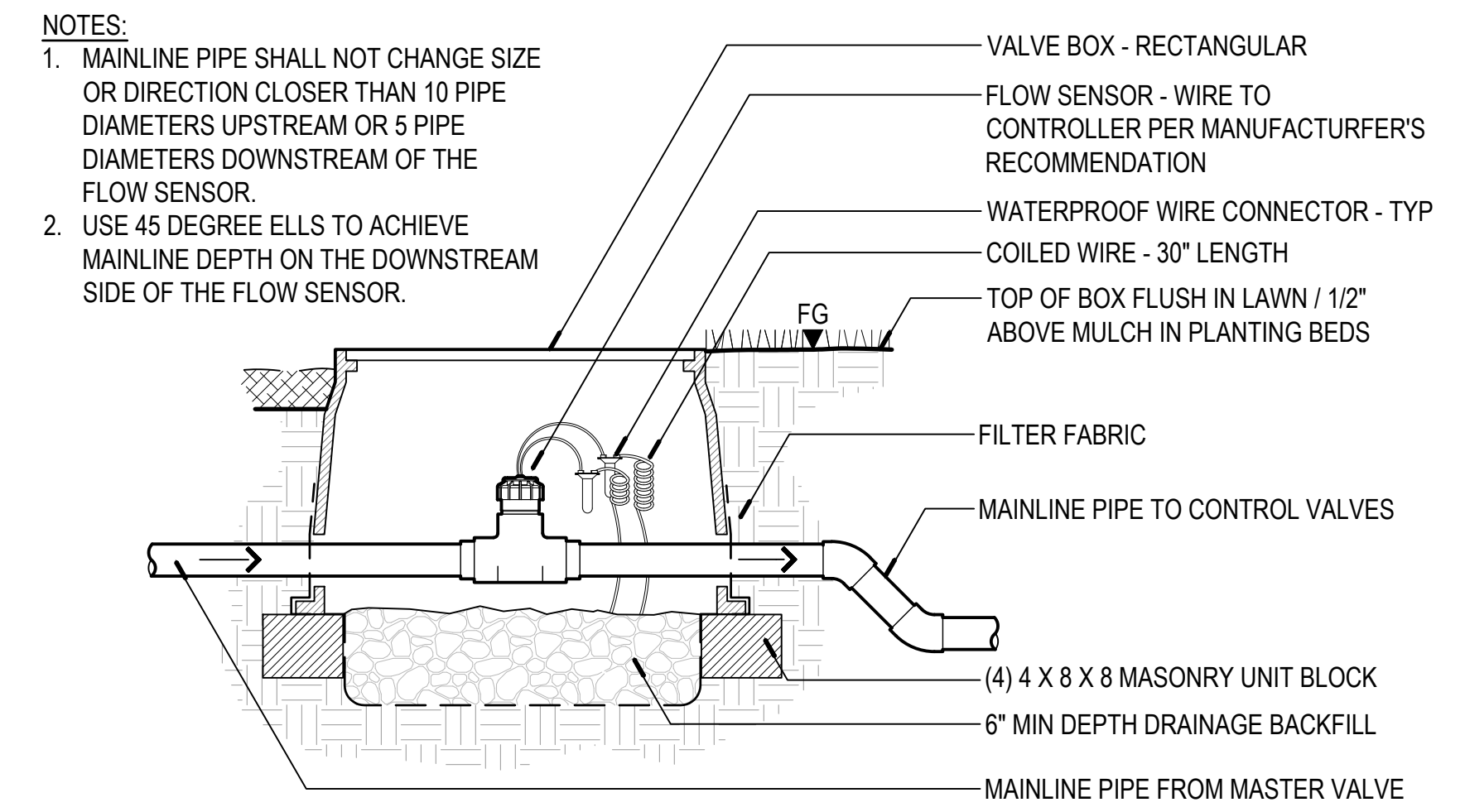
1 MANUAL DRAIN VALVE ASSEMBLY
SECTION

NOT TO SCALE



2 ISOLATION VALVE ASSEMBLY
SECTION

NOT TO SCALE

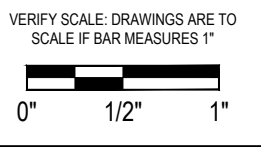


3 FLOW SENSOR
SECTION

NOT TO SCALE

NOTES:

1. MAINLINE PIPE SHALL NOT CHANGE SIZE OR DIRECTION CLOSER THAN 10 PIPE DIAMETERS UPSTREAM OR 5 PIPE DIAMETERS DOWNSTREAM OF THE FLOW SENSOR.
2. USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH ON THE DOWNSTREAM SIDE OF THE FLOW SENSOR.



Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
10722 SE Main Street
Milwaukee, OR 97222
503-786-7555

Submittal: Design Development

IRRIGATION DETAILS

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Revisions:

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Checked By: BJ/GM

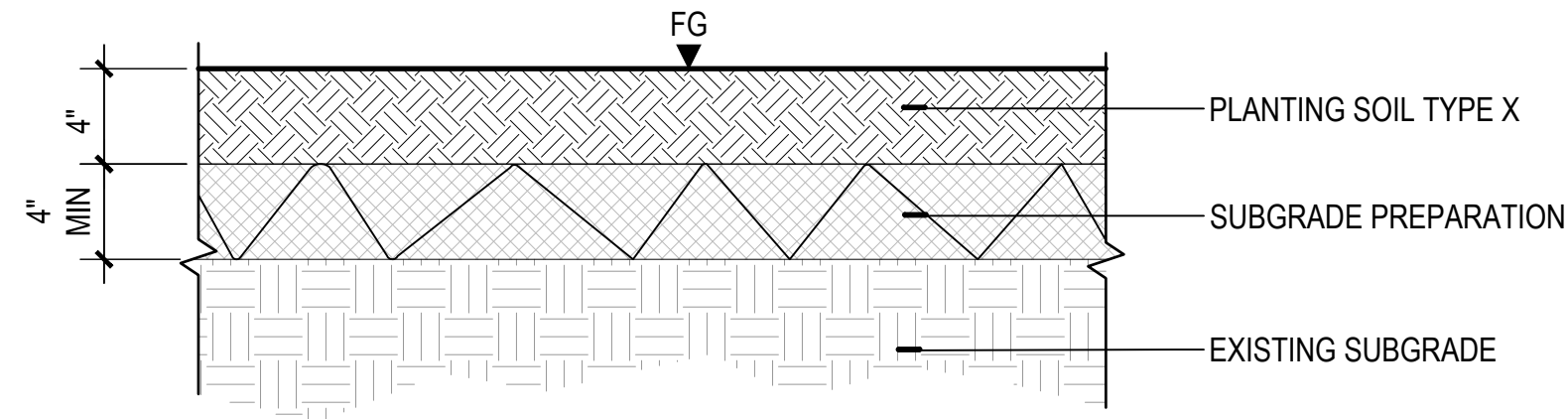
Job No. 210234.1

Approved: GW

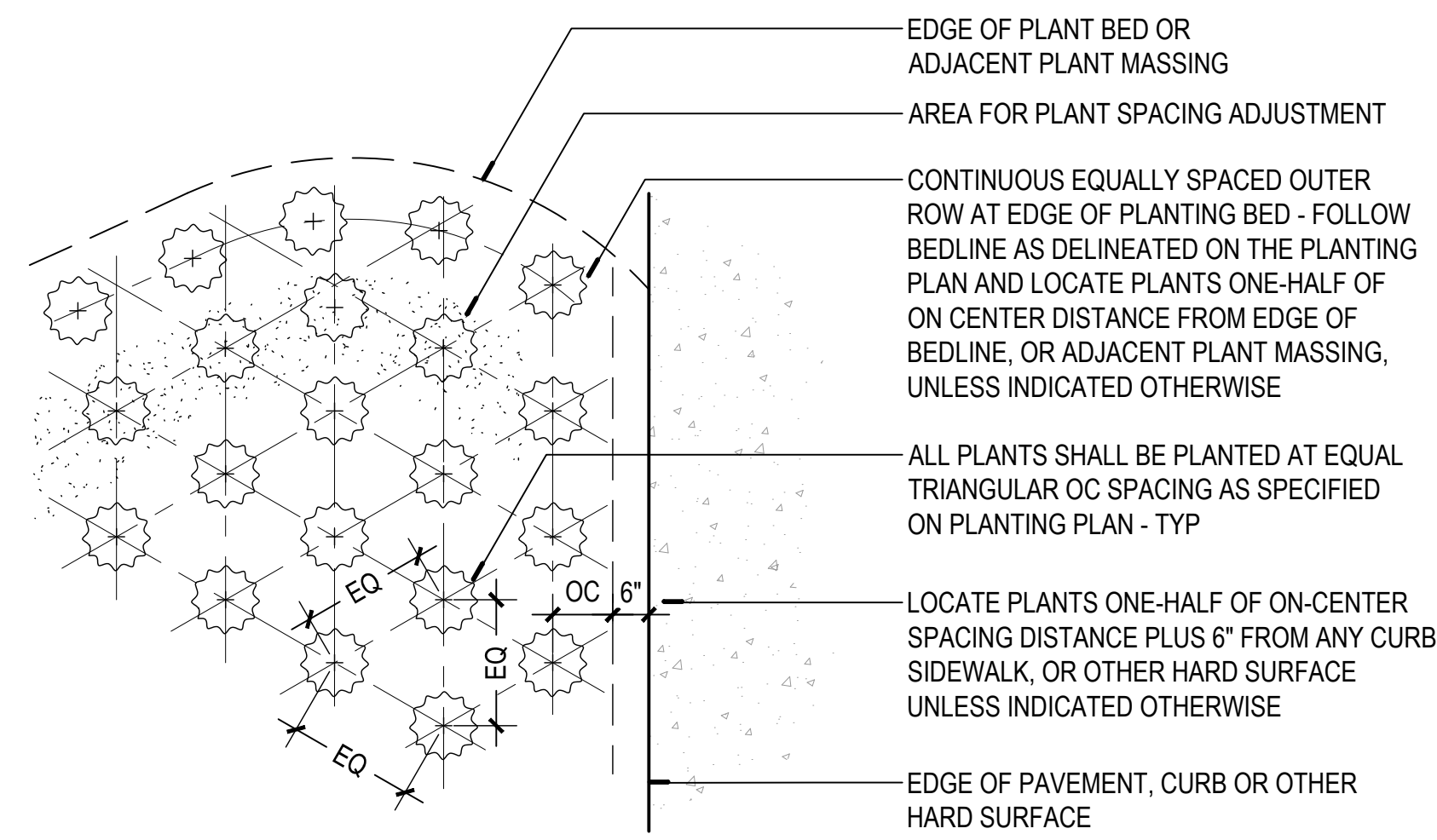
L29.02

Sheet No. 51 of 52

- NOTES:**
- CONFIRM THE SUBGRADE IS AT THE PROPER ELEVATION PRIOR TO FINAL PLANTING SOIL INSTALLATION.
 - SUBGRADE TO SLOPE TO SUBSURFACE DRAINAGE LINES AND AWAY FROM STRUCTURES IF PRESENT.

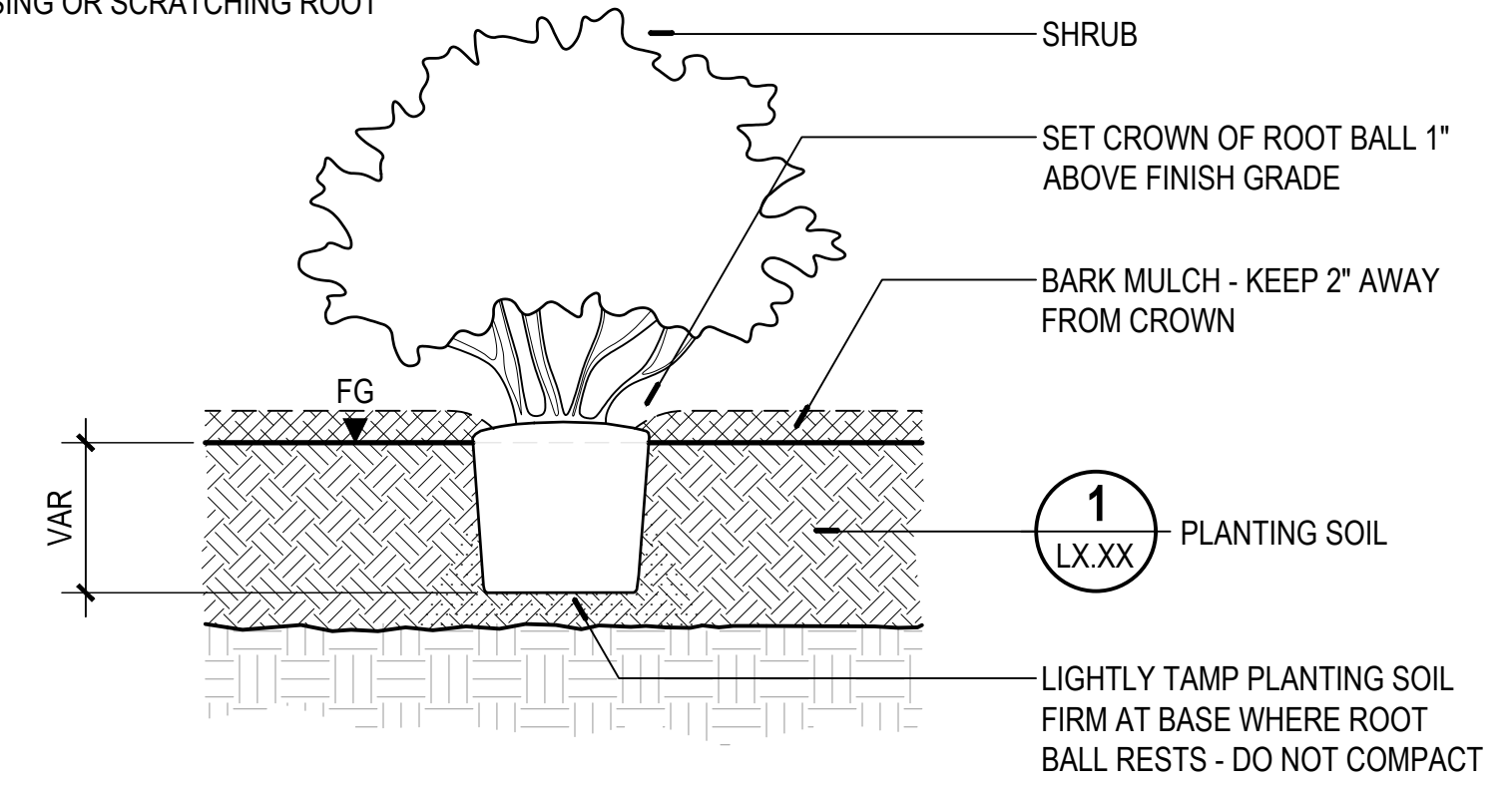


1 PLANTING SOIL TYPE X
SECTION NOT TO SCALE



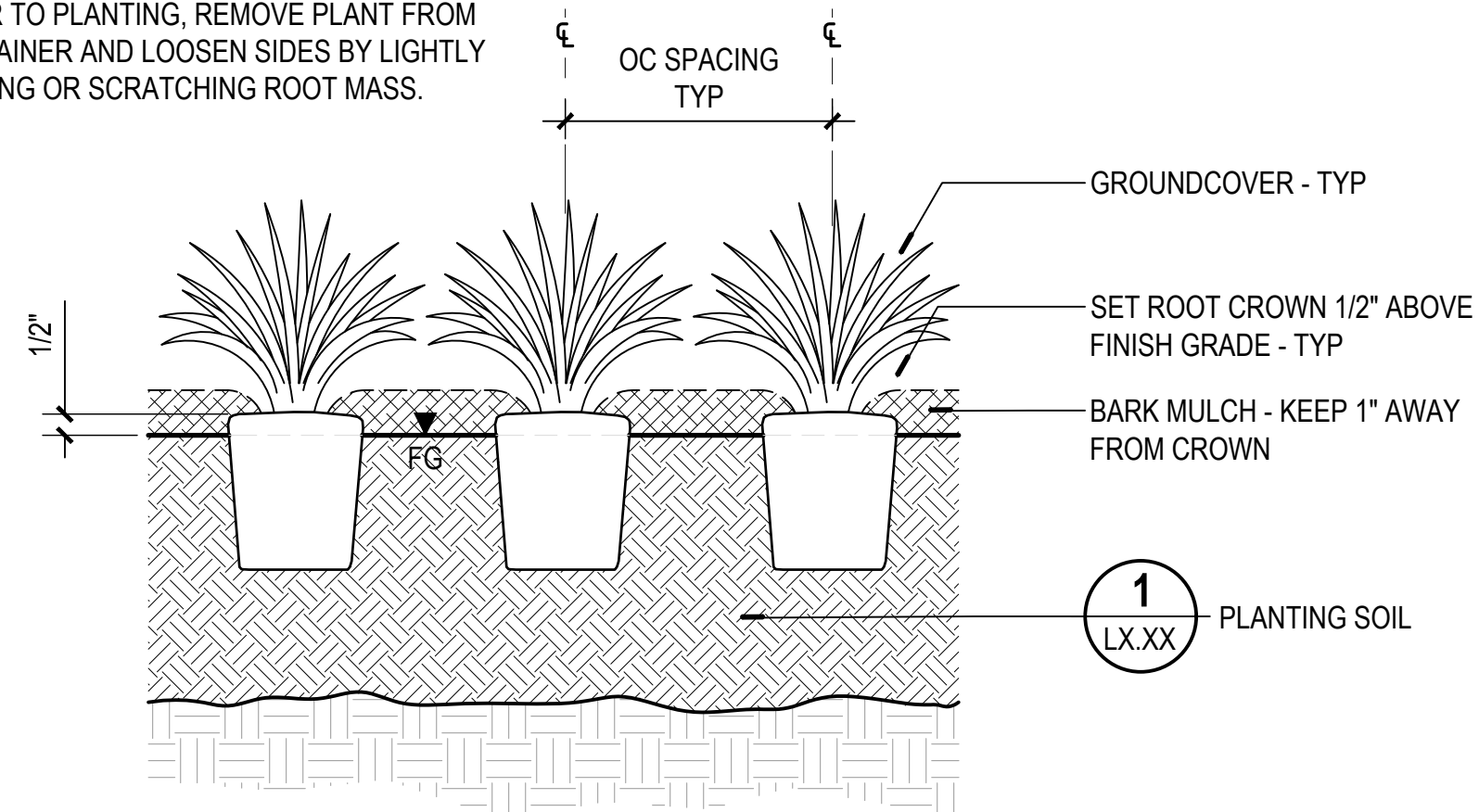
2 PLANT SPACING DIAGRAM
PLAN NOT TO SCALE

- NOTE:**
- PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.



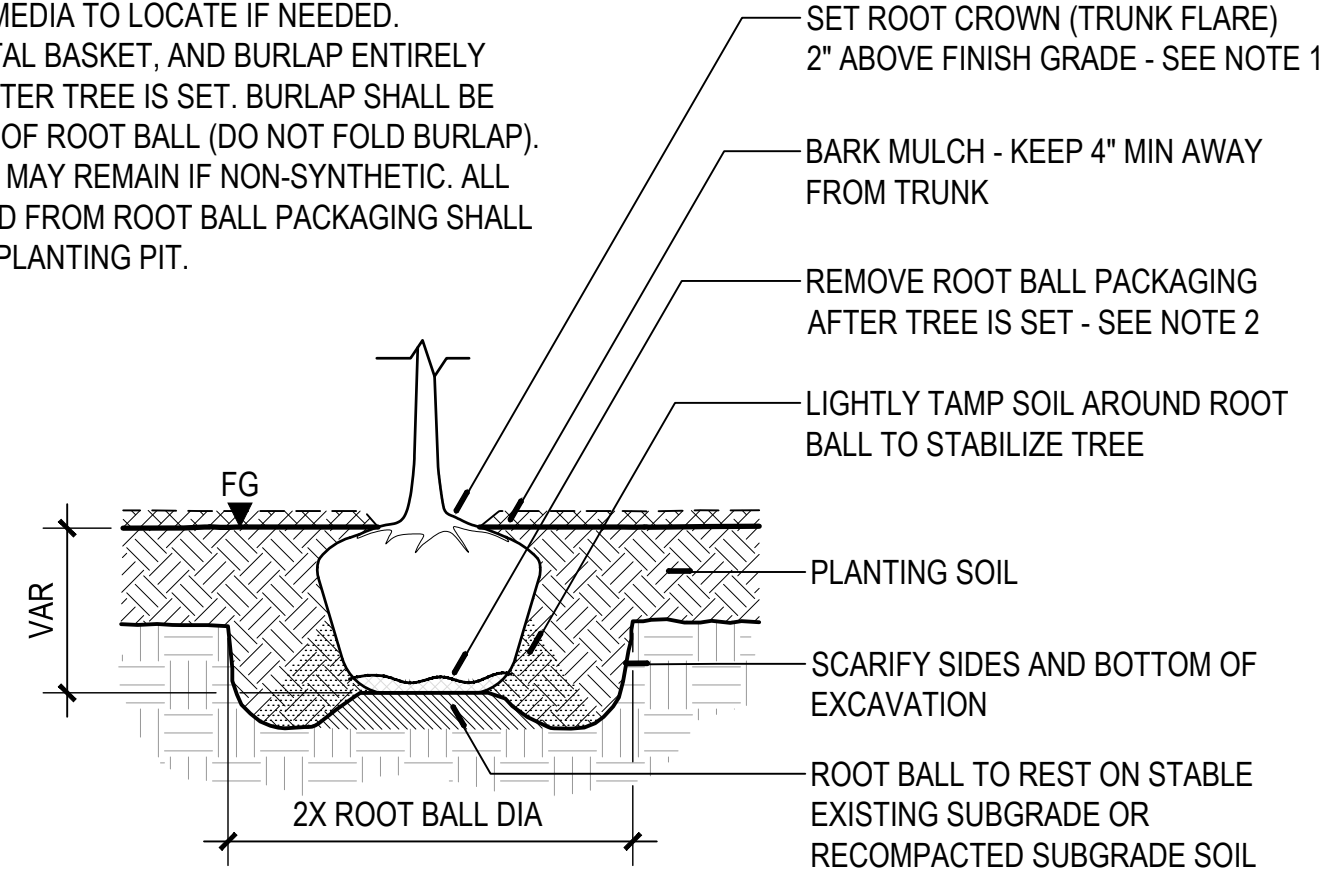
3 SHRUB CONTAINER PLANTING W/ PLANTING SOIL
SECTION NOT TO SCALE

- NOTE:**
- PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.

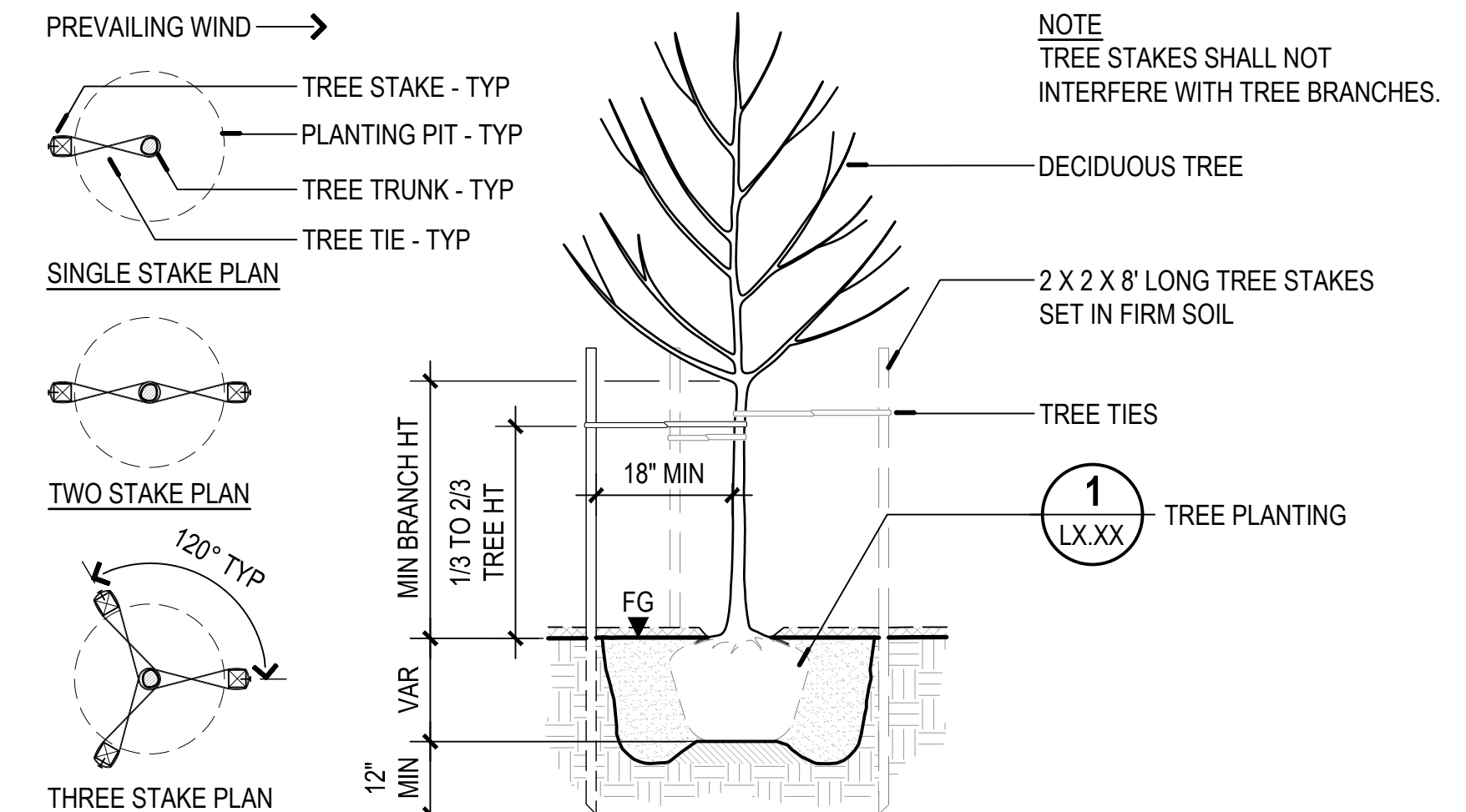


4 GROUNDCOVER PLANTING
SECTION NOT TO SCALE

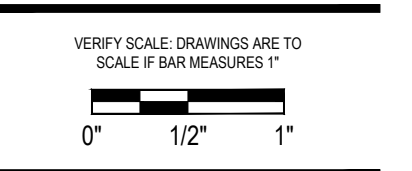
- NOTES:**
- ROOT CROWN TO BE VISIBLE BEFORE TREE IS SET. REMOVE TOP OF ROOT BALL MEDIA TO LOCATE IF NEEDED.
 - REMOVE TWINE, METAL BASKET, AND BURLAP ENTIRELY FROM ROOT BALL AFTER TREE IS SET. BURLAP SHALL BE CUT DOWN TO BASE OF ROOT BALL (DO NOT FOLD BURLAP). BURLAP ON BOTTOM MAY REMAIN IF NON-SYNTHETIC. ALL MATERIALS REMOVED FROM ROOT BALL PACKAGING SHALL BE REMOVED FROM PLANTING PIT.



5 TREE PLANTING - B&B W/ PLANTING SOIL
SECTION NOT TO SCALE



6 DECIDUOUS TREE - STAKING
SECTION / PLAN NOT TO SCALE



Project:
Scott Park, Balfour Park,
& Bowman Brae Park
City of Milwaukee
10722 SE Main Street
Milwaukee, WI 53222
503-786-7655

Submittal: Design Development

PLANTING DETAILS

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Date: 04/11/2023

Revisions:

Drawn By: GM/YC
Checked By: BJ/GM
Job No. 210234.1
Approved: GW

L30.01
Sheet No. 52 of 52

Milwaukie Parks Land Use Planning
and Permitting

Bowman-Brae Park Application

Exhibit D – Stormwater Drainage
Report – Scott, Bowman-Brae and
Balfour Parks

(see separate PDF document)

Milwaukie Parks Land Use Planning
and Permitting

Bowman-Brae Park Application

Exhibit F – Property Deeds

920
42
62
40

WFG Title 11008731-10

After recording return to: (Name, Address, Zip)
City of Milwaukie
Milwaukie City Hall
10722 SE Main Street
Milwaukie, OR 97222

Until requested otherwise, send all tax statements to:
Same As Above

ORDER NO: 11008731
TAX ACCOUNT NO. 00438985

Clackamas County Official Records 2011-074021
Sherry Hall, County Clerk



\$62.00

01546570201100740210040046

12/22/2011 03:48:18 PM

D-D Cnt=1 Stn=5 CONNIEBRO
\$20.00 \$10.00 \$18.00 \$18.00

Space Above Reserved for Recorder's Use

STATUTORY WARRANTY DEED

Clunas Funding Group, Inc. Profit Sharing Plan & Trust, Grantor, conveys and warrants to City of Milwaukie, an Oregon municipal corporation Grantee, the following described real property free of encumbrances, except as specifically set forth herein, situated in Clackamas County, State of Oregon, to wit:

See Legal Description attached hereto as Exhibit "A"

Subject to and excepting: Covenants, Conditions, Restrictions and Easements of record.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930 AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009.

The true and actual consideration for this conveyance is \$90,000.00. (Here, comply with the requirements of ORS 93.030.)

Dated this 20th day of December 2011

CLUNAS FUNDING GROUP, INC. PROFIT SHARING PLAN & TRUST

[Signature]
Gary Clunas
Trustee

State of Oregon
County of Clackamas

The foregoing instrument was acknowledged before me this 20th day of December 2011 by Gary Clunas Trustee

[Signature]
Notary Public in and for the State of Oregon
My commission expires: 3/16/12



This conveyance is approved as to form and content and accepted by The City of Milwaukie, an Oregon municipal corporation, as of the date set forth above.

THE CITY OF MILWAUKIE,
an Oregon municipal corporation

By: Bill Monahan
Name: Bill Monahan
Title: City Manager

State of Oregon

County of Clackamas

This instrument was acknowledged before me on December 21, 2011, by
Bill Monahan as City Manager of The City of
Milwaukie, an Oregon municipal corporation.

Kelli B. Tucker
Notary Public - State of Oregon



EXHIBIT "A"
LEGAL DESCRIPTION

File No.: 11008731

The Southerly 125 feet of that portion of Tract 13, ATKINSON, in the County of Clackamas and State of Oregon, which lies Northerly of a line drawn at right angles from the Westerly line of said tract at a point 1717.00 feet Southerly, measured along the said Westerly line from the Northwesterly corner thereof; and which intersects the Easterly line of said tract at a point 1714.50 feet Southerly, measured from the Northeasterly corner thereof along the Easterly line thereof; the North line of said Southerly 125 feet to be drawn parallel to the South line of the aforescribed property.

EXCEPTING THEREFROM a tract of land being a part of Lot 13, ATKINSON, and situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon, and being more particularly described as follows:

BEGINNING at the point of intersection of the North right of way line of Bowman Street in the subdivision plat of BOWMAN TERRACE with the Easterly line of Lot 13, ATKINSON; thence South $9^{\circ}27'20''$ West along the Westerly line of BOWMAN TERRACE, 20.36 feet to the South line of that certain tract of land conveyed to the Oak Lodge Water District by Deed recorded in Book 526, Page 4, Clackamas County Deed Records; thence North $75^{\circ}25'34''$ West along the Southerly line of said water district tract, 35.51 feet; thence Northeasterly, around the arc of a 45.00 foot radius curve to the right, through a central angle of $51^{\circ}49'30''$ an arc distance of 40.70 feet to the point of beginning.

ALSO EXCEPTING THEREFROM all land of the aforescribed property lying West of a line in Lot 13, ATKINSON, and situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon, the line being more particularly described as follows:

BEGINNING at a 5/8" iron rod found at the Southeast corner of Lot 20, "Pennywood", situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon; thence North $75^{\circ}27'34''$ West along the Southerly line of Lots 19 and 20 said "Pennywood", a distance of 237.93 feet to a found 5/8" iron rod and the true place of beginning, thence South $14^{\circ}46'22''$ West, a distance of 125.31 feet to a 1" iron pipe.

File No.: 11008731
Exhibit A Legal Description

Page 1 of 1

3

EXHIBIT "B"
DEED EXCEPTIONS

Easement, including the terms and provisions thereof:

For : Right of way
 Granted to : Adjacent property
 Recorded : October 11, 1919
 Book : 155
 Page : 72

Easement, including the terms and provisions thereof:

For : Pipeline
 Granted to : Oak Lodge Water District
 Recorded : November 16, 1923
 Book : 173
 Page : 307
 Affects : The Westerly 5 feet

Easement, including the terms and provisions thereof:

For : Public utilities
 Granted to : City of Milwaukie
 Recorded : July 22, 1985
 Recording No. : 85-025092
 Affects : 10 foot strip along portion of Westerly and Southerly lot line

Easement, including the terms and provisions thereof:

For : Public utilities
 Granted to : Adjacent property
 Recorded : March 30, 1890
 Recording No. : 90-014070
 Affects : The East 10 feet

RESOLUTION NO. 106-2011

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MILWAUKIE, OREGON, APPROVING THE PURCHASE OF REAL PROPERTIES LOCATED AT THE NW CORNER OF SE BOWMAN STREET AND SE BRAE STREET (T2S, R2E, SEC. 6, TAX LOT 3100) FOR USE AS A CITY PARK, PURSUANT TO MILWAUKIE MUNICIPAL CODE SECTION 3.15.030

WHEREAS, Council authorized staff to pursue acquisition of the real properties located at the NW corner of SE Bowman and Brae in the City of Milwaukie; and

WHEREAS, an offer of \$90,000 has been made by the City and accepted by the seller; and

WHEREAS, Milwaukie Municipal Code Section 3.15.030 requires that a purchase of real property valued at more than \$25,000 requires the "approval of City Council;" and

WHEREAS, an appraisal of the property showed the City's offer to be reasonable in the current market; and

WHEREAS, a Phase I Environmental Assessment of the property did not reveal evidence of recognized environmental conditions in connection with these properties; and

WHEREAS, the purchase will be financed with funding budgeted in fiscal year 2012 by the City for this purpose and reimbursement will be made by Metro with Metro Local Share funds;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Milwaukie, Oregon that:

Section 1: Pursuant to Milwaukie Municipal Code Section 3.15.030, the City Council approves the purchase of the real properties located at the NW corner of SE Bowman and Brae Streets and authorizes the City Manager to take all action necessary, including execution of all necessary documents, to complete said purchase.

Section 2: This Resolution becomes effective upon adoption.

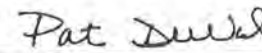
Introduced and adopted by the City Council on December 20, 2011.

SIGNED:



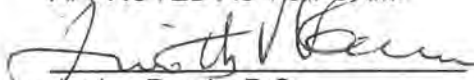
Jeremy Ferguson, Mayor

ATTEST:



Pat DuVal, City Recorder

APPROVED AS TO FORM:



Jordan Ramis, P.C.

20
52
67
\$

DE 1064
C 2012-004

After recording return to: (Name, Address, Zip)
City of Milwaukie
Milwaukie City Hall
10722 SE Main Street
Milwaukie, OR 97222

Clackamas County Official Records
Sherry Hall, County Clerk 2011-074021



\$62.00

01546570201100740210040046

12/22/2011 03:48:18 PM

Until requested otherwise, send all tax statements to:
Same As Above

ORDER NO: 11008731
TAX ACCOUNT NO: 00438985

D-D Cnt=1 Str=5 CONNIEBRO
\$20.00 \$10.00 \$16.00 \$16.00

MFG Title 11008731-10

Space Above Reserved for Recorder's Use

STATUTORY WARRANTY DEED

Clunas Funding Group, Inc. Profit Sharing Plan & Trust, Grantor, conveys and warrants to City of Milwaukie, an Oregon municipal corporation Grantee, the following described real property free of encumbrances, except as specifically set forth herein, situated in Clackamas County, State of Oregon, to wit:

See Legal Description attached hereto as Exhibit "A"

Subject to and excepting: Covenants, Conditions, Restrictions and Easements of record.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930 AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009.

The true and actual consideration for this conveyance is \$90,000.00. (Here, comply with the requirements of ORS 93.030.)

Dated this 20th day of December 2011

CLUNAS FUNDING GROUP, INC. PROFIT SHARING PLAN & TRUST

[Signature]
Gary Clunas
Trustee

State of Oregon
County of Clackamas

The foregoing instrument was acknowledged before me this 20th day of December 2011 by Gary Clunas Trustee
Clunas Funding Group, Inc. Profit Sharing Plan & Trust.

[Signature]
Notary Public in and for the State of Oregon
My commission expires: 3/16/12



This conveyance is approved as to form and content and accepted by The City of Milwaukie, an Oregon municipal corporation, as of the date set forth above.

THE CITY OF MILWAUKIE,
an Oregon municipal corporation

By: Bill Monahan
Name: Bill Monahan
Title: City Manager

State of Oregon

County of Clackamas

This instrument was acknowledged before me on December 21, 2011, by
Bill Monahan as City Manager of The City of
Milwaukie, an Oregon municipal corporation.

Kelli R. Tucker
Notary Public - State of Oregon



2

**EXHIBIT "A"
LEGAL DESCRIPTION**

File No.: 11008731

The Southerly 125 feet of that portion of Tract 13, ATKINSON, in the County of Clackamas and State of Oregon, which lies Northerly of a line drawn at right angles from the Westerly line of said tract at a point 1717.00 feet Southerly, measured along the said Westerly line from the Northwesterly corner thereof, and which intersects the Easterly line of said tract at a point 1714.50 feet Southerly, measured from the Northeastly corner thereof along the Easterly line thereof, the North line of said Southerly 125 feet to be drawn parallel to the South line of the aforescribed property.

EXCEPTING THEREFROM a tract of land being a part of Lot 13, ATKINSON, and situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon, and being more particularly described as follows:

BEGINNING at the point of intersection of the North right of way line of Bowman Street in the subdivision plat of BOWMAN TERRACE with the Easterly line of Lot 13, ATKINSON; thence South 9°27'20" West along the Westerly line of BOWMAN TERRACE, 20.36 feet to the South line of that certain tract of land conveyed to the Oak Lodge Water District by Deed recorded in Book 526, Page 4, Clackamas County Deed Records; thence North 75°25'34" West along the Southerly line of said water district tract, 35.51 feet; thence Northeastly, around the arc of a 45.00 foot radius curve to the right, through a central angle of 51°49'30" an arc distance of 40.70 feet to the point of beginning.

ALSO EXCEPTING THEREFROM all land of the aforescribed property lying West of a line in Lot 13, ATKINSON, and situated in the Southwest one-quarter of the Northwest one-quarter of Section 6, Township 2 South, Range 2 East, of the Willamette Meridian, in the City of Milwaukie, County of Clackamas and State of Oregon, the line being more particularly described as follows:

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3

EXHIBIT "B"
DEED EXCEPTIONS

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For : Right of way
Granted to : Adjacent property
Recorded : October 11, 1919
Book : 155
Page : 72

Easement, including the terms and provisions thereof:

For : Pipeline
Granted to : Oak Lodge Water District
Recorded : November 16, 1923
Book : 173
Page : 307
Affects : The Westerly 5 feet

Easement, including the terms and provisions thereof:

For : Public utilities
Granted to : City of Milwaukie
Recorded : July 22, 1985
Recording No. : 85-025092
Affects : 10 foot strip along portion of Westerly and Southerly lot line

Easement, including the terms and provisions thereof:

For : Public utilities
Granted to : Adjacent property
Recorded : March 30, 1990
Recording No. : 90-014070
Affects : The East 10 feet

Milwaukie Parks Land Use Planning
and Permitting

Bowman-Brae Park Application

Exhibit I – Amenity Image Examples





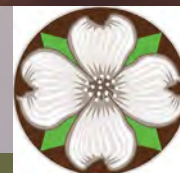
MAY 2023
BOWMAN-BRAE PARK
OPTION E



HD 357 23E Color Option : A



MAY 2023
BOWMAN-BRAE PARK
OPTION E



HD 357 23E Color Option : A



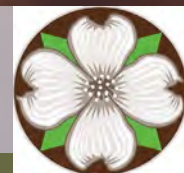
MAY 2023
BOWMAN-BRAE PARK
OPTION F



HD 357 23F Color Option : A



MAY 2023
BOWMAN-BRAE PARK
OPTION F



HD 357 23F Color Option : A

Milwaukie Parks Land Use Planning
and Permitting

Bowman-Brae Park Application

Exhibit L – 2015 Master Plan

BOWMAN-BRAE PARK MASTER PLAN

REFINED CONCEPT

APRIL 20, 2015



CITY OF MILWAUKIE

Application for the Adoption of the Bowman - Brae Park Master Plan as an Ancillary Document to the City of Milwaukie Comprehensive Plan

Date: May 12, 2015

Applicant: North Clackamas Parks and Recreation District
150 Beaver Creek Road
Oregon City, Oregon 97045

Contact: Katie Dunham
503-742-4358
kdunham@clackamas.us

Property Owner: City of Milwaukie

Property Address: Bowman - Brae Park
No Situs
Milwaukie, Oregon 97222

MAP & Tax lot #s: Township 2 South, Range 2 East, Section 6BC, Tax Lot 3100
Latitude 45° 25' 40.2982" N, Longitude 122° 37' 7.7759"
W

**Comprehensive
Plan Designation:** Low Density (LD)

Zoning Designation: R-7

Property Size: 0.69 acres

Request: Adoption of the Bowman and Brae Park Master Plan as an ancillary document to
the City of Milwaukie Comprehensive Plan

INTRODUCTION

Action Requested

Adoption of the Bowman-Brae Park Master Plan as an ancillary document to the City of Milwaukie Comprehensive Plan.

Background and Site Description

Bowman-Brae Park is a .69 acre undeveloped neighborhood park site located in the Lake Road neighborhood at the intersection of SE Bowman Street and SE Brae Street in Milwaukie. The City of Milwaukie purchased the land in 2011 with assistance from Metro's voter-approved 2006 natural areas bond measure. The property is managed by the North Clackamas Parks and Recreation District (NCPRD) in accordance with an intergovernmental agreement with the City as an undeveloped open space. The site's existing open nature and level topography, along with its location within the community provides an opportunity for flexible recreation on a site very special to the neighborhood.

Public Involvement and Planning Process

The site is an opportunity to create a neighborhood park for the residents of the area. Through a public process, NCPRD built consensus among interested parties around a common vision for the park. NCPRD and the City hosted two meetings during the fall of 2014 to discuss the park site and develop a park master plan. The public meetings were devoted exclusively to this subject and were held on September 29 and November 6, 2014. At the first public meeting site analysis and existing conditions materials were presented along with three initial master plan concepts. Meeting attendees were asked to actively participate in the group discussion and a breakout session with consultants and staff. After the first public meeting and throughout the project NCPRD and the City placed information on their websites for review and comment. Comments and suggestions were compiled, discussed, and incorporated into the design process. A final draft master plan was presented at the second public meeting. Interested citizens had the opportunity to provide additional input and the general consensus was positive. The project was also discussed numerous times with the Milwaukie Park and Recreation Board and the North Clackamas Park District Advisory Board. The public process is further described in the response to Chapter 4, Recreational Needs Element, Objective 3, within this document.

Proposal

The key goal of the master planning process for the Bowman-Brae Park was to develop a plan that accommodates the neighborhood needs for an interesting and engaging place for flexible active and passive recreation and provides for ease of maintenance and longevity, while providing a safe and enjoyable experience for the community. Based on field observations, site analysis, background data collection, and input from NCPRD, the City of Milwaukie, community groups, and the public at-large, the master plan was developed and refined to achieve this goal. Elements of the plan are listed below. Additional details about proposed improvements are included in the attached master plan document submitted as part of this application.

Bowman-Brae Park Master Plan Elements:

- An accessible play area
- A small picnic shelter
- A meandering concrete pathway
- A multi-use trail connection
- Designated park entrances

- Bike parking
- Picnic tables and benches
- Perimeter fencing
- Evergreen and deciduous trees and native ornamental shrub planting
- A small stormwater detention area
- An area for a possible season toilet

Plan Adoption Process

Since the City does not have a “Parks” or “Open Space” zone, except within downtown, the City employs the following two-step process to designate and develop publicly-owned parks.

Step 1—Master Plan Adoption. Master plan adoption, a legislative action requiring approval from City Council, is the process by which the City formally identifies a long range plan for a park. A master plan provides the conceptual framework for future development and investment and is the first step toward implementing the community’s vision for specific park improvements. Park development, which occurs in the second step, generally does not occur until the City has adopted a master plan.

Step 2—Master Plan Implementation. Master plan implementation generally occurs after master plan adoption and requires minor quasi-judicial review by the Planning Commission. Development plans submitted during this step must conform to the adopted master plan.

The requested action only relates to Step 1 of this two-step process, namely the adoption of the *Bowman-Brae Park Master Plan*. This master plan adoption process is to affirm the public’s future use of the site as a park and to guide future park funding, development, and investment.

In order to adopt the proposed master plan, the plan must conform to the City’s existing adopted policies and meets all relevant approval criteria contained in the Milwaukie Comprehensive Plan (MCP) and the Milwaukie Municipal Code (MMC).

The applicable MCP and MMC criteria are contained in the following sections and addressed below:

- MMC 19.902.3, including MCP Chapter 2 and Chapter 4
- MMC 19.902.4

Additionally, NCPRD must address the relevant aspects of the Metro Urban Growth Management Functional Plan and the relevant Statewide Planning Goals

CITY OF MILWAUKIE COMPREHENSIVE PLAN GOALS AND POLICIES

NCPRD is seeking adoption of the Bowman-Brae Park Master Plan (the Plan) as an ancillary document to the City of Milwaukie Comprehensive Plan (MCP). Per city staff, the applicable code criteria NCPRD must address for the text amendment and map amendment are MMC Chapter 19.902.3.B, and MMC 19.902.4. These are addressed below.

MMC 19.902.3 COMPREHENSIVE PLAN TEXT AMENDMENTS**Section 19.902.3 Comprehensive Plan Text Amendments**

Changes to the text of the Milwaukie Comprehensive Plan shall be called Comprehensive Plan text amendments.

A. Review Process

Changes to the text of the Milwaukie Comprehensive Plan described in Subsection 19.902.2.A shall be evaluated through a Type V review per Section 19.1008

B. Changes to the Milwaukie Comprehensive Plan may be approved if the following criteria are met:

1. The proposed amendment is consistent with the goals and policies of the Comprehensive Plan, as proposed to be amended.

The applicable components relevant to address are:

Chapter 2, PLAN REVIEW AND AMENDMENT PROCESS

Milwaukie Comprehensive plan (MCP) Chapter 2 – Plan Review and Amendment Process. GOAL STATEMENT: Establish a Plan review and amendment process as a basis for land use decisions, provide for participation by citizens and affected governmental units, and ensure a factual base for decisions and actions. Objective 1, Policies 3-7 are applicable:

- ***Objective 1 Policy 3 – Individuals, the Planning Commission, or the City Council may request plan amendments at any time separate from the normal Comprehensive Plan Amendment application process...***

Response: The City of Milwaukie and NCPRD are requesting this plan amendment under an intergovernmental agreement. The City and District have requested that the Planning Commission and City Council review this application and hold a public meeting to discuss the application as part of the review process.

- ***Objective 1 Policy 4 – Submit copies of proposed Plan change to affected government units at the draft amendment stage and following final adoption of changes.***

Response: This step will be completed by the City as part of the review process.

- ***Objective 1 Policy 5 – All proposed Comprehensive Plan text and map amendments will be considered at advertised public hearings before the Planning Commission and City Council***

Response: This step will be completed by the City as part of the review process.

- ***Objective 1 Policy 6 – All proposed Comprehensive Plan text and map amendments will be processed per the procedures in the Zoning Ordinance.***

Response: This step will be completed by the City as part of the review process

- **Objective 1.7 – All Comprehensive Plan text and map amendments will be evaluated based on the approval criteria in the Zoning Ordinance for approval of Comprehensive Plan amendments:**

Response: This step will be completed by the City as part of the review process. The current designation on Comprehensive Plan Map 7 (Land Use) for Bowman-Brae Park is Low Density (LD) residential and needs to be changed to Public (P) to further designate this property as a future park and prepare the property for future Community Service Use (CSU) approvals that will be needed for future development. NCPRD and the City are applying for both the comprehensive plan text and map approvals at this time. The Bowman-Brae Park property is suitable for a neighborhood park and to be designated as Public. The property is in an area planned for a neighborhood park within the NCPRD Master Plan and is developable as a neighborhood park.

Chapter 4, RECREATIONAL NEEDS ELEMENT, Objective 1, 3, and 5:

Milwaukie Comprehensive plan (MCP) Chapter 4 – Recreational Needs Element.

GOAL STATEMENT: To provide for the recreational needs of present and future City residents by maximizing use of existing public facilities, encouraging the development of private recreational facilities, and preserving the opportunity for future public recreational use of vacant private lands.

- **Objective 1 PARK CLASSIFICATIONS**

Response: Bowman-Brae Park is identified in the proposed Master Plan as a neighborhood park – A “Neighborhood Park typically serves one neighborhood (within ½ mile radius), is often located by a school, and provides short duration activities (field sports, play, leisure time, etc.). Minimum size is (typically) one acre. The standard is 1 acre of neighborhood park per 1,000 residents”. The plan is specifically consistent with this objective because Bowman-Brae Park is an existing public property, currently owned by the City of Milwaukie, is .69 acres, and the Master Plan provides for park elements that typically serve one neighborhood. There are currently no other neighborhood parks located within ½-mile of the proposed Bowman-Brae Park in the Lake Road neighborhood. The closest neighborhood park is Homewood Park, .85 miles away. However, North Clackamas Park, a community park, is located 1/3-mile east of the proposed park. The neighbors, District, and City purposefully proposed park elements that are appropriate for a small neighborhood park while planning for Bowman-Brae Park. The proposed elements of the park include an accessible play area, picnic tables and benches, a meandering concrete pathway, A multi-use trail connection, three designated park entrances, bike parking, a small picnic shelter, perimeter fencing and plantings, evergreen and deciduous trees and native shrub planting, a small stormwater detention area, and an area for a possible seasonal toilet. These are all elements that facilitate activities that will provide places for the neighborhood to gather, play, and relax.

- **Objective 3 INTERGOVERNMENTAL COOPERATION**

Response: The Plan meets the goal of Objective 3 through the partnership between NCPRD and the City of Milwaukie strengthened by the Intergovernmental Agreement with the City. The property was originally acquired in 2011 by the City of Milwaukie in partnership with Metro and funded by the Metro 2006 voter-approved bond measure. NCPRD is currently maintaining and managing the future park site as an open space through the intergovernmental agreement. This master plan was completed through funding provided by NCPRD and in partnership with the City of Milwaukie. Citizen involvement was instrumental in developing the Plan. NCPRD and City staff worked with park neighbors and the Lake Road Neighborhood Association and park users played a major role in developing the Bowman-Brae Park Master Plan. NCPRD organized two public meetings, on September 29 and November 6, 2014, to

obtain input and ideas for park improvements. Following each public meeting plans were posted to an online project website and advertised by both the City and NCPRD. The project was also discussed and shared with the Milwaukie Park and Recreation Board and the NCPRD Advisory Board. The District Advisory Board reviewed the Bowman-Brae Park Master Plan on January 15, 2015 and endorsed moving forward with this application. NCPRD staff also attended a Lake Road Neighborhood Association meeting to gather additional information and feedback. In addition to public meetings, neighbors and park users were encouraged to voice their comments and concerns throughout the design process. Many comments were received via phone conversation, e-mail, and comment cards and incorporated into the plan whenever possible. The key goal of the planning process was to develop a plan that minimizes environmental and property impacts, provides for ease of maintenance and longevity, while providing a safe and enjoyable experience for the community. NCPRD and the City are committed to working together toward future implementation of the plan and partnership in managing the park.

- **Objective 5 NEIGHBORHOOD AND COMMUNITY PARKS**

Response: The City and NCPRD share the goal of developing a City-wide park and recreation system which meets the needs of neighborhoods, the City, and the District as a whole. As stated in Policy #1, Bowman-Brae Park is in a location that is convenient for residents of the neighborhood, and has access points at SE Bowman Street and SE Brae Streets, both public streets. Additionally, there is the opportunity to develop a multi-use trail through the park in the future that will connect to SE Where Else Lane.

As stated in Policy #2, the proposed park elements are intended to serve the needs of residents of that neighborhood only and will not contain large, highly structured facilities which may attract users from outside the neighborhood. Additionally, it is the intention of neighbors and community members that attended the public meetings and submitted comments during the public process that a basketball court or skatepark not be included in the park. The neighbors also preferred a small playground and picnic shelter, appropriately sized to the small park and located away from residential homes.

The proposed plan is also consistent with Policy #4, as the Bowman-Brae Park Master Plan does not propose any major structured recreational facilities (including lighted baseball and soccer fields, pools, tennis courts, etc.), which would be more appropriate for a community park or special use facility.

The change is in conformance with applicable Statewide planning goals:

Response: The plan is consistent with the following applicable statewide planning goals:

Goal 1: Citizen Involvement. Citizen involvement was instrumental in developing the Bowman-Brae Park Master Plan (the Plan). Please see the response to Chapter 4, Recreational Needs Element, Objective 3, Intergovernmental Cooperation, above. NCPRD strives to develop plans that minimize environmental and property impacts and provide for ease of maintenance and longevity while providing a safe and enjoyable experience for the community.

Goal 2: Land Use Planning. See response to MCP Chapter 4 – Land Use, above.

Goal 5: Open Space, Scenic, and Historic Spaces, and Natural Resources. The proposed Plan will serve to conserve Bowman-Brae Park as community open space and preserve and enhance it as a park. There

are no identified riparian values on the site. The proposed plan strives to protect this site's wildlife habitat values through preserving a significant existing cedar tree along the southern edge of the park. Additionally, the plan includes planting additional native plants and trees within the park.

Goal 8: Recreational Needs. See response to Chapter 4, Recreational Needs Element, Objective 1, 3, and 5 above.

The proposed enhancements outlined in the Plan will comply with all applicable regional, state and federal regulations prior to and during any construction activity. There are no floodplains, creeks, wetlands, or designated Habitat Conservation Areas identified within the park site. Any work performed will comply with all applicable City regulations in effect at the time of land use application.

The proposed amendment is consistent with the Metro Urban Growth Management Functional Plan and relevant regional policies:

Response: The Plan conforms to the Metro Growth Management Functional Plan, specifically, Title 12, Protection of Residential Neighborhoods, Access to Parks and Schools. The proposed Bowman-Brae Park will meet a level of service standard of ½-mile access for neighborhood residents. The park is accessible by walking, biking and transit. TriMet bus 29 stops ½-mile away from the proposed park, at SE Lake Road & SE Freeman Road.

Title 3 (Water Quality and Flood Management) and Title 13 (Habitat Conservation Areas) don't apply to the Bowman-Brae Park site.

MMC 19.902.4 COMPREHENSIVE PLAN MAP AMENDMENTS

Changes to the maps of the Milwaukie Comprehensive Plan shall be called Comprehensive Plan map amendments.

A. Review Process

Changes to the maps of the Milwaukie Comprehensive Plan described in Subsection 19.902.2.C shall be evaluated through either a Type IV review per Section 19.1007, or Type V Review, per Section 19.1008...Generally, Comprehensive Plan map amendments that involved 5 or more properties or encompass more than 2 acres of land are legislative and nature and subject to Type V review. Comprehensive Plan map amendments that involve fewer properties and encompass a smaller area of land are quasi-judicial in nature and subject to Type IV review.

Response: The proposed changes to the Milwaukie Comprehensive Plan, Comprehensive Plan Map 7, to reclassify Bowman-Brae Park from Low Density (LD) to Public (P) falls under a Type IV review because the proposed amendment only involves one property that is only 0.69 acres of land.

B. Changes to the maps of the Milwaukie Comprehensive Plan shall be evaluated against the approval criteria in Subsection 19.902.3.B...

Response: The plan conforms to the approval criteria in Subsection 19.902.3B, as outlined in the application responses above.



CITY OF MILWAUKIE & NORTH CLACKAMAS PARKS AND RECREATION DISTRICT

BOWMAN-BRAE PARK MASTER PLAN

FINAL REPORT 4.20.2015

lango . hansen



ACKNOWLEDGEMENTS

NCPRD BOARD OF DIRECTORS (CLACKAMAS COUNTY BOARD OF COMMISSIONERS)

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Vice Chair Jim Bernard
Martha Schrader
Paul Savas
Tootie Smith

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Jeroen Kok, Strategic Planning, Development, and
Resource Manager
Katie Dunham, CPRP, Senior Planner
Kevin Cayson, Park Maintenance Supervisor
Tonia Burns, Natural Resource Coordinator

LANGO HANSEN LANDSCAPE ARCHITECTS

Kurt Lango, RLA, Principal
Heidi Baker, RLA, Associate

MILWAUKIE CITY COUNCIL

Council President Lisa Batey
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Erin Willett Holcomb
Lynn Sharp
Ray Harris
Tony Andersen

CITY OF MILWAUKIE

Steve Butler, Community Development Director
Jason Rice, Engineering Director

SPECIAL THANKS TO:

Residents of NCPRD and the City of Milwaukie who
contributed to this master planning process.

For more information, contact:
NCPRD
150 Beaver Creek Road, 4th Floor
Oregon City, OR 97045
503-742-4348
www.ncprd.com

INTRODUCTION

INTRODUCTION

This master plan document for Bowman-Brae Park was developed in partnership between the City of Milwaukie and North Clackamas Parks and Recreation District (NCPRD). Bowman-Brae Park is a 0.69-acre undeveloped neighborhood park located at the intersection of SE Bowman Street and SE Brae Street in Milwaukie, OR. The City purchased the land in 2011 with assistance from Metro's voter-approved 2006 natural areas bond measure. Currently the undeveloped park site is maintained by NCPRD through an intergovernmental agreement with the City as an undeveloped open space. The open nature of the site and its location provide an exciting opportunity to meet the neighborhoods needs for flexible recreation.

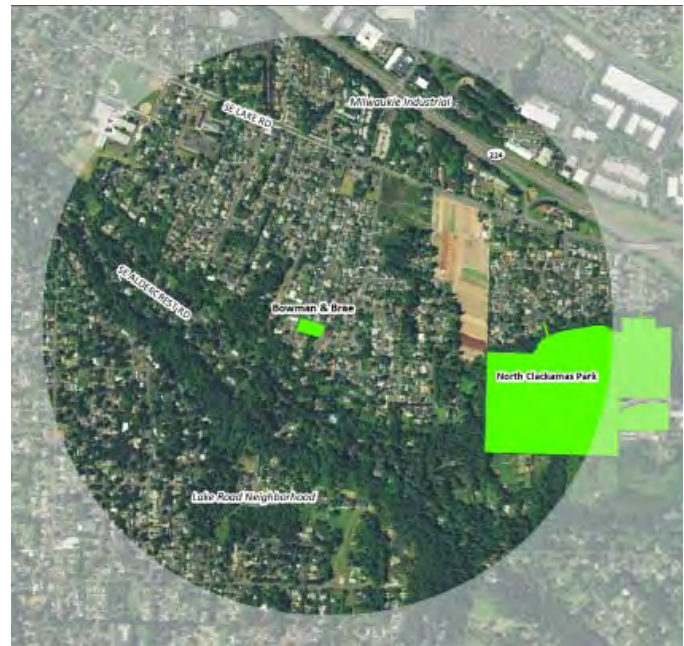
MISSION STATEMENT

Create an attractive neighborhood park that offers a variety of outdoor recreation opportunities for everyone living in the neighborhood.

SCOPE OF PROJECT

Bowman-Brae Park is a well-used property within the Lake Road Neighborhood that offers a much needed place for neighbors to come together and enjoy both active and passive recreation. The master plan for the park addresses the functional needs of the park site such as circulation and Right-of-Way improvements, and provides a framework for organizing the site so that it can meet the neighborhood's recreation needs. An open and interactive approach to the master planning process engaged neighbors, community members, City and NCPRD staff as well as the opportunity to create a lasting plan to guide future implementation by the City and District.

The Master Plan for the park includes open lawn, a small picnic shelter, storm water treatment, signage, landscaping, accessible pathways and site features including benches and picnic tables, an accessible play area, fencing and maintenance vehicle access.



Context Aerial

SITE DESCRIPTION

PARK CLASSIFICATION

NCPRD defines a neighborhood park with the following:

- Serves as the recreational and social space of the neighborhood
- May provide opportunities for natural areas, informal activities, and passive recreation
- Typically includes playgrounds, picnic areas, natural areas, trails, open grass areas for passive use, outdoor basketball courts, and/or multi-use sports fields
- On-site parking and restrooms are not typically provided
- Typically serve an area of an approximately 1/2 to 1-mile radius
- Typically vary in size from 1/2 to 5 acres
- Examples of neighborhood parks are Homewood Park and Ardenwald Park

NCPRD and the City of Milwaukie strive to use native plants whenever possible and provide long-lasting and easy to maintain site furnishings within neighborhood parks.

SITE ASSESSMENT

The first step in the Master Planning process was to gather information related to the existing conditions of the site and City Code requirements. Using GIS information, a site analysis aerial was compiled for use throughout the master planning process. Site visits were conducted to gather information about existing site features including fencing and tree species. LHLA performed interviews with City and NCPRD staff to understand specific site issues. KPFF Civil Engineers provided resources related to storm water treatment requirements.

Information gathered during the initial phase was compiled into a site analysis drawing along with existing site photos to illustrate the existing conditions and opportunities and constraints. The site analysis drawing and site photos were shared with City and District Staff for comments prior to the initial public meeting.

SITE ANALYSIS

The site is currently vacant and being used actively by the neighbors for picnics, informal sports and dog walking. The site slopes minimally from the northeast corner to the southwest corner of the site. The southeast edge of the site is bordered by approximately 170 feet of the SE Bowman St public right-of-way. The remaining 50' of the southwest edge of the site is bordered by an Oak Lodge Water District property, which contains a pump house that is no longer being used by the Water District.

The east edge of the park is bordered by 124' of private roadway, the north edge of the park is 237 feet long and bordered by two private single family residences with existing privacy fencing. The west edge of the park is bordered by a 13' wide swath of privately owned land. The Where Else Lane right-of-way ends at the west edge of the privately owned land. There is currently no publicly-owned connection to the park's west side, but it is being used by neighbors as a park entrance at this time.

The park has a variety of perimeter fencing ranging from weathered wood picket fencing on the south side along SE Bowman Street to wood post and cable fencing along the east and west boundaries. One mature cedar is located on the south edge of the site. It will be protected. A previous development application for three single-family homes had been strongly opposed by neighbors because it would have required removal of this tree.

MAINTENANCE CONSIDERATIONS

Throughout the design process, District maintenance staff were consulted so that the park would be designed with maintenance in mind. In addition to a pathway for maintenance vehicle access to the play area, the location of future site furnishings, features and types of plant material were coordinated with maintenance staff.

SITE ANALYSIS



MASTER PLANNING: PUBLIC PROCESS

PUBLIC PROCESS

Two public meetings were held to discuss design options and gather neighbor feedback. At the first public meeting, the site analysis and existing conditions materials were presented along with three initial master plan concepts. Meeting attendees were asked to actively participate in the group discussion, a breakout session with consultants and staff, review materials, and place their comments on notes directly on the plans. Public comments from the first meeting were incorporated into a final master plan concept that was presented at the second public meeting.

NEIGHBORHOOD FEEDBACK

Comments from the first public meeting significantly influenced the design of the final master plan. From the public meetings we heard that in general, the neighbors want to keep the feel of the park simple, without a lot of programmed elements. Protecting the existing cedar is important to them, and they like the size and feel of the existing open lawn area, but would like to see perimeter planting as a buffer between the park and adjacent residences. The neighbors want to keep the multi-use trail connection as minimal as possible so as to preserve as much of the site for park use.

At the final master plan community meeting, neighbors expressed interest in keeping the open lawn area as large as possible, locating a small play area on the south edge of the site near SE Bowman St., including a small shelter for gatherings, creating opportunities for relaxation, and including a meandering walking pathway that was not too close to the residences on the north edge of the park. The neighbors also want to deter parking along SE Bowman Street and along the private road for park use by including signage, and include perimeter fencing to delineate the park boundary on all sides. The final master plan incorporates neighbor feedback from the first public meeting. The final draft master plan was presented to the neighbors at a second public meeting, and an overall consensus in favor of the plan was reached.

MASTER PLAN CONCEPT

MASTER PLANNING : CONCEPT DEVELOPMENT

The City will require right-of-way improvements which include a new concrete sidewalk, a planter strip, and new curb along the publicly owned portion of SE Bowman Street right-of-way as part of the future site development. The City will also require the ability to construct a future multi-use trail connection from SE Bowman Street to SE Where Else Lane. The multi-use trail is not currently shown connecting to Where Else Lane because the adjacent property is privately owned, but ultimately a future connection is planned to provide improved cross-circulation through the neighborhood.

NCPRD will require a curb cut at the main park entrance which is located at the corner of SE Bowman and SE Brae Streets to allow park maintenance vehicles to access the site. A removable bollard will be installed to prevent unauthorized vehicles from entering the site. In addition to these requirements, design options included three bike racks, a paved area to accommodate a temporary/seasonal portable restroom, a waste receptacle, and an entry sign at the main park entrance adjacent to the SE Bowman and SE Brae intersection. All design options include low screening shrub planting at the north park boundary to delineate and soften the park boundary.

Design of the park master plan incorporates principles from Crime Prevention Through Environmental Design (CPTED) which includes keeping planting low to allow views into and throughout the park, keeping evergreen trees limbed up to prevent hiding spots, and maintaining clear entrances. Planting shown on all options takes this need for site visibility into account. Trees shown will be limbed up as they become established. Evergreen trees shown are spaced 20' apart at a minimum. Any shrub and groundcover planting would be low, not higher than 3', to allow views into the park and avoid creation of hiding places.

The District's dedication to planting native species will be integral to the planting design. Native plants provide important habitat for wildlife and are easier to maintain.

DEVELOPMENT PROPOSAL / ELEMENTS

The final master plan site improvements include:

- A designated park entrance at the corner of SE Brae and SE Bowman Streets

- A park entry sign
- Bike parking with 3 bike racks
- A small shelter with 2-3 picnic tables
- Accessible play area with adjacent curb cut for maintenance vehicle access
- 2 picnic tables adjacent to the play area
- A meandering concrete pathway around the perimeter of the site
- A multi-use trail connection from the west end of SE Bowman St to the end of SE Where Else Lane. Construction of this element will depend on ownership and timing of the neighborhood cross-circulation plan
- Perimeter Fencing
- Evergreen and Deciduous trees, scattered around the perimeter of the site near the pathway to keep the central lawn area open for informal active use
- A small storm water detention area with native planting to treat and collect storm water runoff from the site
- Native ornamental shrub planting
- Low native evergreen screening shrubs on the north edge of the park
- An area for a possible seasonal toilet
- 2 Benches

SUMMARY

NCPRD will make improvements to the park when funding for the whole park is available. Initial cost estimates were developed and provided to NCPRD to provide an initial estimate for future budgeting and planning purposes. The cost estimates and project elements are subject to change due to further refinements that may occur as the final park design is completed. Funding for construction of this park is not available at this time. This plan will make it possible for NCPRD to apply for grants and solicit partnerships to help complete improvements.

This plan is conceptual in nature. Final decisions regarding dimensions, materials and precise locations of improvements will be determined per all applicable regulatory requirements and as funding is available.

NCPRD will coordinate improvements with the City of Milwaukie and will follow necessary land use processes to ensure elements are consistent with all City policies and codes. NCPRD is also committed to making sure all regulatory permits have been acquired prior to project commencement (eg. Army Corps of Engineers, Division of State Lands, etc.)

BOWMAN-BRAE PARK MASTER PLAN

REFINED CONCEPT

APRIL 20, 2015





Brett Kelter

From: Park Projects
Sent: Wednesday, August 9, 2023 11:54 AM
To: Brett Kelter; OCR
Cc: Peter Passarelli
Subject: FW: Bowman-Brae Park Design.

Hi,

Please include these with the comments for the Bowman-Brae Park public hearing.

Thanks,

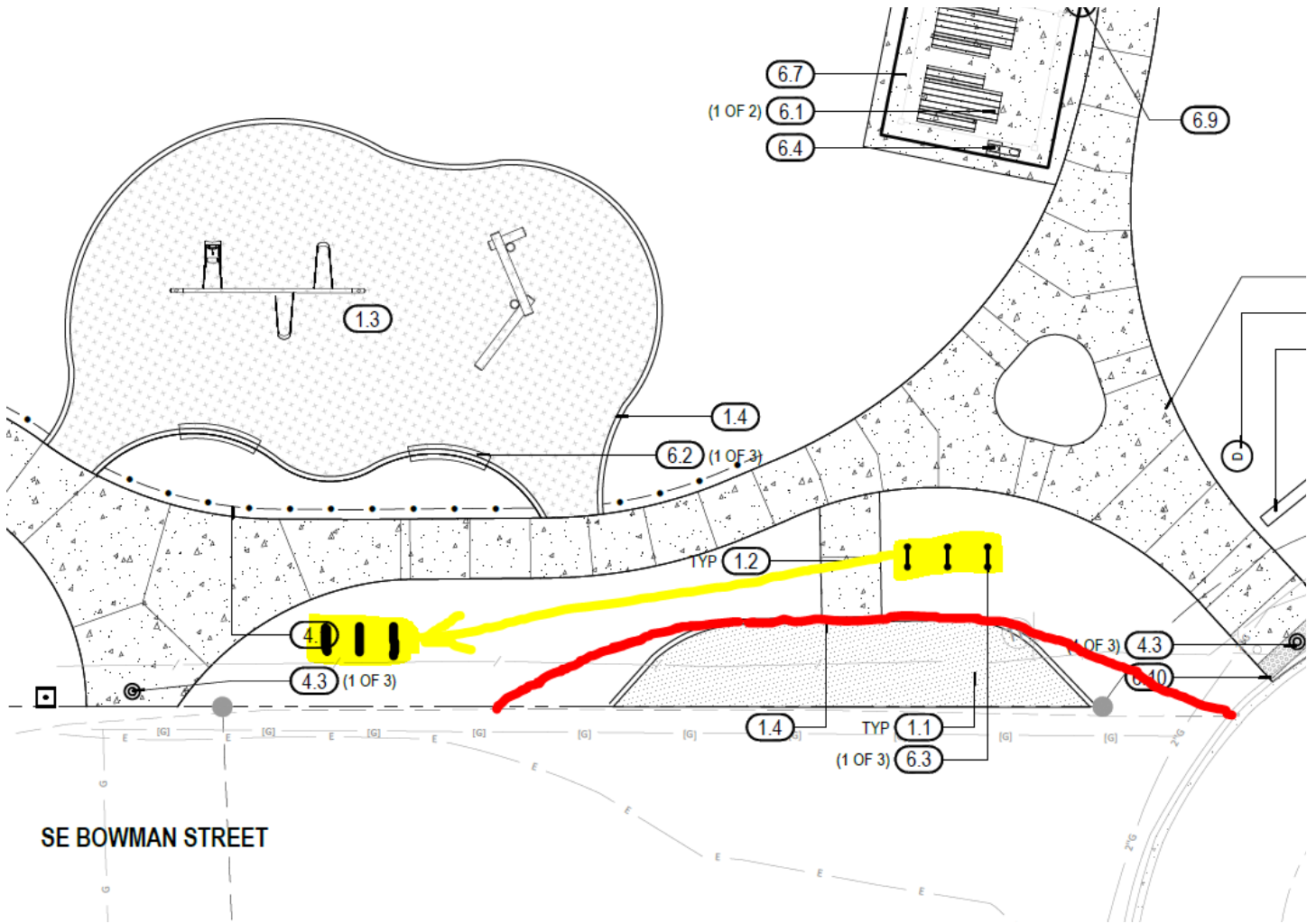
Adam

From: Paul Anderson <paul@versengr.com>
Sent: Friday, July 28, 2023 9:03 AM
To: Park Projects <ParkProjects@milwaukieoregon.gov>
Subject: Bowman-Brae Park Design.

I recently looked over the Bowman-Brae Park design and have two minor changes to the design that I think are necessary:

1. Move the bicycle racks so that there aren't bicycles in the way when someone is opening their car door at the drop-off zone.
2. Make the drop-off zone easier to get in and out of. Not everyone is good at parallel parking.

Here is a screen shot of the changes.



Thanks,

Paul Anderson

503-753-9852