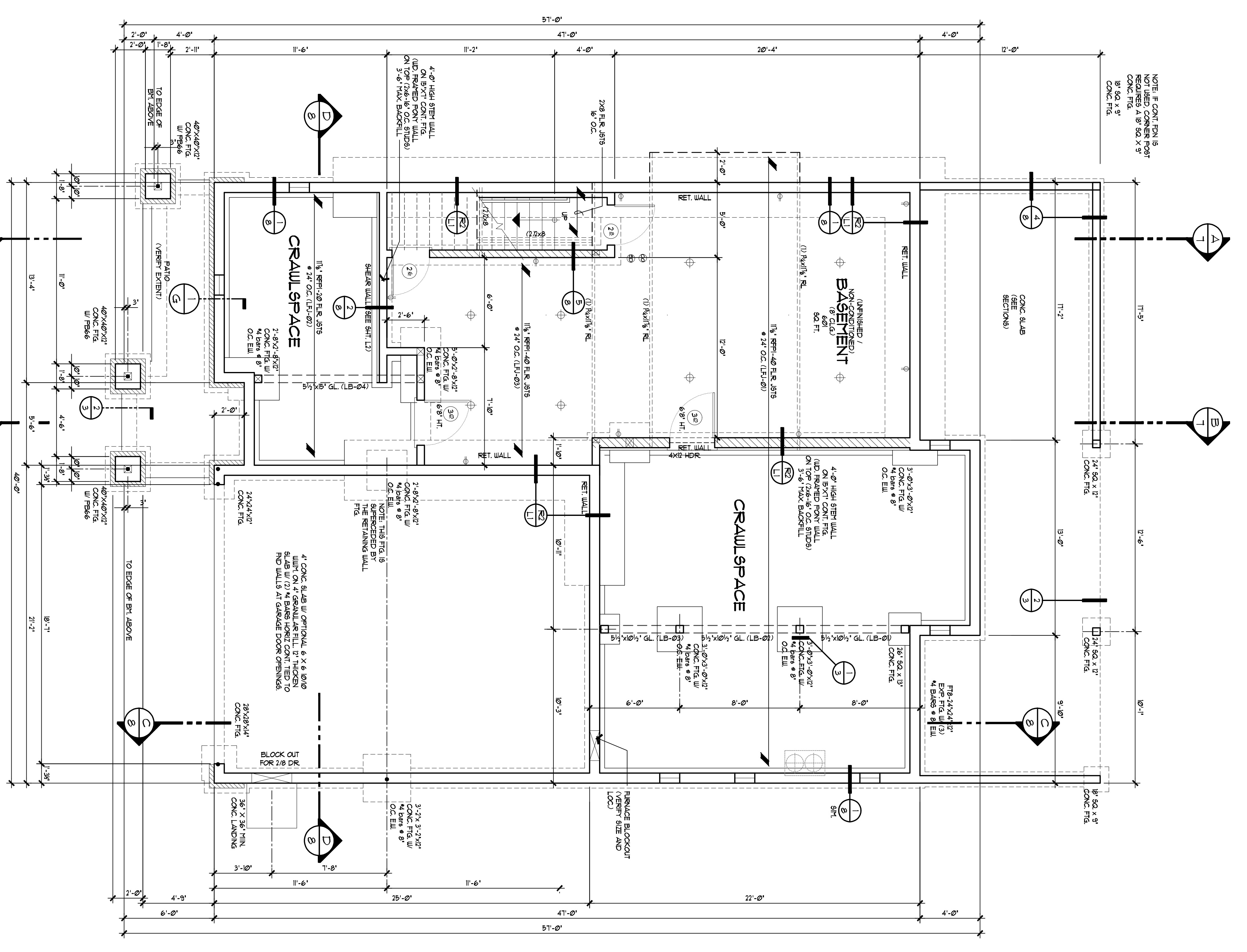


NOTE: IF CONT'N IS NOT USED CORNER POST CONCR. FTS. @ 50' X 5' @ 50' X 5' CONCR. FIG.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



Greg B. Creighton, Architect
 Greg B. Creighton, Architect
 is often necessary to obtain the
 understand the condition or load
 responsibility of the contractor
 to inspect the drawings and
 manufactured in the past for
 to distribute. Greg B. Creighton,
 for any damages relating to the
 accuracy of the plans in excess
 of their U.S.A.

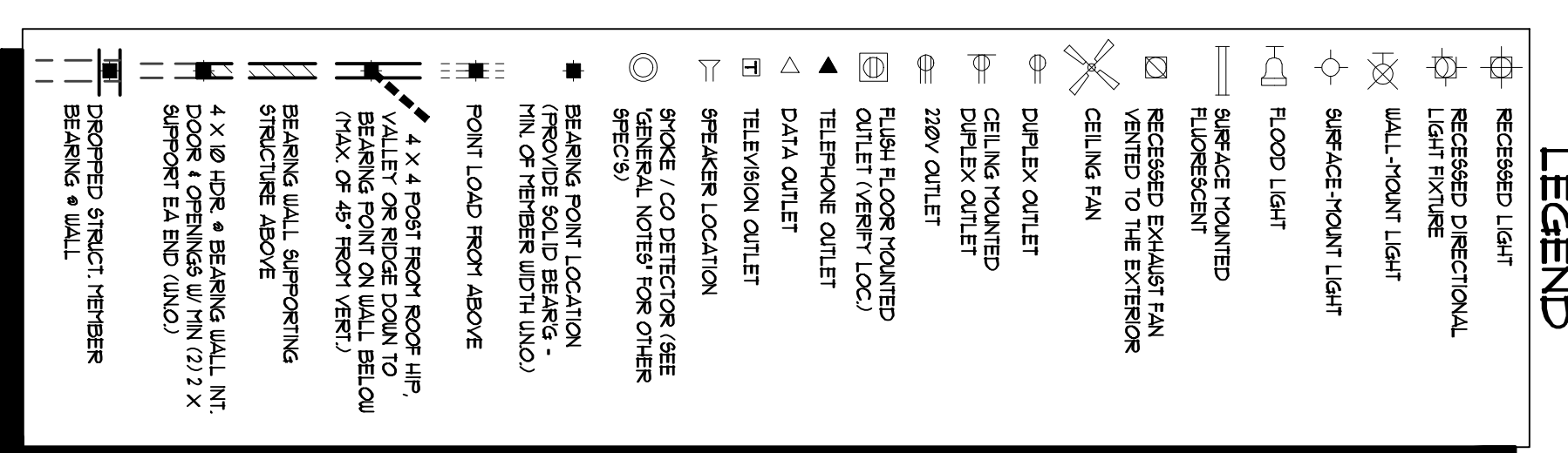
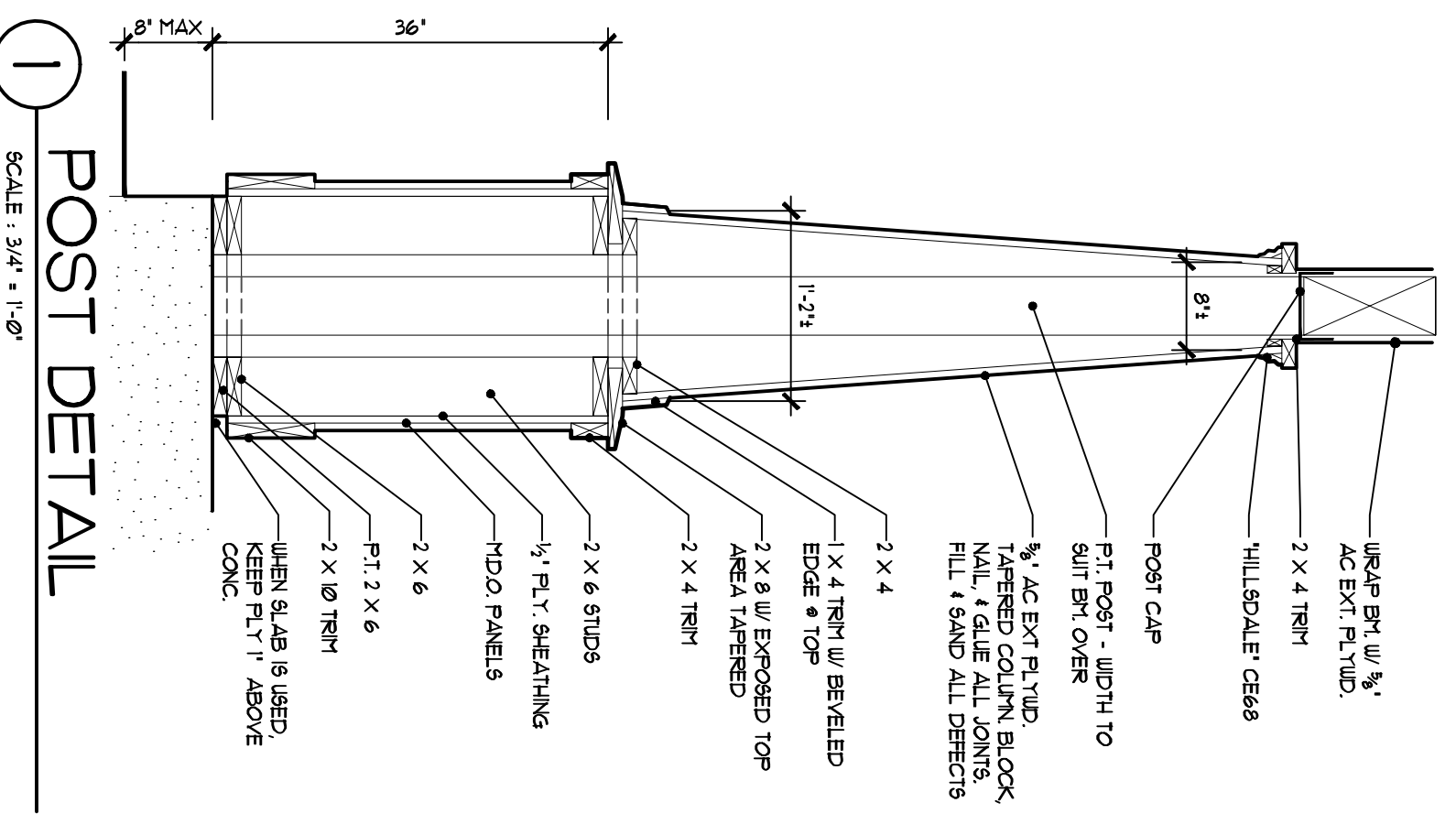
Creighton Architecture
 252 "A" Ave Suite 300 Lake Oswego, Or. 97034
 Phone: (503) 635-0797 Fax: (503) 635-1041

PROJ: Forni Residence, Milwaukie, OR
 OWNER: Tony & Jenifer Forni

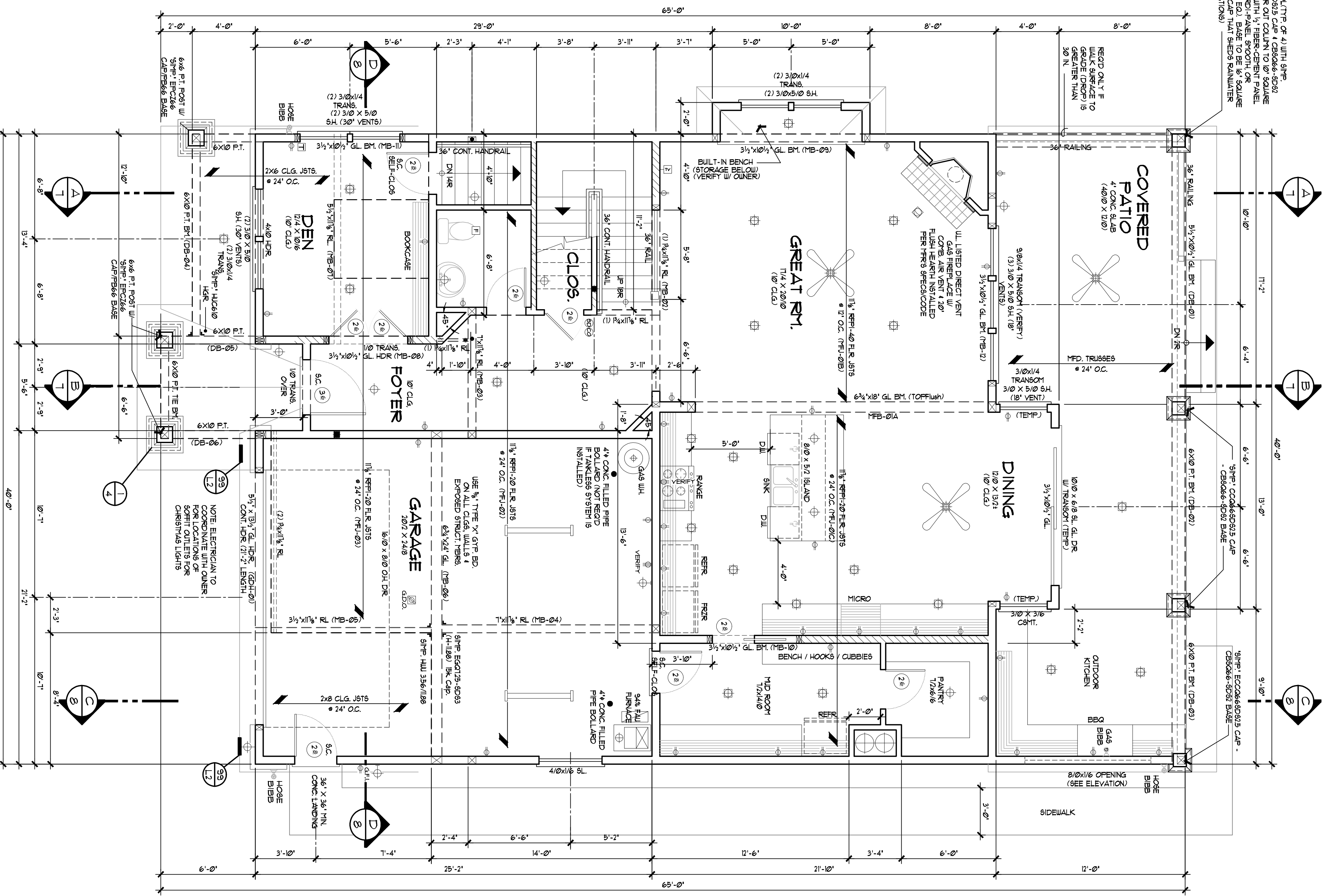
MAIN FLOOR	1414	S.F.
UPPER FLOOR	1697	S.F.
TOTAL (FINISHED)	3111	S.F.
LOWER FLR. (UNFIN)	601	S.F.
GROSS TOTAL:	3712	S.F.
GARAGE	522	S.F.

DATE: 12/19/19
 DATE: 01/23/20
 DATE: 02/07/20

18011
 3



CO DET LOCATION
 CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR HALL IS FEET OUTSIDE OF EA. BEDROOM DOOR. AT EVERY ROOM LEVEL, W/ BEDROOMS (SEE SHEET 13 FOR ADDL INFO)



MAIN FLOOR PLAN

REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS PRIOR TO CONSTRUCTION



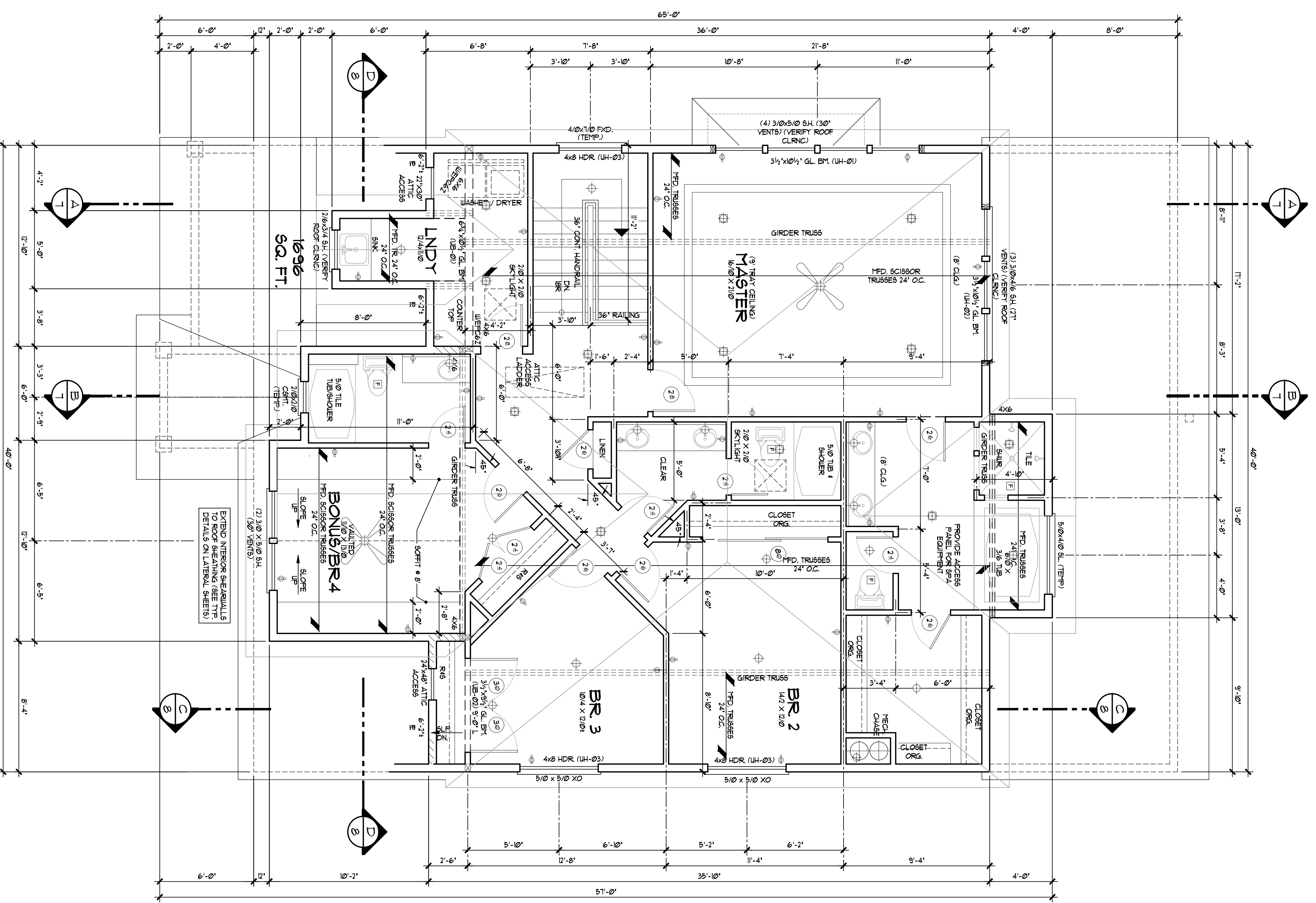
Greg B. Creighton, Architect
 Creighton Architecture
 252 "A" Ave Suite 300
 Lake Oswego, Dr. 97034
 Phone: (503) 635-0797 Fax: (503) 635-1041

PROJ: Forni Residence, Milwaukie, OR
 OWNER: Tony & Jenifer Forni

MAIN FLOOR	144
UPPER FLOOR	1697
TOTAL (FINISHED)	3111
LOWER FLR (UNFIN)	601
GROSS TOTAL:	3712
GARAGE	522



Greg B. Creighton, Architect
 Creating professional drawings
 is often necessary to obtain the
 underlying site conditions or load
 responsibility of the contractor
 to protect the drawing and
 authorized in the plans for
 construction. Greg B. Creighton,
 for any changes relating to the
 accuracy of the plans in excess
 of their U.S.A.



UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS PRIOR TO CONSTRUCTION

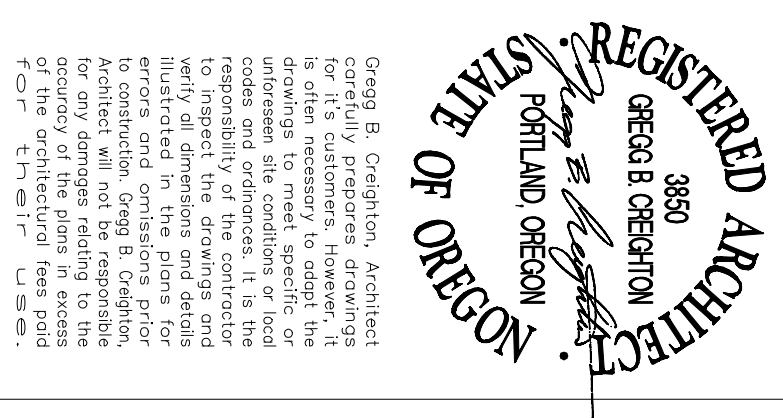
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 FURNISH-PL-DWG
 Printed By: Greg Creighton
 GBC layer group: U

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18011	MAIN FLOOR	1414	S.F.
	UPPER FLOOR	1697	S.F.
	TOTAL (FINISHED)	3111	S.F.
	LOWER FLR. (UNFIN)	601	S.F.
	GROSS TOTAL:	3712	S.F.
	GARAGE	522	S.F.

PROJ: Forni Residence, Milwaukie, OR
 OWNER: Tony & Jenifer Forni

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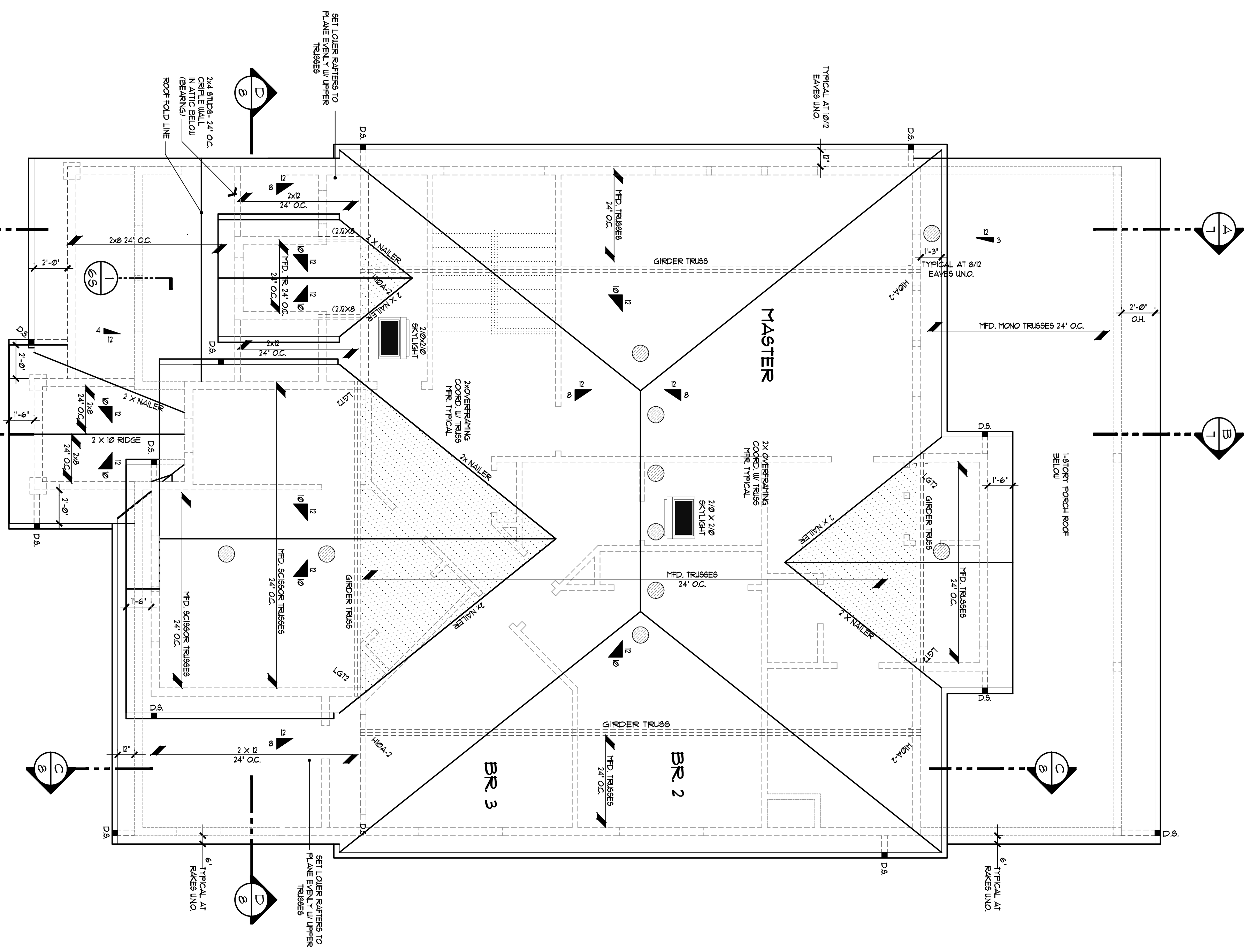


Creighton Architecture
 252 "A" Ave Suite 300 Lake Oswego, Or. 97034
 Phone: (503) 635-0797 Fax: (503) 635-1041

PROJ: **Forni Residence, Milwaukie, OR**
 OWNER: **Tony & Jenifer Forni**

DRN BLDG WORK DESC:	DATE: 02/27/19	DRS:	1414
DATE: 02/27/19	DRS:	1697	1697
DATE: 02/27/19	DRS:	3111	3111
DATE: 02/27/19	DRS:	601	601
DATE: 02/27/19	DRS:	3712	3712
DATE: 02/27/19	DRS:	522	522
GROSS TOTAL:		3712	
GROSS TOTAL:		522	

18011
6



ROOF DESIGN NOTES
 THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.
 ROOF LIVE LOAD (SNOW)
 25.0 PSF
 DEAD LOAD
 12.0 PSF
 WIND UPLIFT
 15 PSF
 MISC MATERIALS
 1.5 PSF

ROOFING TYPE DRY / LEET
 HED SHAKES 2.0 / 3.25 PSF
 HVT SHAKES 3.0 / 4.0 PSF
 SHINGLES 2.0 / 3.25 PSF
 COMPOSITION 2.5 / 3.0 PSF

CEILING MATERIALS
 3.25 PSF
 6.75 PSF
 4.75 PSF
 4.75 PSF

ACTUAL ROOF SAFETY FACTOR
 3.25 PSF
 6.75 PSF
 4.75 PSF

LEGEND
 4" X 4" WOOD POST FROM 4" WOOD JOIST TO WALL BELOW (MIN. 2" X 4" REQ'D AT WALL BEARING POINT) 1 WALL BEARING POINT ONLY OCCUR & POST DOWN LOCATIONS
 5/8" SQ. IN. ROOF VENTS (11) REQ'D
 2X4 FRAM IN WALL TO BRK OR WALL BELOW (FRAM'G AT 24" O.C.)
 SHAD'D AREA DENOTES ROOF AREA OVER RAFTERS BELOW
 6" DOWNPOUTS
 CONT. RIDGE VENT
 YES/NO

COMP. OR SHAKE ROOFING
 MAXIMUM SPANS
 3/4" DF, 1/2" DL
 3/8" LL, 4" DL

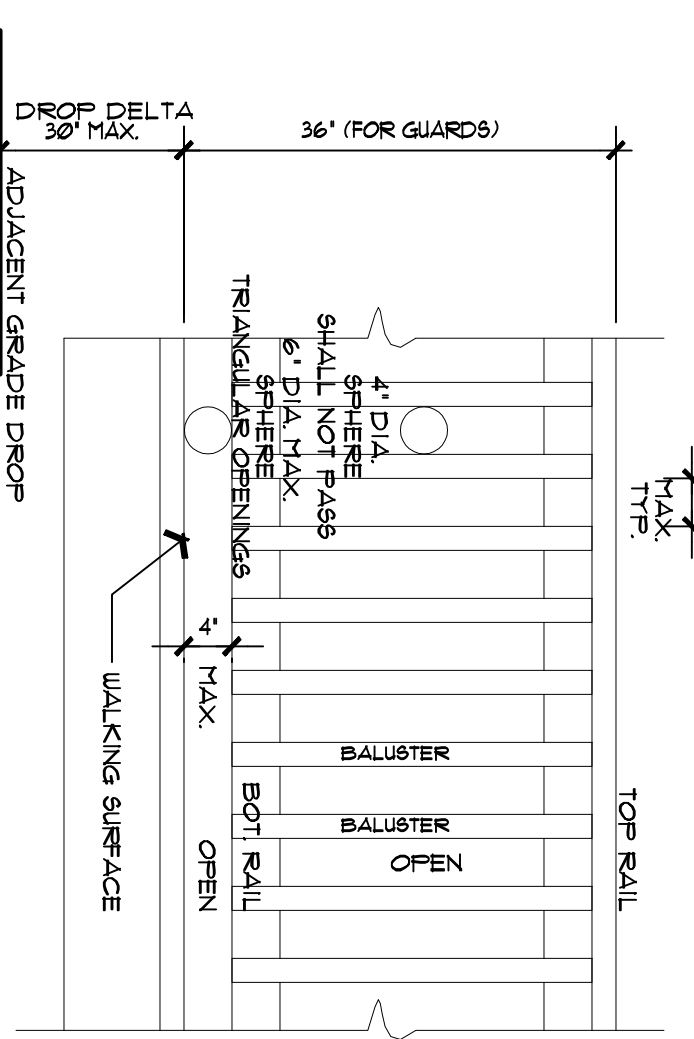
SIZE	SPACING	SPAN
2x4	12" O.C.	11'-2"
2x4	16" O.C.	8'-0"
2x4	24" O.C.	11'-2"
2x4	12" O.C.	11'-2"
2x4	16" O.C.	8'-0"
2x4	24" O.C.	11'-2"
2x4	16" O.C.	8'-0"
2x4	24" O.C.	11'-2"

ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"

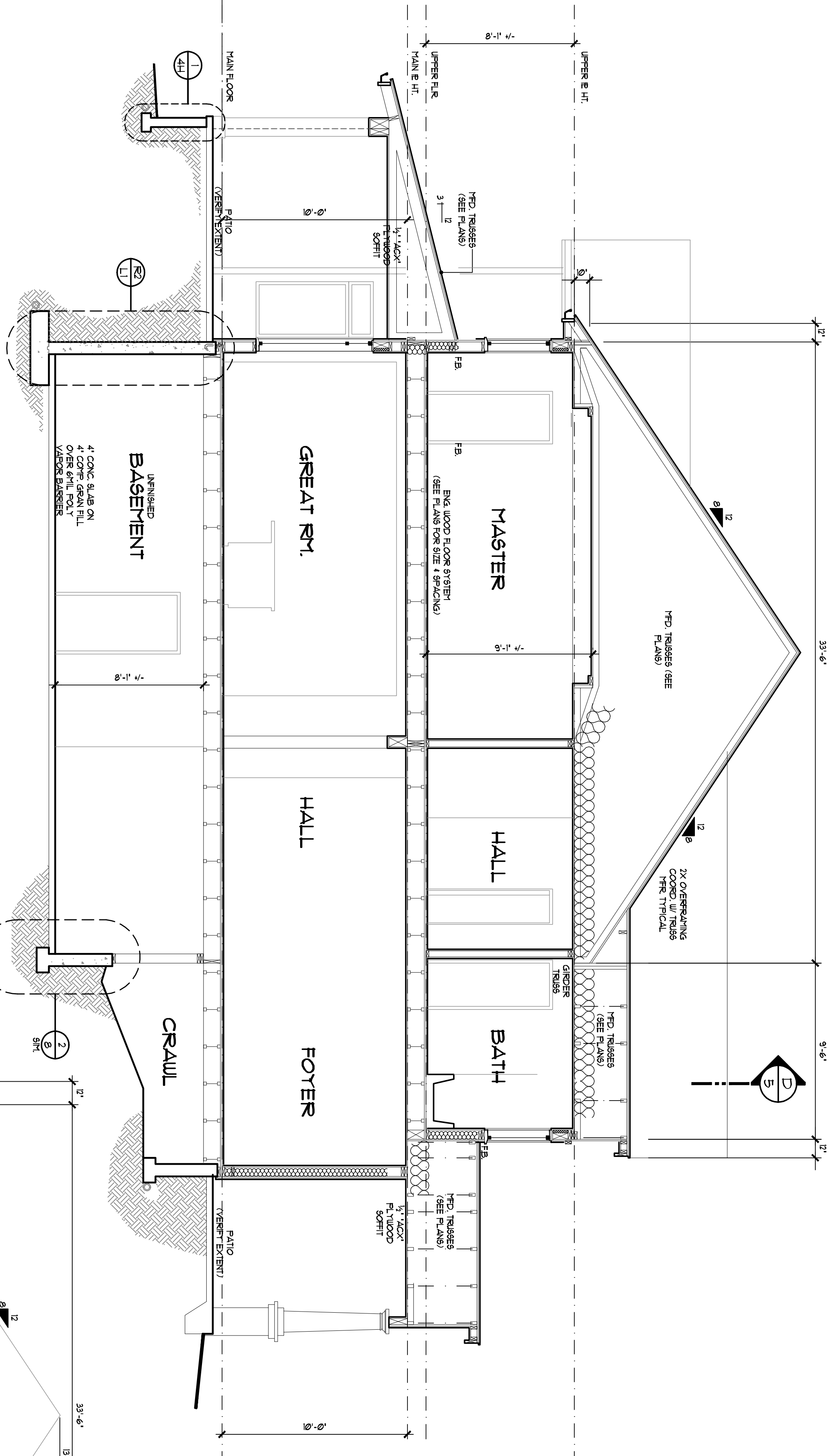


Greg B. Creighton, Architect
 3830
 OREGON ARCHITECT
 PORTLAND, OREGON
 STATE OF OREGON
 REGISTERED ARCHITECT
 License No. 3830

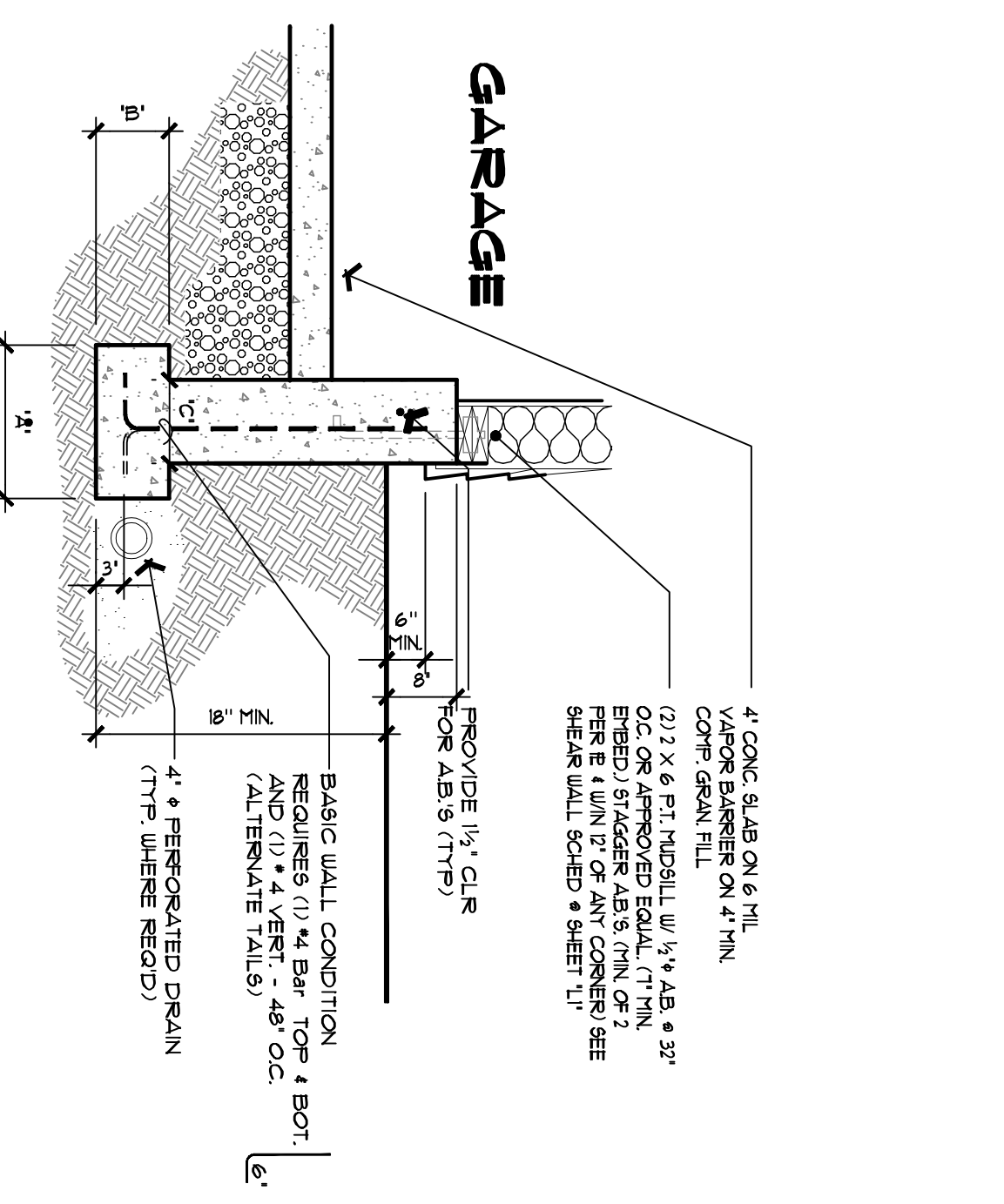
Creighton Architecture
 252 "A" Ave Suite 300 Lake Oswego, Or. 97034
 Phone: (503) 635-0797 Fax: (503) 635-1041



2 GUARD
 SCALE: 3/4" = 1'-0"
 COMPLIANCE D/AG
 SECT 312 (ORBC)
 12-28-16 GBC



B BUILDING SECTION
 SCALE: 1/4" = 1'-0"

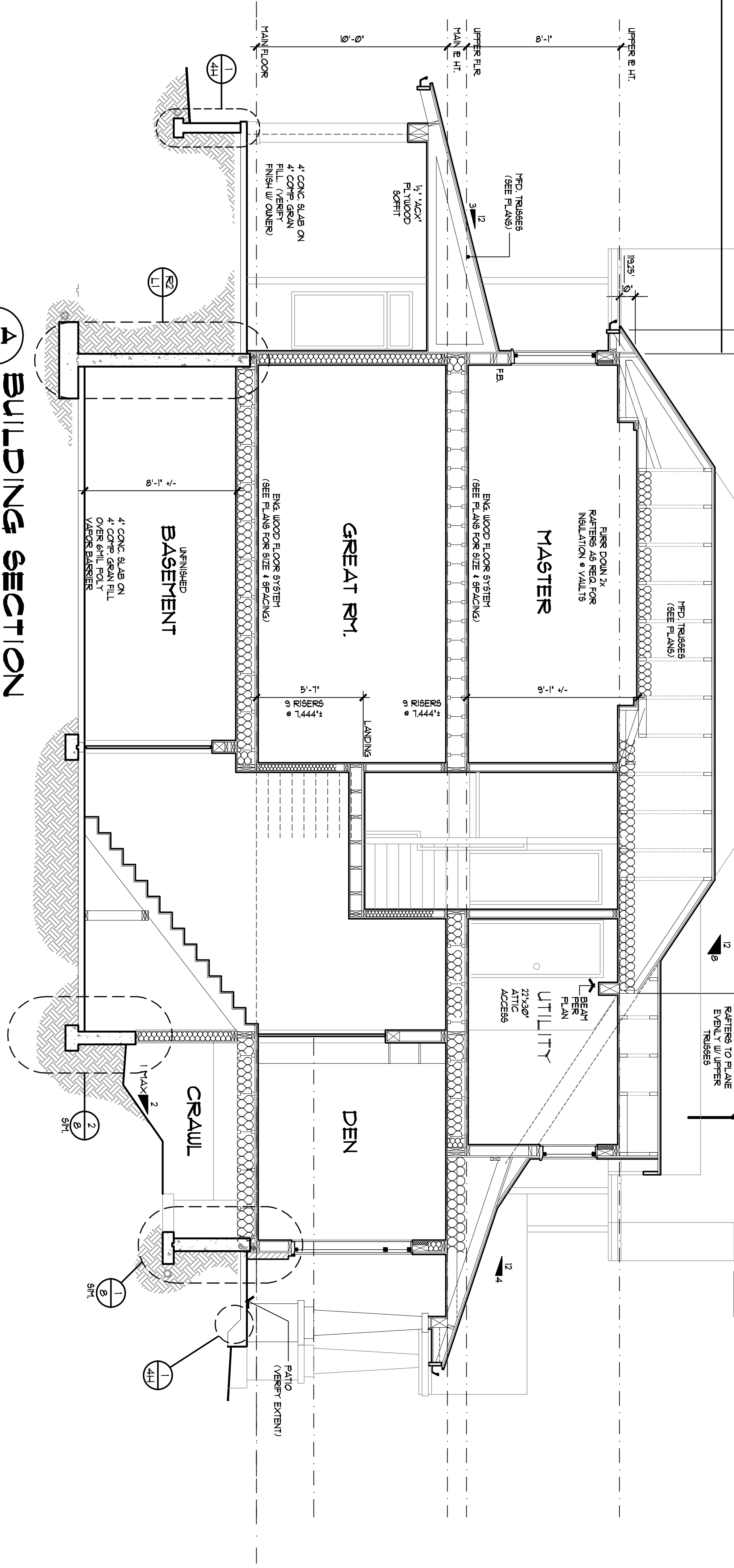


1 FOOTING/SLAB SECT.
 SCALE: 3/4" = 1'-0"
 NON-BATED WALL

MIN. FOUNDATION DIMS.

	A	B	C
FOOTING	18"	12"	12"
2 STORY	12"	12"	12"
3 STORY	12"	12"	12"

K. SEE SHEET 14.12 ALB FOR FOUNDATION CALCULATIONS THAT MAY APPLY.



A BUILDING SECTION
 SCALE: 1/4" = 1'-0"

FLOOR	FINISHED	UNFINISHED	S.F.
MAIN FLOOR	1414	601	2015
LOWER FLOOR	1899	312	2211
TOTAL (FINISHED)	3313	913	4226
LOWER FLR. (UNFIN)	601	312	913
GROSS TOTAL	3712	913	4625
GARAGE	522		522

PROJ: Forni Residence, Milwaukie, OR
 OWNER: Tony & Jenifer Forni

18011
7

Tax Lot 200
 11E35AB00200
 SUBDIVISION
 Parcel# 00015448
 JHA, City of Minnowaska
 97222
 Zoning: Unknown Contact City of Minnowaska

FOR:
Builder to be determined
 (503) 688-8298

Tax Lot 200

DATE: 1/25/19 BILD / GBC

Tax Lot 200

LOT AREA: 6879.75 SQ. FT.
 BUILDING COVER TOTAL: 2470.33 SQ. FT. (35.9%)
 MAX. BLDG. COVER = 3,096 SQ. FT. (45%)
 BUILDING HEIGHT: 30' MAX
 ROOF PITCH: XX:XX

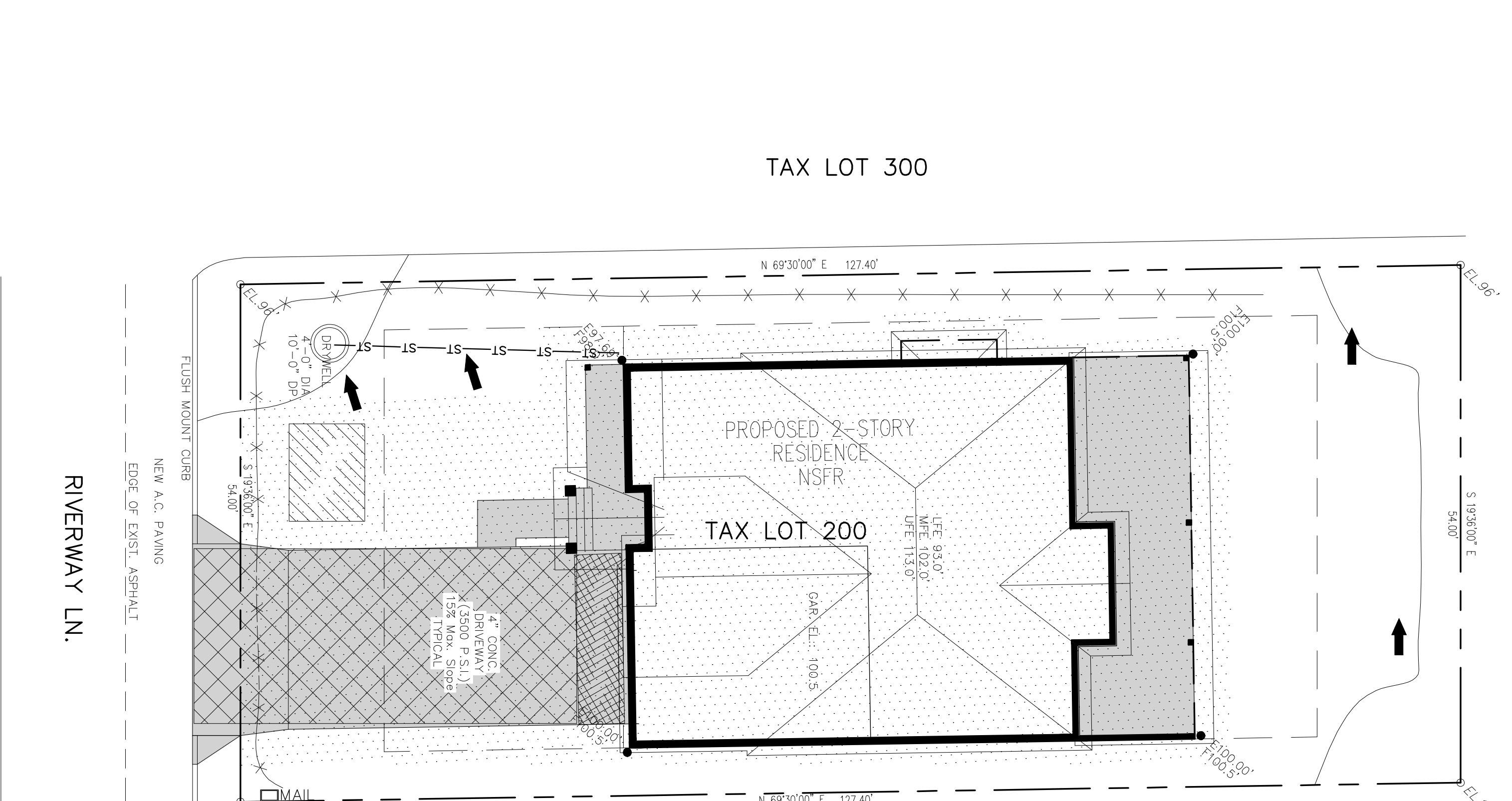
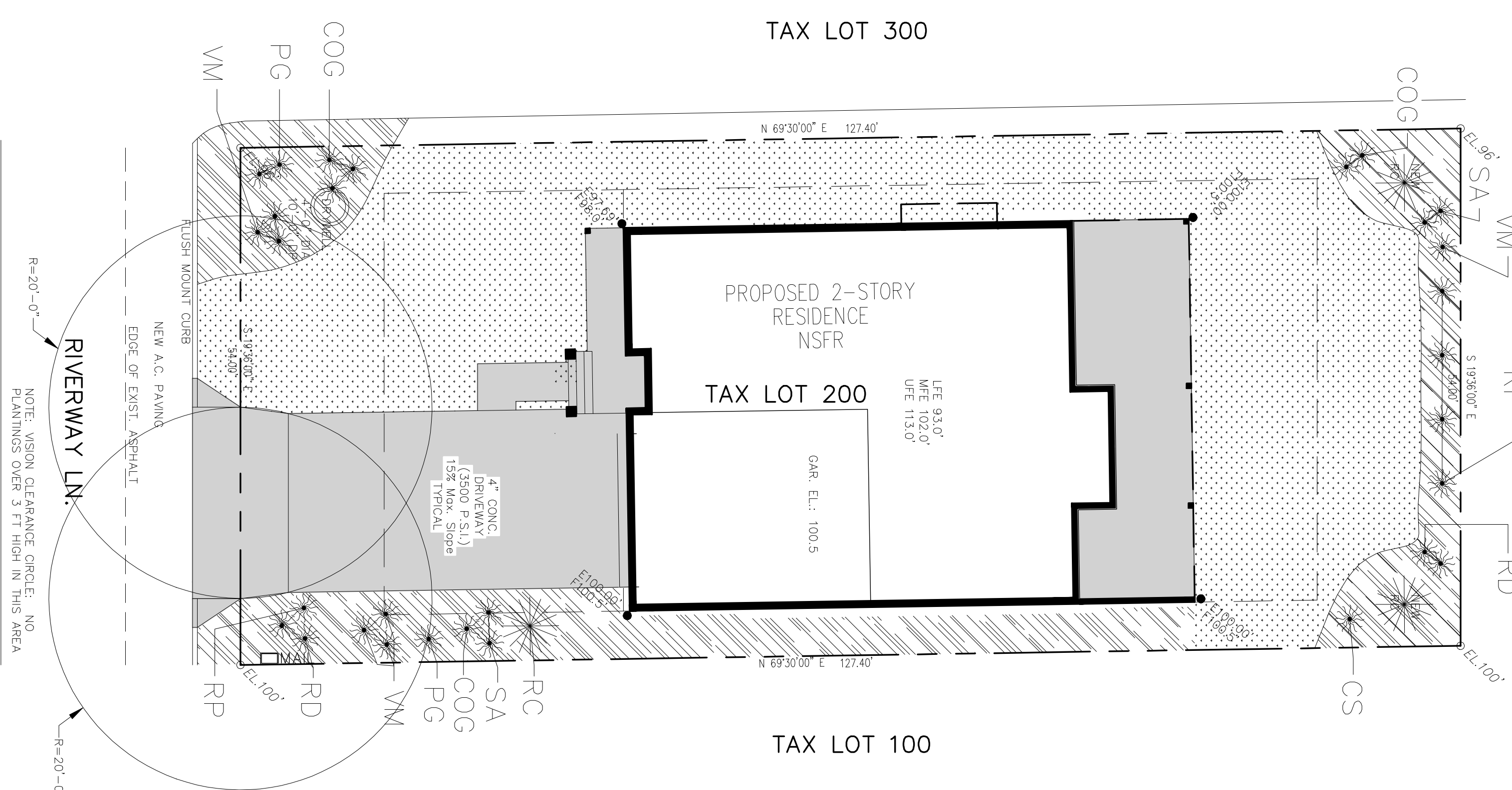
IMPERVIOUS AREA
 ROOF COVER: 2,727.17 SQ. FT.
 NON-POROUS CONC. DRIVEWAY: 723.43 SQ. FT.
 AREA COVERED BY ROOF
 NON-POROUS CONC. WALKWAY: 35.59 SQ. FT.
 AREA COVERED BY ROOF
 TOTAL: 3,486.19 SQ. FT.

SITE PLAN GENERAL NOTES

1. PROVIDE A MINIMUM 8" DEEP GRAVEL BASE FOR ALL DRIVEWAY AREAS.
2. MAXIMUM DRIVEWAY SLOPE SHOULD BE VERIFIED WITH THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
3. PROVIDE A MINIMUM 4" DEEP GRAVEL BASE FOR ALL SIDEWALK AND PATIO AREAS.
4. PIPE ALL STORM DRAINAGE FROM THE BUILDING TO A DRAINAGE POINT APPROVED BY THE BUILDING DEPARTMENT.
5. PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES.
6. THE BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO GREGG B. CREIGHTON OR ARCHITECT, P.C. WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS INCLUDING ANY TIL PLACED ON THE SITE. THE CONTRACTOR MUST INFORM THIS OFFICE OF ANY POTENTIAL FIELD MODIFICATIONS NOT SPECIFIED ON THE PLANS.
7. NON-STABILIZED FILL MUST NOT EXCEED 2:1 SLOPE.
8. EXCAVATION MATERIAL REMAINING ON SITE IS TO BE CONTAINED BY AN APPROVED SEDIMENT BARRIER. THE CONTRACTOR MUST VERIFY LOCATION WITH APPROPRIATE BUILDING OFFICIAL.
9. PROTECT STOCK PILES FROM OCTOBER 1st THRU APRIL 30th PER THE EROSION CONTROL HANDBOOK.
10. NO CUTTING OR FILLING SHALL TAKE PLACE WITHIN THE DRIP LINE OF AN EXISTING TREE UNLESS THE EXCEPTION IS APPROVED BY THE BUILDING DEPT.

LEGEND

- E= EDGE OF PAYMENT
- B= BOUNDARY OF EASEMENT
- S= SETBACK LINE
- P= PROPERTY LINE
- EX= EXIST. CONCRETE PAVING
- P= POROUS ASPHALT DRIVE
- C= CONCRETE SIDEWALK
- G= GRAVEL
- F= PERMEABLE PAVERS
- T= TREE DRIPLINE (CANOPY)
- A= ARBORIST REPORT RECORD TO WORK WITHIN TREE CANOPY
- N= NEW BARK DUST AREA



PLANTING TABLE

TAG	COMMON NAME	CAL.	HT.	QUANTITY
RC	WESTERN RED CEDAR	1"	6'	3
RD	RED OSIER DOGWOOD	1 GAL.	N/A	3
COG	CASCADE OREGON GRAPE	1 GAL.	N/A	6
PG	PIONEER GOOSEBERRY	1 GAL.	N/A	3
RP	INDIAN PLUM (RED PLUM)	1 GAL.	N/A	5
SA	SALAL	1 GAL.	N/A	4
CS	COMMON SNOWBERRY	1 GAL.	N/A	1
VM	VINE MAPLE	1 GAL.	N/A	1
FS	FOOTHILL SEDGE	SEED	N/A	N/A
	TOTAL TREES			1
	TOTAL SHRUBS			29

LANDSCAPE

- LEGEND**
- G= GROUNDCOVER: GRASS
 - WM= WATER METER
 - S= SIGN
 - CB= CATCH BASIN
 - FH= FIRE HYDRANT
 - W= WATER VALVE
 - SM= STORM MANHOLE
 - SSM= SANI SEWER MANHOLE
 - ST= STORM LINE
 - G= GAS LINE
 - W= WATER LINE
 - P= POWER LINE
 - S= SANI & SEWER

EROSION CONTROL LEGEND

- C= CONSTRUCTION DISTURBANCE ZONE
- P= PROTECTION FENCING
- S= SEDIMENT FENCE (REMOVABLE / REPLACEMENT)
- E= GRAVEL CONST. ENTRANCE
- W= WORK STAGING AREA / MATERIAL STOR.
- S= COVERED STOCK PILE AREA
- A= DIRECTION OF STORMWATER FLOW

EROSION CONTROL

Creighton Architecture
 252 "A" Ave, Suite 300
 Lake Oswego, OR 97034
 (503) 635-0797
 Fax: (503)635-1041
 Job #: 180111

Tax Lot 200
 116,560.22 SQ. FT.
 SUBDIVISION: Lot Whitcomb
 Parcel# 00018448
 JHA: City of Milwaukie
 Zoning: Unknown Contact City of Milwaukie

FOR:
Builder to be determined
(503) 688-8298

Tax Lot 200

DATE: 1/25/19 BILD / 06C

Tax Lot 200

LOT AREA - 68,715 SQ. FT.
 BUILDING COVER TOTAL: 2,272.17 SQ. FT. (3.32%)
 MAX. BLDG. COVER = 3,698 SQ. FT. (5.38%)
 BUILDING HEIGHT: 30' MAX
 ROOF PITCH: XX:XX

IMPERVIOUS AREA

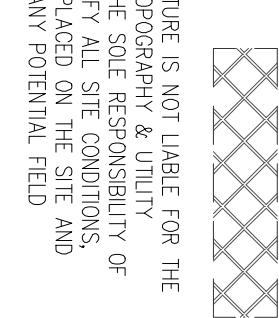
ROOF COVER 2,272.17 SQ. FT.
 NON-ROOF COVER 1,425.99 SQ. FT.
 AREA COVERED BY ROOF 3,698.16 SQ. FT.
 NON-IMPERVIOUS CONC. WALKWAY 35.99 SQ. FT.
 AREA COVERED BY ROOF 3,734.15 SQ. FT.
 TOTAL 3,770.14 SQ. FT.

SITE PLAN GENERAL NOTES

1. PROVIDE A MINIMUM 8" DEEP GRAVEL BASE FOR ALL DRIVEWAY AREAS.
2. MAXIMUM DRIVEWAY SLOPE SHOULD BE VERIFIED WITH THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
3. PROVIDE A MINIMUM 4" DEEP GRAVEL BASE FOR ALL SIDEWALK AND PATIO AREAS.
4. DOE ALL STORM DRAINAGE FROM THE BUILDING TO A DISPOSAL POINT APPROVED BY THE BUILDING DEPARTMENT.
5. PROPOSE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SITES.
6. THE BOUNDARY AND TOPOGRAPHY INFORMATION ARCHITECT PLOTTED BY THE CONTRACTOR, OWNER OR ENGINEERING CONSULTANT, GREGG B. CREIGHTON ARCHITECT, P.C., WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS INCLUDING ANY FILL PLACED ON THE SITE. THE CONTRACTOR MUST INFORM THIS INFORMATION TO THE BUILDING DEPARTMENT PRIOR TO ANY MODIFICATIONS.
7. NON-STABILIZED FILL MUST NOT EXCEED 2:1 SLOPE.
8. EXCAVATION MATERIAL REMAINING ON SITE IS TO BE CONTAINED BY AN APPROVED SEDIMENT BARRIER, APPROPRIATE TO THE LOCATION WITH APPROVED EROSION CONTROL.
9. PROJECT STOCK PILES FROM OCTOBER 1st THRU APRIL 30th PER THE EROSION CONTROL HANDBOOK.
10. NO CUTTING OR FILLING SHALL TAKE PLACE WITHIN THE DRIP LINE OF AN EXISTING TREE UNLESS THE EXCEPTION IS APPROVED BY THE BUILDING DEPT.

LEGEND

- = EDGE OF PAVEMENT
- - - = BOUNDARY OF EASEMENT
- - - = SETBACK LINE
- - - = PROPERTY LINE
- = EXIST. CONCRETE PAVING
- = POROUS ASPHALT DRIVE
- = CONCRETE SIDEWALK
- = GRAVEL
- = PERMEABLE PAVERS
- = TREE DRILLING (CANOPY)
- = ARBORIST REPORT REC'D TO WORK WITHIN TREE CANOPY



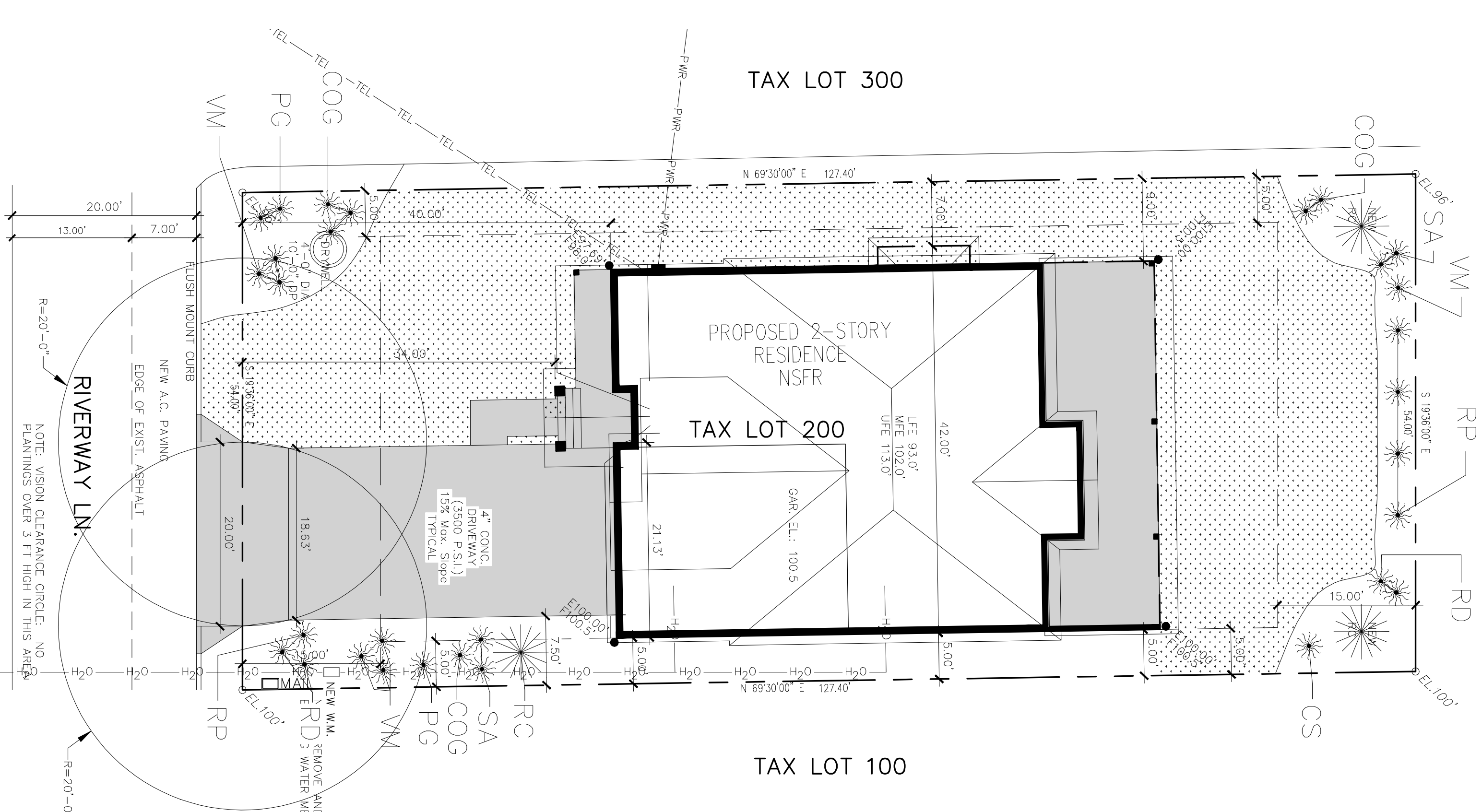
CREIGHTON ARCHITECTURE IS NOT LIABLE FOR THE ACCURACY OF THE TOPOGRAPHY AND UTILITY INFORMATION PROVIDED BY THE CONTRACTOR, OWNER OR THE BUILDER TO IDENTIFY ALL SITE CONDITIONS INCLUDING ANY FILL PLACED ON THE SITE AND FROM OWNERS OF ANY POTENTIAL FIELD MODIFICATIONS.

Creighton Architecture
 252 1/2 Ave. Suite 300
 Lake Oswego, OR 97034
 (503) 835-0787
 Fax: (503) 635-1041
 Job #: 18011

SU

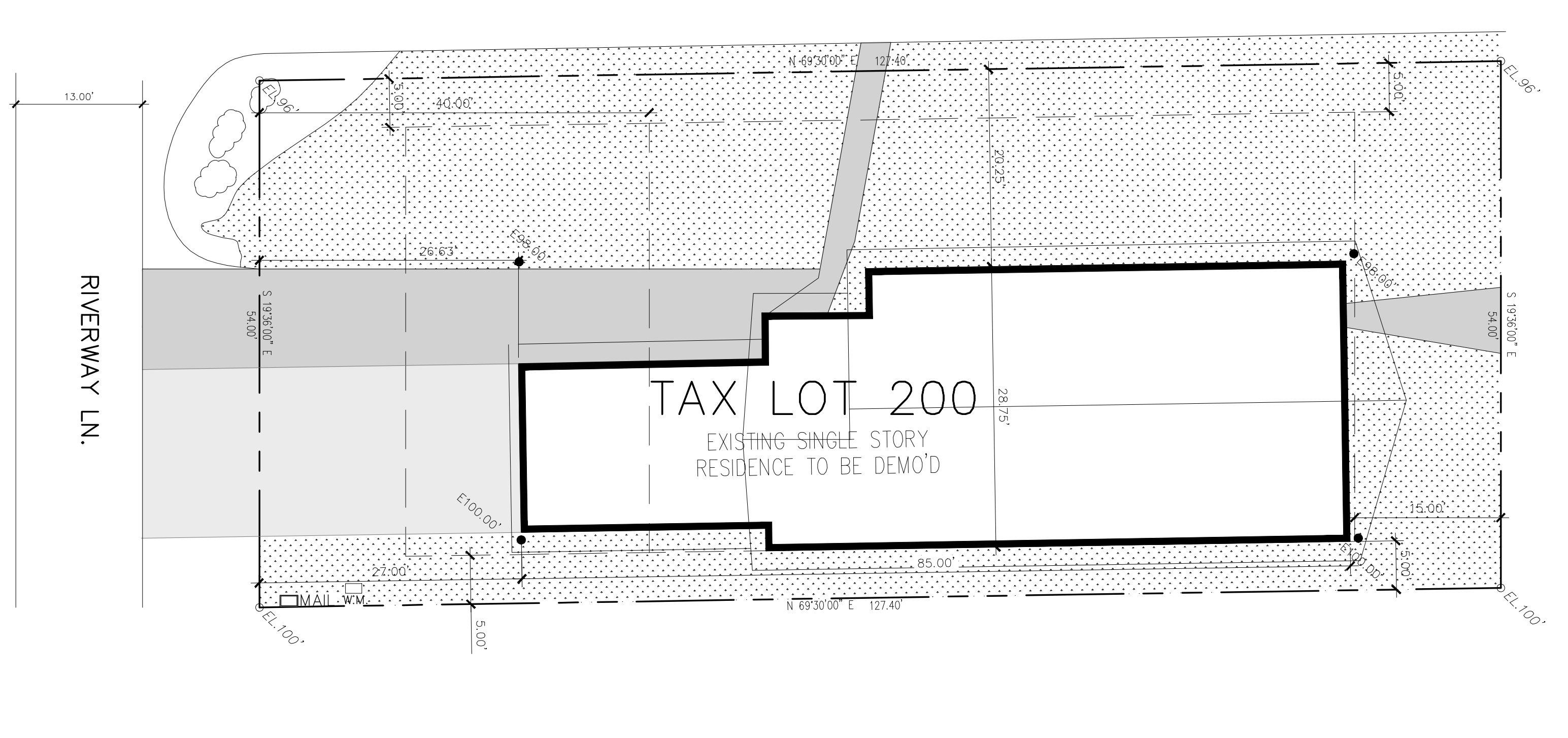
1-25-19 2.32pm
 FORNIML_Site.dwg
 Plotted by Gregg Creighton
 GBC layer group = P

site / utility plan



EROSION CONTROL LEGEND

- = CONSTRUCTION DISTURBANCE ZONE
- = SEDIMENT FENCE (REMOVABLE / REPLACABLE) PROTECTION FENCING.
- = GRAVEL CONST. ENTRANCE
- = WORK STAGING AREA / MATERIAL STORAGE
- = COVERED STOCK PILE AREA
- = DIRECTION OF STORMWATER FLOW



THERE ARE NO EXISTING TREES ON THIS SITE. THEREFORE, NO TREE MITIGATION PLAN IS REQUIRED.

LEGEND

- = GROUNDCOVER: GRASS
- = WATER METER
- = SIGN
- = CATCH BASIN
- = FIRE HYDRANT
- = WATER VALVE
- = STORM MANHOLE
- = SANI SEWER MANHOLE
- = STORM LINE
- = GAS LINE
- = WATER LINE
- = POWER POLE
- = POWER LINE
- = SANI & SEWER

TAX LOT 300

TAX LOT 300

TAX LOT 100

EXISTING

PROPOSED

NOTE: VISION CLEARANCE CIRCLE: NO PLANTINGS OVER 3 FT HIGH IN THIS AREA