

MILWAUKIE PLANNING
 6101 SE Johnson Creek Blvd
 Milwaukie OR 97206
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: DEV-2023-003

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|---|---|---|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| <input type="checkbox"/> Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input type="checkbox"/> Community Service Use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance: |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input checked="" type="checkbox"/> Development Review | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Director Determination | <input checked="" type="checkbox"/> Natural Resource Review** | <input type="checkbox"/> Willamette Greenway Review |
| <input type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input type="checkbox"/> Historic Resource: | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| <input type="checkbox"/> Status Deletion | | • Appeal |

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): Peter Passarelli

Mailing address: 10722 SE Main Street, Milwaukie, OR State/Zip: 97222

Phone(s): 503.786.7614 Email: PassarelliP@milwaukieoregon.gov

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above): Matt Hastie, AICP

Mailing address: 506 SW 6th Ave, Suite 400, Portland, OR State/Zip: 97204

Phone(s): 503-539-7680 Email: mhastie@migcom.com

SITE INFORMATION:

Address: 10660 SE 21st Ave. Map & Tax Lot(s): 11E36BB01900

Comprehensive Plan Designation: Public use Zoning: Open Space (OS) Size of property: 20,400 sf

PROPOSAL (describe briefly):

This project will remodel and update Scott Park. The existing path and part of the lawn will be removed to accomodate a new play area, walking trails, and other features. The amphiteater will be updated as well.

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by:

Date: 06/23/2023

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.

** Natural Resource and Transportation Review applications **may require a refundable deposit.**

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT (after discount, if any)	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	DEV-2023-001	\$ 200	100%	City-sponsored application	Materials submitted 6/23/2023 (no payment required)
Concurrent application files	NR-2023-001	\$ 1,000	100%	City-sponsored application	
		\$			
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ ---			RECEIPT #:	RCD BY:	

Associated application file #s (appeals, modifications, previous approvals, etc.):

Neighborhood District Association(s): Historic Milwaukie

Notes: Update (9/15/2023): Application was initially deemed complete as a Type I application but later determined to require Type II review. (Brett Kelter, Senior Planner)

Milwaukie Parks Land Use
Planning and Permitting
Scott Park

Site Development Review
Natural Resource Review
APPLICATION

Submitted to:

City of Milwaukie

Submitted by:

Matt Hastie, AICP, MIG | APG

July 2023

Contents

1. Introduction	2
Project Team	2
Project Summary	3
2. 19.304.4 Development Standards (OS Base Zone)	5
19.304.5.B Building Height	5
19.304.5.D Setbacks and Build To Lines.....	5
19.304.5.G Off-Street Parking.....	6
19.304.5.H Open Space	6
3. 19.402 Natural Resources (NR)	6
19.402.3 Applicability	6
19.402.4 Exempt Activities	7
19.402.6 Activities Requiring Type I Review	9
19.402.11 Development Standards	9
4. Other Standards	14
19.508.4.G Open Space/Plazas	14
14.16.060 Signs.....	15
5. Site Development Review – Approval Criteria	15

List of Attachments:

- A. 30% Design Concept Drawings
- B. Scott Park Materials Plan
- C. Erosion Control and Construction Access Plan
- D. Stormwater Drainage Report
- E. Property Deed
- J. Park Amenity Images
- M. Arborist Report

1. Introduction

Project Team

Owner

City of Milwaukie
Adam Moore
10722 SE Main Street
Milwaukie, OR 97222
503-786-7624
moorea@milwaukieoregon.gov

Landscape Architect

GreenWorks, P.C.
Ben Johnson
110 SE Main St, Suite 100
Portland, OR 97214
503-222-5612
benj@greenworkspc.com

Civil

KPFF
Jessica Zink
111 SW 5th Avenue, Suite 2400
Portland, OR 97204
503-542-3860
jessica.zink@kpff.com

Survey

KPFF
John R. Davis
111 SW 5th Avenue, Suite 2400
Portland, OR 97204
503-542-3860
john.davis@kpff.com

Land Use Planners

MIG
Matt Hastie, AICP, Project Manager
506 SW 6th Avenue, Suite 400
Portland, OR 97204
503-539-7680
mhastie@migcom.com

Consulting Arborist

Teragan & Associates
Terrence P. Flanagan
3145 West View Circle
Lake Oswego, OR 97034
503-697-1975
terry@teragan.com

Project Summary

Site Description:

The site is located at 10660 SE 21st Ave. (tax lot 1900 and part of tax lot 1800) and defined by Ledding Library to the south, a pond to the east, and adjacent developments and parking areas to the north and west. The total site area is 20,400 square feet (sf). The site currently is designated as a natural resource area due to the valuable habitat it provides for domestic and migratory waterfowl. The park is a key pedestrian destination and serves as an important site for residential, commercial and civic functions.

The site is zoned primarily Open Space (OS), though the portion of the site on tax lot 1800 is zoned Downtown Mixed Use (DMU). The City's zoning ordinance states that *"The Open Space Zone provides a specific zone to accommodate open space, park, and riverfront uses. The Open Space Zone is generally applied to lands that are in public ownership... The desired character for the Open Space Zone includes parkland, open space, and riverfront amenities."* Per the Comprehensive Plan, the site is designated for Public use. The Public land use designation is intended for schools, parks, public open space, and other community uses. The park will be subject to the Natural Resource review and Site Development Review processes, standards, and approval criteria.

Proposed Improvements:

A variety of changes and improvements are proposed at the site, including the following as shown on the accompanying figure:

- The existing pathway and part of the lawn will be removed to accommodate new site features.
- A new play area will be constructed. The play area will be oriented towards younger children and will include new equipment such as small climbing structures and interactive musical features; the play area will have a rubberized surface to provide safety and a certain level of permeability and will be surrounded by a new retaining wall.
- A new drinking fountain, seating, bicycle parking, and interpretive signage also will be provided adjacent to the play area.
- Several new walking trails will be added. These trails will be made of pervious materials and meet the City's minimum width requirements (five feet) to minimize impacts while ensuring accessibility.
- New seating will be provided adjacent to one of the pathways to create a pond overlook area.
- One new tree and a large number of new shrubs (about 40) will be planted on the site. The majority of the new plants will be native species.

The existing amphitheater will remain, with no changes proposed. Similarly, no changes are proposed to the existing concrete wall and seating north of the amphitheater, the parking area and adjacent sidewalk, or the war memorial plaque, although the memorial plaque will be moved to a different spot, compared to its current location.

One tree that has been identified as diseased or dead and is proposed for removal as part of a separate process. More detailed information about the trees proposed for removal is found in the tree protection plan and arborist report associated with this application (Attachment A, Sheet L2.01 and Attachment M, Tree Inventory). The City will file a tree removal application permit at a later time, pursuant to MMC Section 16.32.026. d

The site includes a designated “Water Quality Resource Area” (WQRA) – pond and associated buffer area, as well as a “Habitat Conservation Area” (HCA), essentially a vegetated area associated with the pond. The only improvements proposed within the WQRA are replacement of existing pathways and placement of two wooden benches within the vegetated buffer area. The new pathways will be made of pervious materials and will replace existing non-pervious pathways. Several improvements are proposed within the boundaries of the HCA, including a portion of the new playground, associated retaining walls, pervious pathways, and seating. Impacts on these features generally qualify as exemptions or limited exemptions to standards applied in these areas and meet the requirements for a Type 1 review land use process. As a result, mitigation of impacts within the WQRA and HCA are not required by the development code. However, the City is planting a large number of new native plants which would meet mitigation requirements for a significant level of disturbance of the resource areas.

The proposed improvements to Scott Park build on incorporate the results of extensive concept planning and community engagement efforts conducted by the City and its planning team in 2022 and 2023. Throughout 2022, the city hosted three large public events, multiple online surveys and focus groups with Milwaukie's Black, Indigenous and People of Color (BIPOC) community members. After preparing and refining initial concepts, a revised draft Concept Plan for the park was approved by Milwaukie City Council on December 6, 2022. The proposed design and improvements build on and are generally consistent with those efforts. Scott Park also was the subject of a previous concept planning process undertaken by the North Clackamas Parks and Recreation District. However, that process was previously rescinded as part of the process of redeveloping the Ledding Library site.

2. 19.304.4 Development Standards (OS Base Zone)

A. Lot Standards	OS Zone
1. Minimum Lot Size	None
2. Minimum Street Frontage	None
B. Development Standards	
1. Floor area ratio	No min or max
2. Building Height	15 ft. max (see Subsection 19.304.5.B)
3. Flexible ground-floor space	None
4. Set backs/build to lines	0 ft minimum
5. Frontage occupancy requirements	None
6. Primary entrances	No requirements
7. Off-Street parking required	Yes, where applicable (see Subsection 19.304.5.G and Chapter 19.600)
8. Open Space	Yes, where applicable (see Subsections 19.304.5.H and 19.508.4.G)
C. Other Standards	
1. Residential density requirements	None
2. Signs	Yes (see Subsection 14.16.060)

19.304.5.B Building Height

2. Standards

There is no minimum building height per Table 19.304.4

The maximum building height for the site is 15 ft, per Table 19.304.4.

Response: The picnic shelter is proposed to be less than 15 feet tall, therefore the height standard is met.

3. Height Bonuses

Response: This standard does not apply.

4. Exemptions

The following are exempt from the minimum building height standards.

- a. Additions to existing buildings.
- b. Accessory structures.
- c. Buildings with less than 1,000 sq ft of floor area.

Response: These exemptions are not applicable to the project because there is no minimum building height in the OS base zone.

19.304.5.D Setbacks and Build To Lines

2.(a) No minimum street setbacks are required.

Response: There are no applicable setback nor build-to line requirements for this zone. Therefore, this standard is not applicable.

19.304.5.G Off-Street Parking

3. All nonresidential uses are exempt from the off-street parking requirements.

Response: This project is a nonresidential use and is therefore exempt from the off-street parking requirements.

19.304.5.H Open Space

2. Standards

- a. When a building is set back from the sidewalk, at least 50% of the setback area shall provide usable open space, such as a public plaza or pedestrian amenities, that meets the standards of this subsection. Building setbacks cannot exceed the maximum setbacks established by Subsection 19.304.5.D and the frontage occupancy requirements of Subsection 19.304.5.E.

Response: There are no buildings proposed on this site, therefore this standard is not applicable.

- b. Usable open space shall be abutted on at least two sides by retail shops, restaurants, offices, services, or residences with windows and entrances fronting on the space.

Response: Ledding Library is located south of the site and there is residential development to the east and west of the site. It is not clear if adjacent development has entrances fronting on the space, however the park is directly accessible from these developments. This space is intended for use by the neighborhood and broader Milwaukie community and is not associated with any specific downtown development. While this specific standard is not met, the development meets the intent of these open space standards “to provide amenities for downtown visitors and residents, promote livability, and help soften the effects of built and paved areas.”

- c. Usable open space must be accessible at grade adjacent to the sidewalk.

Response: As shown on Sheet L1.01, the site is currently accessible at grade via sidewalk from the parking area. Sheet L3.01 (demolition plan) shows that this sidewalk will remain in place, and Sheet L4.01 shows the planned paths through the park will intersect with the existing sidewalk. Therefore, this standard is met.

- d. Open space may be hardscaped or landscaped, including plazas, courtyards, gardens, terraces, outdoor seating, and small parks.

Response: As shown on Sheet L4.01 a variety of materials, seating, and play equipment are planned for Scott Park, therefore this standard is met.

3. 19.402 Natural Resources (NR)

19.402.3 Applicability

- A. The regulations in Section 19.402 apply to all properties that contain, or are within 100 ft of a WQR and/or HCA (including any locally significant Goal 5 wetlands or habitat areas identified by the City of Milwaukie) as shown on the Milwaukie Natural Resource Administrative Map (hereafter “NR Administrative Map”).

- B. For properties that do not contain, but are within 100 ft of, a WQR and/or HCA, as shown on the NR Administrative Map, and where an activity not listed as exempt in Subsection 19.402.4.A will disturb more than 150 sq ft, a construction management plan is required in accordance with Subsection 19.402.9 (see also Table 19.402.3).
- C. The NR Administrative Map, which shows WQRs and HCAs, is adopted by reference. The NR Administrative Map shall be used to determine the applicability of Section 19.402 and shall be administered in accordance with Subsection 19.402.15.

Response: Per pre-application meetings with the City and subsection A, this project is subject to Natural Resource review procedure. Limited activities are proposed within the WQR, including replacement of existing trails with new trails constructed of pervious materials, placement of two benches, and minor grading/leveling work associated with the existing amphitheater stage. Some activities are proposed within the HCA as described in the following sections. The following evaluation is used to justify the review procedure for this application. As described in the following section, proposed activities within the HCA qualify as either Outright Exemptions or Limited Exemptions per Subsection 19.402.4.A or as Limited Exemptions per Subsection 19.402.4.B.

19.402.4 Exempt Activities

19.402.4.A. Outright Exemptions

The following activities in WQRs or HCAs are exempt from the provisions of Section 19.402:

- 4. The planting or propagation of plants categorized as native species on the Milwaukie Native Plant List.

Response: Per Sheet L8.00, plantings on the site include *Cornus nuttallii*, *liriope muscari*, and *veronica americana* listed on the Native Plant List. However, many other species are also included in the planting. This activity partially qualifies for an outright exemption. All trees proposed to be planted, *Cornus nuttallii*, are listed as natives and qualify for an exemption.

- 6. Removal of trees under any of the following circumstances:
 - d. Removal of the tree is in accordance with the requirements in Chapter 16.32 and an approved natural resource management plan per Subsection 19.402.10.

Response: One tree (see Sheet L2.01 of Attachment A) has been identified as dead and will be removed as part of a separate action and in accordance with Chapter 16.32. Therefore, this activity is exempt from Section 19.402. This will require a Type I Review (see next section.)

- 8. Additional disturbance for outdoor uses, such as gardens and play areas, where the new disturbance area does not exceed 150 sq ft; does not involve the removal of any trees of larger than 6-in diameter or otherwise regulated by Chapter 16.32; and is located at least 30 ft from the top of bank of a stream or drainage and at least 50 ft from the edge of a wetland.

Response: The disturbance for play area renovations exceeds 150 sf and therefore does not qualify for an outright exemption. The play area is located more than 50 feet from the edge of the pond (WQR) on the site and is outside the vegetated corridor/buffer area associated with the pond. See next section.

9. Routine repair and maintenance, alteration, demolition, and/or change of use of existing legal structures, provided that the following criteria are met:
 - a. There is no change in the location, or increase in the footprint, of any building, impervious surface, or outdoor storage area within a WQR or HCA.

Response: The current 344 sf amphitheater stage will be removed and repaved to have a footprint of 263 sf using pervious pavement. The location will remain the same. Therefore, this activity is exempt.

- b. No other site changes are proposed that could result in increased direct stormwater discharges to a WQR. If the project will result in increased direct stormwater discharges, the proposal is subject to the Type II review process and the standards for discretionary review established in Subsection 19.402.12.

Response: Per the Stormwater Drainage Report (attached), the site has been configured to utilize the existing stormwater basin on the site to catch any new runoff from the site; therefore there will not be an increase in direct stormwater discharges into the WQR. The existing planter will be expanded to accommodate the new development. In addition, pathways within the WQR buffer area will be replaced with new pathways constructed of pervious materials which will reduce drainage to the WQR in comparison to existing conditions.

19.402.4.B. Limited Exemptions Within HCAs

The following activities within HCAs are exempt from the provisions of Section 19.402, except that a construction management plan is required, according to the provisions of Subsection 19.402.9, where the activity disturbs a total of more than 150 sq ft:

2. Minor encroachments, not to exceed 500 sq ft for residential zones or 150 sq ft in nonresidential zones, for new features such as accessory buildings, patios, walkways, or retaining walls.

Response: Seating will be added to the pathway overlooking the pond and amphitheater area, totaling an area of 15 sf of pervious pavement. Retaining walls equaling less than 150 sf will also be installed within the HCA. This qualifies for a limited exemption.

4. Low-impact outdoor recreation facilities for public use—including, but not limited to, multiuse paths, accessways, trails, picnic areas, or interpretive and educational displays and overlooks that include benches and outdoor furniture—provided that such facilities contain no more than 500 sq ft of new impervious surface. Any trails shall have a maximum width of 5 ft and shall be constructed using nonhazardous, pervious materials.

Response: The play area is considered an outdoor recreational facility for public use, similar to the other types of recreational facilities described in this section of the code. The play area will include play equipment and benches and will encroach a total of 296 sq ft into the HCA. The play area will be covered with pervious rubber play tile surfacing. A total of 424 sf of impervious pathway will be removed within the site and new pathways will constitute 1,481 sf of new pervious surface within the HCA. These recreational facilities will not include the installation of more than 500 sf of impervious surfaces within the HCA and are otherwise low-impact facilities; therefore, these improvements qualify for a limited exemption.

Within the WQRA, disturbance will include removal of 898 sf of impervious pathway, coupled with installation of 1,530 sf of new pervious pathway and installation of two benches which total approximately 15 sf of impervious surface. As a result, less than 150 sf of impervious surfaces will be added within the WQRA.

Although the proposed activities qualify as limited exemptions, they exceed 150 sf and therefore, a construction management plan is required. However, the proposed activities are exempt from other provisions of Section 19.402 per the code language above and as described in subsequent Subsections of this narrative.

19.402.6 Activities Requiring Type I Review

Within either WQRs or HCAs, the following activities and items are subject to Type I review per Section 19.1004:

A. Limited Tree Removal

1. The Planning Manager may approve an application for limited tree removal or major pruning within WQRs and HCAs when the applicable requirements in Chapter 16.32 are met, except where exempted by Subsection 19.402.6.A.2, under any of the following circumstances:
 - b. The tree is dead, diseased, or dying and cannot be saved, as determined and documented in a report by a certified arborist.

Response: The removal of Tree 111 which has been identified as diseased or dead per review by a registered arborist will require a Type I review process per Section 19.402.6.A.1.b. The remainder of the activities within the HCA on the site are exempt or qualify for limited exemptions and will be reviewed and addressed via the Construction Management Plan provisions in responses to Subsection 19.402.9.

19.402.11 Development Standards

19.402.11.A Protection of Natural Resources During Site Development

During development of any site containing a designated natural resource, the following standards shall apply:

1. Work areas shall be marked to reduce potential damage to the WQR and/or HCA.
2. Trees in WQRs or HCAs shall not be used as anchors for stabilizing construction equipment.
3. Native soils disturbed during development shall be conserved on the property.

4. *An erosion and sediment control plan is required and shall be prepared in compliance with requirements set forth in the City's Public Works Standards.*
5. *Site preparation and construction practices shall be followed that prevent drainage of hazardous materials or erosion, pollution, or sedimentation to any WQR adjacent to the project area.*
6. *Stormwater flows that result from proposed development within and to natural drainage courses shall not exceed predevelopment flows.*
7. *Prior to construction, the WQR and/or HCA that is to remain undeveloped shall be flagged, fenced, or otherwise marked and shall remain undisturbed. Such markings shall be maintained until construction is complete.*
8. *The construction phase of the development shall be done in such a manner as to safeguard the resource portions of the site that have not been approved for development.*
9. *Where practicable, lights shall be placed so that they do not shine directly into any WQR and/or HCA location. The type, size, and intensity of lighting shall be selected so that impacts to habitat functions are minimized.*
10. *All work on the property shall conform to a construction management plan prepared according to Subsection 19.402.9.*
11. *The applicable provisions of Chapter 16.32 shall be met.*

Response: Sheet C3.01 of Exhibit A shows the Erosion Control Plan for the site and how the project will meet all of the provisions of 19.402.11.A. Per Sheet C3.01, all erosion prevention measures shall be in place, functional, and approved in accordance with the approved erosion prevention and sediment control plan prior to commencement of construction activities. Sediment control fencing, inlet protection, and tree protection fencing will be placed as shown on Sheet C3.01.

All soil disturbing and construction activities shall be conducted in accordance with MMC Chapter 16.28 erosion control and any applicable local, state or federal requirements as shown in notations on Sheet C3.01 of Exhibit A.

Alternative sediment controls must provide a discharge that is clean and free of sediment, surfactants, and other pollutants prior to entering the storm system. Approval of alternative sediment controls by the City of Milwaukie wastewater division manager is required prior to installation.

Written spill prevention and response procedures shall be developed, maintained, and implemented on the construction site. Dumping or disposal of spoil materials into any stream corridor, wetlands, surface waters or on any public or private property not specified for said purpose is prohibited. Sediment and pollutants shall not be washed into storm sewers, drainage ways, or water bodies. Dry sweeping shall be implemented to clean up construction areas to prevent release of sediments into the storm system. Disposal of sediment laden water into the wastewater system is prohibited unless prior written approval is received from the City of Milwaukie wastewater division manager. Sediment laden water shall be pumped through an approved sediment control BMP prior to disposal into the wastewater system.

Sawcutting slurry and debris shall be vacuumed and removed from all impervious surfaces. Vacuumed sawcutting slurry shall be properly disposed of and not discharged into the storm system.

Watertight trucks shall be used to transport saturated soils from the construction site. Temporary stabilization and covering of soil stockpiles shall occur at the end of each workday. All toxic or hazardous materials shall be properly stored, applied, and disposed.

An area shall be designated for washing out concrete trucks such that runoff from washing activities are contained and do not leave the site or enter the storm system. Sweepings from exposed aggregate concrete shall not be washed to the street or storm system. Sweepings shall be collected and properly disposed of in the trash.

Paving in wet weather when paving chemicals can runoff into the storm system is prohibited. Tracking of dirt and debris onto impervious surfaces, such as streets and parking lots, is prohibited. Impervious surfaces shall be kept free of dirt and debris at all times if it can be spread by traffic or can enter the storm system.

Gravel or dirt curb ramps are prohibited. Only wood step style curb ramps are allowed. Upon completion of site restoration and approval from the City of Milwaukie engineering director, all temporary erosion control measures may be removed. Drainage from springs or groundwater must be addressed during construction by the contractor. Discharge from groundwater encountered on the site must be clean of sediment or pollutants.

Areas subject to wind erosion shall use appropriate dust control measures including the application of a fine spray of water, plastic sheeting, straw mulch, or other approved measures. Dates of implementation of wet weather measures are October 1st to April 30th.

Materials shall not be stockpiled on public streets or in the right of way for longer than immediate use.

All of the above practices and requirements are noted on Sheet C3.01. As a result, these requirements will be met.

Additionally, per the Stormwater Drainage Report (attached), stormwater will drain into the existing basin on the site that will be expanded in order to accommodate treatment of any new flows. This meets standard 19.402.11.A.6.

19.402.11.B General Standards for Required Mitigation

***Response:** Per the responses for section 19.402.4, the development on this site is considered exempt or meets the requirements for limited exemptions; therefore, the mitigation standards for Section 19.402.11.B do not apply to this project.*

19.402.11.C Mitigation Required for Disturbance with WQRs

Response: Per the responses for section 19.402.4, no activities are proposed within a WQR area; therefore the mitigation standards for Section 19.402.11.C do not apply to this project.

19.402.11.D Nondiscretionary Standards for HCAs

Response: Per the responses for section 19.402.4, proposed disturbances within the HCA qualify as outright or limited exemptions and therefore do not count towards the amount of disturbance area per Subsection 19.402.11.D.1.c. In addition, no residential structures are proposed as part of this project so Subsection 19.402.11.D.1.a is not applicable. As a result, the mitigation standards for disturbance to HCAs in Subsection 19.402.11.D.2 do not apply to this project.

19.402.11.E Standards for Special Uses

Response: Per the responses for section 19.402.4, proposed disturbances within the HCA qualify as outright or limited exemptions. As a result, the standards in Subsection 19.402.11.E do not apply to this project.

19.402.9 Construction Management Plans

- A. Construction management plans are not subject to Type I review per Section 19.1004 but shall be reviewed in similar fashion to an erosion control permit (MMC Chapter 16.28).
- B. Construction management plans shall provide the following information:
 1. Description of work to be done.
 2. Scaled site plan showing a demarcation of WQRs and HCAs and the location of excavation areas for building foundations, utilities, stormwater facilities, etc.
 3. Location of site access and egress that construction equipment will use.
 4. Equipment and material staging and stockpile areas.
 5. Erosion and sediment control measures.
 6. Measures to protect trees and other vegetation located within the potentially affected WQR and/or HCA. Tree protection must be consistent with the requirements in Section 16.32.042.F.

When required for a property that does not include a designated natural resource, the construction management plan shall show the protective measures that will be established on the applicant's property.

Response: This application includes all of the required information for a Construction Management Plan as described below; as a result, standards of 19.402.9 are met.

1. Description of work to be done.

This information is found in the introductory narrative included in this application and is further detailed in the supporting plan sets (Exhibit A).

2. *Scaled site plan showing a demarcation of WQRs and HCAs and the location of excavation areas for building foundations, utilities, stormwater facilities, etc.*

This information is found on Sheet L3.01 of Exhibit A and Sheet L4.01 of Exhibit B.

3. *Location of site access and egress that construction equipment will use.*

This information is found on Sheet C3.01 of Exhibit C.

4. *Equipment and material staging and stockpile areas.*

This information is found on Sheet C3.01 of Exhibit C.

5. *Erosion and sediment control measures.*

This information is found on Sheet C3.01 of Exhibit A.

6. *Measures to protect trees and other vegetation located within the potentially affected WQR and/or HCA. Tree protection must be consistent with the requirements in Section 16.32.042.F.*

This information is found on Sheet L2.01 of Exhibit A.

19.402.15 Boundary Verification and Map Administration

The NR Administrative Map shows the locations of WQRs and HCAs. For WQRs, the NR Administrative Map is a general indicator of protected water features and their associated vegetated corridors; the location of actual WQRs is determined according to the parameters established in Table 19.402.15. With respect to HCA locations, the NR Administrative Map is assumed to be correct unless demonstrated otherwise.

A. Boundary Verification

To determine whether the standards of Section 19.402 apply to a proposed activity at any given location, the boundaries of any designated natural resource(s) on or near the site shall be verified.

Agreement with the accuracy of the NR Administrative Map does not constitute or require a land use decision. However, for activities proposed within 100 ft of a wetland or its associated vegetated corridor, the boundary verification process outlined in Subsection 19.402.15.A.2.a(1)(b) shall be followed to identify the specific location of wetlands on the subject property. The Planning Director may waive the requirement for official wetland delineation, depending on the specific circumstances of the site and the proposed activity. Such circumstances may include, but are not limited to, the scale and potential impacts of the proposed activity, the proximity of the proposed activity to the mapped resource, and the Director's confidence in the accuracy of the NR Administrative Map relative to the resource in question.

***Response:** The site includes a constructed pond associated with Spring Creek. The water levels in the pond are typically highly controlled and are subject to very little fluctuation. The portion of the pond on the Scott Park site has not undergone a wetland delineation. The National Wetlands Inventory identifies the pond as fresh water and does not indicate any wetlands on the site. The boundary of the pond which qualifies as a water quality resource was originally mapped by Metro through the Metro Streams (line) data. Metro’s data source was US Geological Survey (USGS) 7.5 minute quadrangles. That data was generated after completion of the last major work in Scott Park.*

In addition, the City’s consultants (KPFF) surveyed the edge of pond in March, 2023. The surveyed edge of the pond is shown on Exhibit A. While the City lacks the necessary data to confirm that this boundary constitutes the top of bank or ordinary high water mark (OHWM) associated with the pond, the City believes that the surveyed boundary closely approximates the OHWM, given minimal fluctuations in water levels of the pond. Based on discussions with City staff (Adam Moore), GreenWorks’ project manager and wetland scientist Jennifer D’Avanzo, and DSL Jurisdictional Coordinator Chris Stevenson, City and DLS staff determined that no wetland delineation or wetland permit was necessary as part of this project and also determined that all proposed improvements at Scott Park work are above the ordinary high water mark. It also should be noted that the two boundary lines (WQR line and KPFF-surveyed water edge) are in quite close proximity to each other, with one boundary closer to the proposed improvements in Scott Park in some cases, and the other closer in other cases.

To be conservative, the City proposes to use the larger boundary as the identified boundary for the vegetated corridor buffer associated with the WQR (i.e., the WQRA) for purposes of evaluating disturbance within and potential impacts to the WQRA. The City also requests that the Planning Director waive the requirement for a delineation of the pond boundaries, given the proposed conservative approach described here, the nature of the resource, and the fact that proposed disturbance within the WQRA is minimal. In addition, as noted in previous sections of this narrative, the City is planting a significant amount of native vegetation on the site (one tree and approximately 40 shrubs). While mitigation is not required for disturbance in the WQRA and HCA areas on the site, given that all proposed improvements qualify as exemptions or limited exemptions, this level of planting would be equivalent to mitigation of approximately 850 square feet of non-exempt disturbance in terms of the number of shrubs planted.

Pending a decision to waive the requirement for a delineation of the pond boundary, the requirements of this section of the code.

4. Other Standards

19.508.4.G Open Space/Plazas

***Response:** These standards are for mixed-use residential development and therefore do not apply to the park development on this site.*

14.16.060 Signs

No sign shall be installed or maintained in the DMU or OS Zones, except as allowed under Section 14.12.010 Exempted Signs, or as otherwise noted in this section.

A. Freestanding Sign

In the downtown zones, freestanding signs shall be monument type only. The sign face shall be no less than 60% of the total area of the monument. Pole signs are prohibited.

1. Area

The maximum permitted display surface area of a freestanding sign shall be computed on 1 sq ft of area per lineal ft of street or highway frontage.

a. In the OS Zone the maximum area shall not exceed 32 sq ft per display surface and 64 sq ft overall.

2. Height and/or Clearance

a. In the DMU Zone, freestanding signs are limited to a maximum height of 7 ft. Properties with frontage on McLoughlin Blvd may have freestanding signs with a maximum height of 15 ft and shall only be located along the McLoughlin Blvd frontage. Freestanding sign height shall be measured from the top of the sign to the lowest finished grade within a 6-ft horizontal distance from the sign.

b. In the OS Zone freestanding signs are limited to a maximum height of 6 ft above grade.

3. Number

One freestanding sign is permitted on a street or highway frontage.

Response: Per Sheet L4.01, one park sign is planned for the site. Per Sheet L28.02, the sign will be a freestanding sign that measures 36 inches high by 48 inches wide, with a total display area of 12 square feet, which is less than the allowed maximum area and lower than the allowed maximum height. The sign panel will be the standard Milwaukie parks sign. All sign standards are met.

5. Site Development Review – Approval Criteria

A. The proposal complies with all applicable base zone standards in Chapter 19.300.

Response: As shown in Sections 2 and 3 of this application, all base zone standards for the Open Space zone are met; therefore this criterion is achieved.

B. The proposal complies with all applicable overlay zone and special area standards in Chapter 19.400.

Response: As shown in Section 4 of this application, all development standards for the Natural Resource overlay are met; therefore, this criterion is achieved.

C. The proposal complies with all applicable supplementary development regulations in Chapter 19.500.

Response: Per Table 19.304.2, there are no supplementary development regulations for this site; therefore, this approval criterion is not applicable.

- D. The proposal complies with all applicable off-street parking and loading standards and requirements in Chapter 19.600.**

Response: The site and proposed project represent a nonresidential use in the OS Zone, for which there are no off-street parking requirements; therefore, this criterion is met.

- E. The proposal complies with all applicable public facility standards and requirements, including any required street improvements, in Chapter 19.700.**

Response: Per Subsection 19.702.1 – Applicability, this project is not subject to the requirements of Chapter 19.700; therefore, this criterion is not applicable.

- F. The proposal complies with all applicable conditions of any land use approvals for the proposal issued prior to or concurrent with the development review application. (Ord. 2161 § 2, 2018; Ord. 2036 § 3, 2011; Ord. 2025 § 2, 2011)**

Response: As discussed in the pre-application process, this project is subject to a Natural Resource Review process. As demonstrated in Section 4 of this application, all applicable conditions of that review are met. Therefore, this criterion is achieved.

Milwaukie Parks Land Use Planning
and Permitting

Scott Park Application

Exhibit A – 30% Design Drawings

Milwaukie Parks Land Use Planning
and Permitting

Scott Park Application

Exhibit B – Materials Plan

Milwaukie Parks Land Use Planning
and Permitting

Scott Park Application

Exhibit C – Erosion Control and
Construction Plan

EROSION PREVENTION AND SEDIMENT CONTROL (ECS) NOTES:

- ALL EROSION PREVENTION MEASURES SHALL BE IN PLACE, FUNCTIONAL, AND APPROVED IN ACCORDANCE WITH THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. ALL SOIL DISTURBING AND CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH MMC CHAPTER 16.03 EROSION CONTROL AND ANY APPLICABLE LOCAL, STATE OR FEDERAL REQUIREMENTS.
- ALTERNATIVE SEDIMENT CONTROLS MUST PROVIDE A DISCHARGE THAT IS CLEAN AND FREE OF SEDIMENT, SURFACTANTS, AND OTHER POLLUTANTS PRIOR TO ENTERING THE STORM SYSTEM. APPROVAL OF ALTERNATIVE SEDIMENT CONTROLS BY THE CITY OF MILWAUKEE WASTEWATER DIVISION MANAGER IS REQUIRED PRIOR TO INSTALLATION.
- WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES SHALL BE DEVELOPED, MAINTAINED, AND IMPLEMENTED ON THE CONSTRUCTION SITE.
- DUMPING OR DISPOSAL OF SPOIL MATERIALS INTO ANY STREAM CORRIDOR, WETLANDS, SURFACE WATERS OR ON ANY PUBLIC OR PRIVATE PROPERTY NOT SPECIFIED FOR SAID PURPOSE IS PROHIBITED.
- SEDIMENT AND POLLUTANTS SHALL NOT BE WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES. DRY SWEEPING SHALL BE IMPLEMENTED TO CLEAN UP CONSTRUCTION AREAS TO PREVENT RELEASE OF SEDIMENTS INTO THE STORM SYSTEM.
- DISPOSAL OF SEDIMENT LADEN WATER INTO THE WASTEWATER SYSTEM IS PROHIBITED, UNLESS PRIOR WRITTEN APPROVAL IS RECEIVED FROM THE CITY OF MILWAUKEE WASTEWATER DIVISION MANAGER. SEDIMENT LADEN WATER SHALL BE PUMPED THROUGH AN APPROVED SEDIMENT CONTROL BMP PRIOR TO DISPOSAL INTO THE WASTEWATER SYSTEM.
- SAWCUTTING SLURRY AND DEBRIS SHALL BE VACUUMED AND REMOVED FROM ALL IMPERVIOUS SURFACES. VACUUMED SAWCUTTING SLURRY SHALL BE PROPERLY DISPOSED OF AND NOT DISCHARGED INTO THE STORM SYSTEM.
- WATER TIGHT TRUCKS SHALL BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE.
- TEMPORARY STABILIZATION AND COVERING OF SOIL STOCKPILES SHALL OCCUR AT THE END OF EACH WORK DAY.
- ALL TOXIC OR HAZARDOUS MATERIALS SHALL BE PROPERLY STORED, APPLIED, AND DISPOSED.
- AN AREA SHALL BE DESIGNATED FOR WASHING OUT CONCRETE TRUCKS SUCH THAT RUNOFF FROM WASHING ACTIVITIES ARE CONTAINED AND DO NOT LEAVE THE SITE OR ENTER THE STORM SYSTEM.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE WASHED TO THE STREET OR STORM SYSTEM. SWEEPINGS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN THE TRASH.
- PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUNOFF INTO THE STORM SYSTEM IS PROHIBITED.
- TRACKING OF DIRT AND DEBRIS ONTO IMPERVIOUS SURFACES, SUCH AS STREETS AND PARKING LOTS, IS PROHIBITED. IMPERVIOUS SURFACES SHALL BE KEPT FREE OF DIRT AND DEBRIS AT ALL TIMES IF IT CAN BE SPREAD BY TRAFFIC OR CAN ENTER THE STORM SYSTEM.
- GRAVEL OR DIRT CURB RAMPS ARE PROHIBITED. ONLY WOOD STEP STYLE CURB RAMPS ARE ALLOWED.
- UPON COMPLETION OF SITE RESTORATION AND APPROVAL FROM THE CITY OF MILWAUKEE ENGINEERING DIRECTOR, ALL TEMPORARY EROSION CONTROL MEASURES MAY BE REMOVED.
- DRAINAGE FROM SPRINGS OR GROUNDWATER MUST BE ADDRESSED DURING CONSTRUCTION BY THE CONTRACTOR. DISCHARGE FROM GROUNDWATER ENCOUNTERED ON THE SITE MUST BE CLEAN OF SEDIMENT OR POLLUTANTS.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCH, OR OTHER APPROVED MEASURES.
- DATES OF IMPLEMENTATION OF WET WEATHER MEASURES ARE OCTOBER 1ST TO APRIL 30TH.
- MATERIALS SHALL NOT BE STOCKPILED ON PUBLIC STREETS OR IN THE RIGHT OF WAY FOR LONGER THAN IMMEDIATE USE.



Project: Scott Park, Balfour Park, & Bowman Brae Park
City of Milwaukee
1000 North
Milwaukee, WI 53212
503.786.7535

Submit: Design Development
Sheet Title: Scott Park
CONSTRUCTION ACCESS & EROSION CONTROL PLAN

© GREENWORKS, P.C. ALL RIGHTS RESERVED.

THIS DOCUMENT AND THE PROPERTY OF GREENWORKS, P.C. REMAINS THE SOLE PROPERTY OF GREENWORKS, P.C. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GREENWORKS, P.C.

Date: 04/11/2023

Revisions:

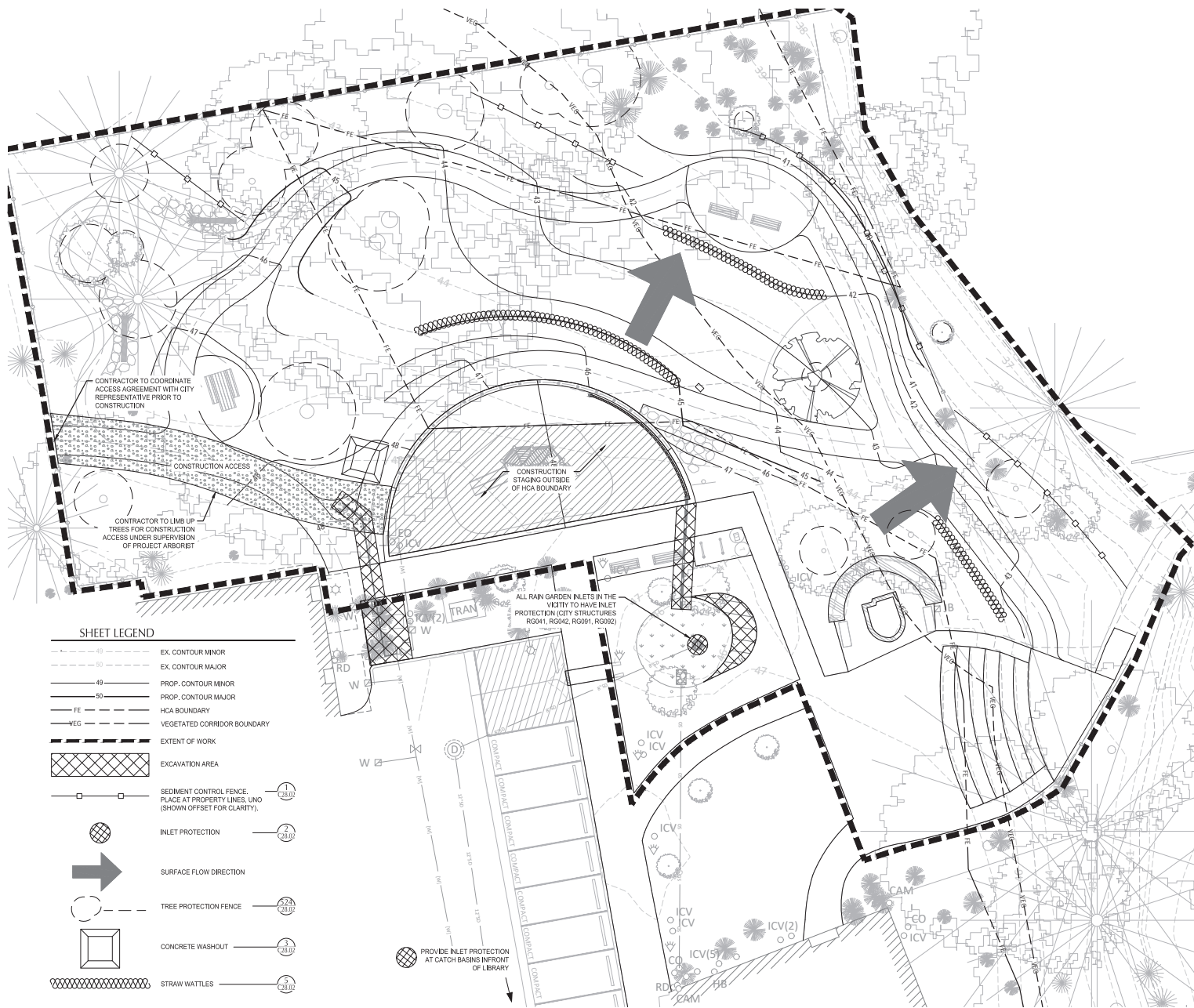
Drawn By: CK/RC

Checked By: JZ

Job No: 210234.1

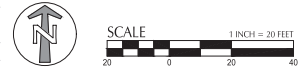
Approved: CV

C3.01
Sheet No. 7 of 52



SHEET LEGEND

---	40	EX. CONTOUR MINOR
---	50	EX. CONTOUR MAJOR
---	40	PROP. CONTOUR MINOR
---	50	PROP. CONTOUR MAJOR
---	FE	HCA BOUNDARY
---	VEG	VEGETATED CORRIDOR BOUNDARY
---		EXTENT OF WORK
[Cross-hatch]		EXCAVATION AREA
[Line with square]		SEDIMENT CONTROL FENCE, PLACE AT PROPERTY LINES, UNO (SHOW OFFSET FOR CLARITY)
[Circle with cross]		INLET PROTECTION
[Arrow]		SURFACE FLOW DIRECTION
[Dashed circle]		TREE PROTECTION FENCE
[Square]		CONCRETE WASHOUT
[Wavy line]		STRAW WATTLES



Milwaukie Parks Land Use Planning
and Permitting

Scott Park Application

Exhibit D – Stormwater Drainage
Report – Scott, Bowman-Brae and
Balfour Parks

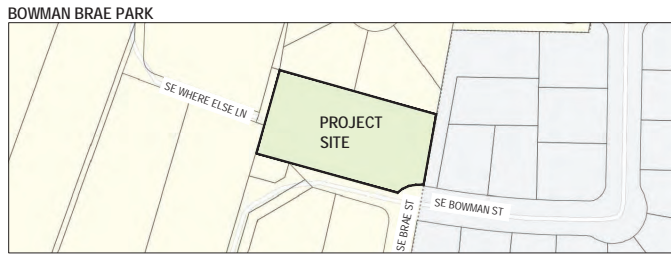
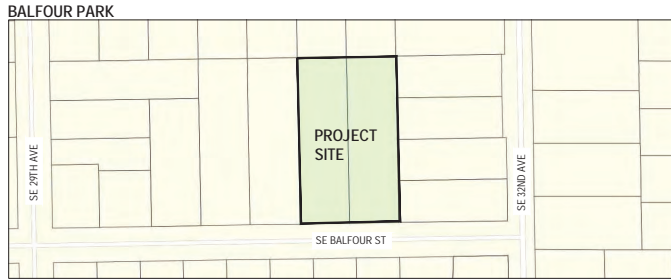
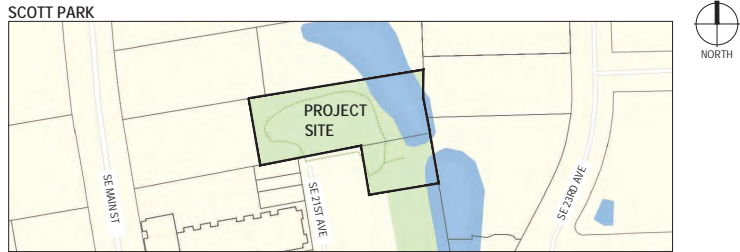
PROJECT DESCRIPTION

SCOTT PARK: LOCATED AT 10660 SE 21ST AVE. AND DEFINED BY LEDDING LIBRARY TO THE SOUTH, POND TO THE EAST AND ADJACENT DEVELOPMENTS AND PARKING AREAS TO THE NORTH AND WEST. TOTAL SITE AREA IS 20,400 SF. THE EXISTING PATH AND PART OF THE LAWN WILL BE DEMOLISHED FOR THE PLANNED SITE FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, POND OVERLOOK AND OTHER AMENITIES. THE EXISTING PARKING, SIDEWALK, AMPHITHEATER AND WAR MEMORIAL WILL REMAIN.

BALFOUR PARK: LOCATED AT 3039 SE BALFOUR ST. AND DEFINED BY SE BALFOUR ST TO THE SOUTH, AND RESIDENTIAL PROPERTIES TO THE EAST, WEST AND NORTH. THE TOTAL SITE AREA IS 35,600 SF. LOW-IMPACT CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, NATURE PLAY FEATURES, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

BOWMAN BRAE PARK: LOCATED AT 4267 SE BOWMAN ST. AND DEFINED BY SE BOWMAN ST TO THE SOUTH, PRIVATE DRIVE TO THE EAST AND ADJACENT RESIDENTIAL PROPERTIES TO THE NORTH AND WEST. TOTAL SITE AREA IS 30,000 SF. CLEARING AND REGRADING, AND SELECTIVE TREE REMOVAL WILL ALLOW FOR PROPOSED PARK FEATURES, WHICH INCLUDE A PLAY AREA, WALKING TRAILS, A SHELTER AND OTHER AMENITIES.

VICINITY MAPS

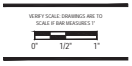


Scott Park, Balfour Park, & Bowman Brae Park Milwaukie, OR 97222



SHEET INDEX

SHEET #	SHEET TITLE	SHEET COUNT	SHEET #	SHEET TITLE	SHEET COUNT
ALL PARKS					
G0.00	COVER SHEET & SHEET INDEX	01	C22.00	UTILITY PLAN	34
G0.01	GENERAL NOTES AND ABBREVIATIONS	02	C22.01	FRONTAGE IMPROVEMENTS	35
SCOTT PARK					
L1.01	EXISTING CONDITIONS PLAN	03	C22.02	EROSION CONTROL PLAN AND DETAILS	36
L2.01	TREE PROTECTION PLAN	04	L22.01	MATERIALS NOTES	37
L3.01	DEMOLITION PLAN	05	L22.01	MATERIALS PLAN	38
BALFOUR PARK					
C3.00	UTILITY PLAN	06	L23.01	LAYOUT PLAN	39
C3.01	EROSION CONTROL PLAN AND DETAILS	07	L24.01	GRADING PLAN	40
BOWMAN BRAE PARK					
L4.00	MATERIALS NOTES	08	L25.00	IRRIGATION SCHEDULE AND NOTES	41
L4.01	MATERIALS PLAN	09	L25.01	IRRIGATION PLAN	42
L5.01	LAYOUT PLAN	10	L26.00	PLANT SCHEDULE AND NOTES	43
L6.01	GRADING PLAN	11	L26.01	PLANTING PLAN	44
L7.00	IRRIGATION SCHEDULE AND NOTES	12	L27.01	SITE SECTIONS	45
L7.01	IRRIGATION PLAN	13	ALL PARKS		
L8.00	PLANT SCHEDULE AND NOTES	14	C28.01	CIVIL DETAILS	46
L8.01	PLANTING PLAN	15	C28.02	CIVIL DETAILS	47
L9.01	SITE SECTIONS	16	L28.01	SITE DETAILS	48
BALFOUR PARK					
L10.01	EXISTING CONDITIONS PLAN	17	L28.02	SITE DETAILS	49
L11.01	TREE PROTECTION PLAN	18	L29.01	IRRIGATION DETAILS	50
L12.01	DEMOLITION PLAN	19	L29.02	IRRIGATION DETAILS	51
BOWMAN BRAE PARK					
C13.00	UTILITY PLAN	20	L30.01	PLANTING DETAILS	52
C13.01	EROSION CONTROL PLAN AND DETAILS	21			
L13.00	MATERIALS NOTES	22			
L13.01	MATERIALS PLAN	23			
L14.01	LAYOUT PLAN	24			
L15.01	GRADING PLAN	25			
L16.00	IRRIGATION SCHEDULE AND NOTES	26			
L16.01	IRRIGATION PLAN	27			
L17.00	PLANT SCHEDULE AND NOTES	28			
L17.01	PLANTING PLAN	29			
L18.01	SITE SECTIONS	30			
BALFOUR PARK					
L19.01	EXISTING CONDITIONS PLAN	31			
L20.01	TREE PROTECTION PLAN	32			
L21.01	DEMOLITION PLAN	33			



Project: Scott Park, Balfour Park, & Bowman Brae Park
City of Milwaukie
Milwaukie, OR 97222
503.786.7535

Submital: Design Development
Sheet Title: Cover

PROJECT DIRECTORY

OWNER / CONTACT	LANDSCAPE ARCHITECT	CIVIL ENGINEER	SITE SURVEY	ARBORIST
CITY OF MILWAUKIE 1022 SE MAIN ST MILWAUKIE, OR 97222 PROJECT CONTACT: Adam Moore PHONE: 503-786-7624 EMAIL: moorea@milwaukieoregon.gov	GREENWORKS, P.C. 110 SE MAIN ST, SUITE 100 PORTLAND, OR 97214 PROJECT CONTACT: Ben Johnson PHONE: 503-222-5612 EMAIL: benj@greenworksdc.com	KPFF 111 SW 5TH AVE, SUITE 2400 PORTLAND, OR 97204 PROJECT CONTACT: Jessica Zink PHONE: 503-542-3860 EMAIL: jessica.zink@kpff.com	KPFF 111 SW 5TH AVE, SUITE 2400 PORTLAND, OR 97204 PROJECT CONTACT: John R. Davis PHONE: 503-542-3860 EMAIL: john.davis@kpff.com	TERAGAN & ASSOCIATES 3145 WESTVIEW CIRCLE LAKE OSWEGO, OR 97034 PROJECT CONTACT: Terence P. Flanagan PHONE: 503-697-1975 EMAIL: terry@teragan.com

SUBMITTAL

30% CONSTRUCTION DOCUMENTS
ISSUE DATE: APRIL 11, 2023
REVISION DATE:

© GREENWORKS, P.C. ALL RIGHTS RESERVED.

THESE DRAWINGS ARE THE PROPERTY OF GREENWORKS, P.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GREENWORKS, P.C.

Date:	04/11/2023
Revisions:	
Drawn By:	GM/VC
Checked By:	BJ/GM
Job No.:	210234.1
Approved:	GW

G0.00
Sheet No. 01 of 52

C:\PROJECTS\2023\1.MILWAUKIE_PARKS\DC_30%CONSTRUCTION_DOCUMENTS\CADD\PILOT_SHEETS\ALL_PARKS\2023\1.COVER.DWG

GENERAL NOTES

- ALL WORK PERFORMED IN CONNECTION WITH THE CONTRACT DOCUMENTS, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, PRACTICES AND REQUIREMENTS OF THE APPLICABLE FEDERAL, STATE AND LOCAL AUTHORITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH ALL CONSTRUCTION ACTIVITIES. THE LOCATIONS AND IDENTIFICATION OF UTILITIES WITHIN THIS DOCUMENT IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. ANY DISCREPANCIES BETWEEN SURVEY INFORMATION AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT SHALL BE UNDERSTOOD THAT THE IMPROVEMENTS SHOWN ON THE DRAWINGS AND SPECIFICATIONS ARE MEANT TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. MODIFICATIONS, CONFLICTS, OR ISSUES THAT ARISE THAT WOULD CONTRADICT RELEVANT CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- COMPLY WITH OREGON LAW REQUIRING ADHERENCE TO THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. NOTIFY THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. PHONE CONTACT FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344 (or 811).
- REPAIR AT OWN EXPENSE ANY DAMAGE DONE TO UTILITY SYSTEMS, SURFACE PAVEMENTS, SITE FEATURES, AND STRUCTURES, WHETHER INSIDE OR OUTSIDE OF THE PROJECT LIMITS, THAT ARE NOT DIRECTLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION.
- ALL QUANTITIES SHOWN ON THE DRAWINGS OR SPECIFICATIONS ARE FOR CONVENIENCE ONLY.
- UPON PROJECT COMPLETION, THE PROJECT AREA AND ADJACENT SPACES SHALL BE FREE AND CLEAR OF ALL CONSTRUCTION MATERIALS, WASTE AND DEBRIS. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL MATERIALS AS INDICATED IN THE PROJECT CONTRACT DOCUMENTS AND MUST MEET ALL APPLICABLE REGULATIONS OVERSEEING WASTE DISPOSAL.

GENERAL LEGEND

SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		BUILDING OUTLINE WITH DOOR
	SIGN		CONCRETE SURFACE
	BOLLARD		ASPHALT SURFACE
	BIKE RACK		WALL
	ROOF DRAIN		BUILDING OVERHANG
	ELECTRICAL JUNCTION BOX		CURB LINE
	ELECTRICAL METER		EDGE OF ASPHALT
	ELECTRICAL OUTLET		ELECTRICAL LINE
	ELECTRICAL CABINET		STORM LINE
	ELECTRICAL SWITCH		WATER LINE
	ELECTRICAL VAULT		EDGE OF WATER
	TRANSFORMER		CHAIN LINK FENCE
	LUMINAIRE		WOOD FENCE
	GROUND FLOOD LIGHT		MAJOR CONTOUR
	OVERHEAD LIGHT		MINOR CONTOUR
	STORM MANHOLE WITH STRUCTURE		DECIDUOUS TREE
	SANITARY/STORM CLEAN OUT		CONIFEROUS TREE
	SANITARY STORM STRUCTURE		SHRUB
	WATER VALVE		HOSE BIB
	FIRE HYDRANT		IRRIGATION CONTROL VALVE
	WATER METER		PROJECT CONTROL POINT

TABLE OF ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS REFERENCED IN DRAWINGS. ABBREVIATIONS MAY BE SHOWN WITH OR WITHOUT PERIODS.

@	ALUM	ALUMINUM	MIN	MINIMUM
APPROX	APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCH	ARCHITECT	NIC	NOT IN CONTRACT
AC	AC	ASPHALT CONCRETE	NOM	NOMINAL
BC	BC	BOTTOM OF CURB	NPS	NOMINAL PIPE SIZE
B&B	B&B	BALLED AND BURLAP	NTS	NOT TO SCALE
BLDG	BLDG	BUILDING	OH	OVER HEAD
BM	BM	BENCHMARK	OC	ON CENTER
BPRD	BPRD	BEND PARKS & RECREATION DISTRICT	OD	OUTSIDE DIAMETER
BS	BS	BOTTOM OF STAIR	OCFI	OWNER FURNISHED CONTRACTOR INSTALLED
BR	BR	BOTTOM OF RAMP	PA	PLANTING AREA
BOW	BOW	BOTTOM OF WALL (ELEV. BELOW FINISH GRADE)	PC	POINT OF CURVATURE
BW	BW	BOTTOM OF WALL (ELEV. AT FINISH GRADE)	PCC	POINT OF COMPOUND CURVATURE / PORTLAND CEMENT CONCRETE
CB	CB	CATCH BASIN	PI	POINT OF INTERSECTION
CF	CF	CUBIC FEET	PIP	POURED-IN-PLACE
CAL	CAL	CALIPER	PL	PLATE
CJ	CJ	CONTRACTION JOINT	PLS	PURE LIVE SEED
CLR	CLR	CLEAR	POT	POINT OF TANGENCY
CIP	CIP	CAST-IN-PLACE	PT	PRESSURE TREATED
CONT	CONT	CONTAINER / CONTINUOUS	PERF	PERFORATED
CL / &	CL / &	CENTER LINE	PK	POINT KNOWN
CP	CP	CENTER POINT	PP	POWER POLE
CT	CT	CURRENT TRANSFORMER	PVC	POLYVINYL CHLORIDE PIPE
DM	DM	DIMENSION	R	RADIUS
DIA	DIA	DIAMETER	REF	REFERENCE
DEMO	DEMO	DEMOLISH	REINF	REINFORCED / REINFORCEMENT
DOM	DOM	DOMESTIC WATER LINE	REQ'D	REQUIRED
(E)	(E)	EXISTING	ROW	RIGHT-OF-WAY
EA	EA	EACH	RPZ	ROOT PROTECTION ZONE
EJ	EJ	EXPANSION JOINT	RT	RIGHT
ELC	ELC	EXTERIOR LIGHTING CONTROL	SAN	SANITARY
ELEV	ELEV	ELEVATION	SD	STORM DRAIN
ENG	ENG	ENGINEER	SEC	SECONDARY
EOP	EOP	EDGE OF PAVEMENT	SM	SMILAR
EQ	EQ	EQUAL	SS	SANITARY SEWER
EST	EST	ESTIMATE	SSTL	STAINLESS STEEL
FB	FB	FLAT BAR	STA	STATION
FD	FD	FIELD DRAIN	STD	STANDARD
FG	FG	FINISH GRADE	STR	STRUCTURAL
FL	FL	FLOW LINE	TD	TRENCH DRAIN
FOC	FOC	FACE OF CURB	TEL	TELEPHONE
FTG	FTG	FOOTING	THK	THICK
GALV	GALV	GALVANIZED	TOPO	TOPOGRAPHY
GA	GA	GAUGE	TC	TOP OF CURB
GFI	GFI	GROUND FAULT INTERRUPTER	TR	TOP OF RAMP
GB	GB	GROUND BREAK	TS	TOP OF STAIR
GND	GND	GROUND	TPZ	TREE PROTECTION ZONE
HDG	HDG	HOT DIP GALVANIZED	TYP	TYPICAL
HMAC	HMAC	HOT MIX ASPHALT CONCRETE	TW	TOP OF WALL
MHMAC	MHMAC	MINOR HOT MIX ASPHALT CONCRETE	UG	UNDERGROUND
HORIZ	HORIZ	HORIZONTAL	VIF	VERIFY IN FIELD
HP	HP	HIGH POINT	VAR	VARIES
HSS	HSS	HOLLOW STRUCTURAL SECTION	VC	VERTICAL CURVE
ID	ID	INSIDE DIAMETER	VOL	VOLUME
IE	IE	INVERT ELEVATION	W	WITH
INT	INT	INTERMEDIATE	WO	WITHOUT
IR	IR	IRON ROD	WM	WATER METER
JT	JT	JOINT	WP	WORK POINT
LT	LT	LEFT	WT	WEIGHT
LF	LF	LINEAR FEET	WWM	WELDED WIRE MESH
LP	LP	LOW POINT	YD	YARD
MAX	MAX	MAXIMUM		

SYMBOLS LEGEND

SYMBOL	ITEM
XXX	LEADER LABEL
TYP (X)	REFERENCE KEYNOTE
XXX (X / LX.XX)	DETAIL REFERENCE
(X / LX.XX)	ELEVATION DETAIL REFERENCE
(X / LX.XX)	SECTION DETAIL REFERENCE
(X)	SECTION REFERENCE (WITHIN DETAIL)
(X)	ELEVATION REFERENCE (WITHIN DETAIL)
(X / LX.XX)	ENLARGEMENT REFERENCE
1'-0"	LINEAR DIMENSION
R-3"	RADIUS DIMENSION
90°	ANGLE DIMENSION
MATCHLINE SEE SHEET LX.XX	SHEET MATCHLINE
SCALE: 1" = 10'-0"	SCALE BAR
NORTH	NORTH ARROW
REVISION TRIANGLE AND CLOUD	REVISION TRIANGLE AND CLOUD
LIMIT OF WORK	LIMIT OF WORK LINE



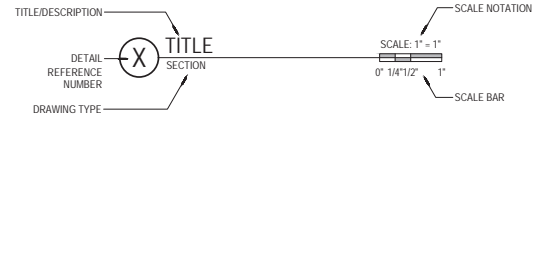
SITE DETAIL KEYNOTE SYSTEM LEGEND

SITE DETAIL KEYNOTES			
KEYNOTE CATEGORY HEADING NUMBER AND TITLE	NUMBER	ITEM	SPEC SECTION
1.0	PAVING / CURBS / RAMPS		
	1.1	XX / LX.XX	000000
	1.2	XX / LX.XX	000000
	1.3	XX / LX.XX	000000
	1.4	XX / LX.XX	000000
	1.5	XX / LX.XX	000000
	1.6	XX / LX.XX	000000

THE FOLLOWING KEYNOTE CATEGORIES HAVE BEEN PROPOSED IN THIS PROJECT:

- 1.0 PAVING / CURBS / RAMPS
- 2.0 JOINTING
- 3.0 STAIRS
- 4.0 WALLS
- 5.0 SITE FURNISHINGS
- 6.0 RAILINGS
- 7.0 DRAINAGE
- 8.0 IRRIGATION
- 9.0 PLANTING
- 10.0 PLAY
- 11.0 LIGHTING

DETAIL FRAME LEGEND



Project: Scott Park, Balfour Park, & Bowman Brae Park
 City of Milwaukee
 Milwaukee, WI 53222
 502.786.7535

Submital: Design Development

General Legend, Notes, and Abbreviations

© GREENWORKS, P.C. ALL RIGHTS RESERVED.
 THESE DRAWINGS ARE THE PROPERTY OF GREENWORKS, P.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 Date: 04/11/2023
 Revisions:

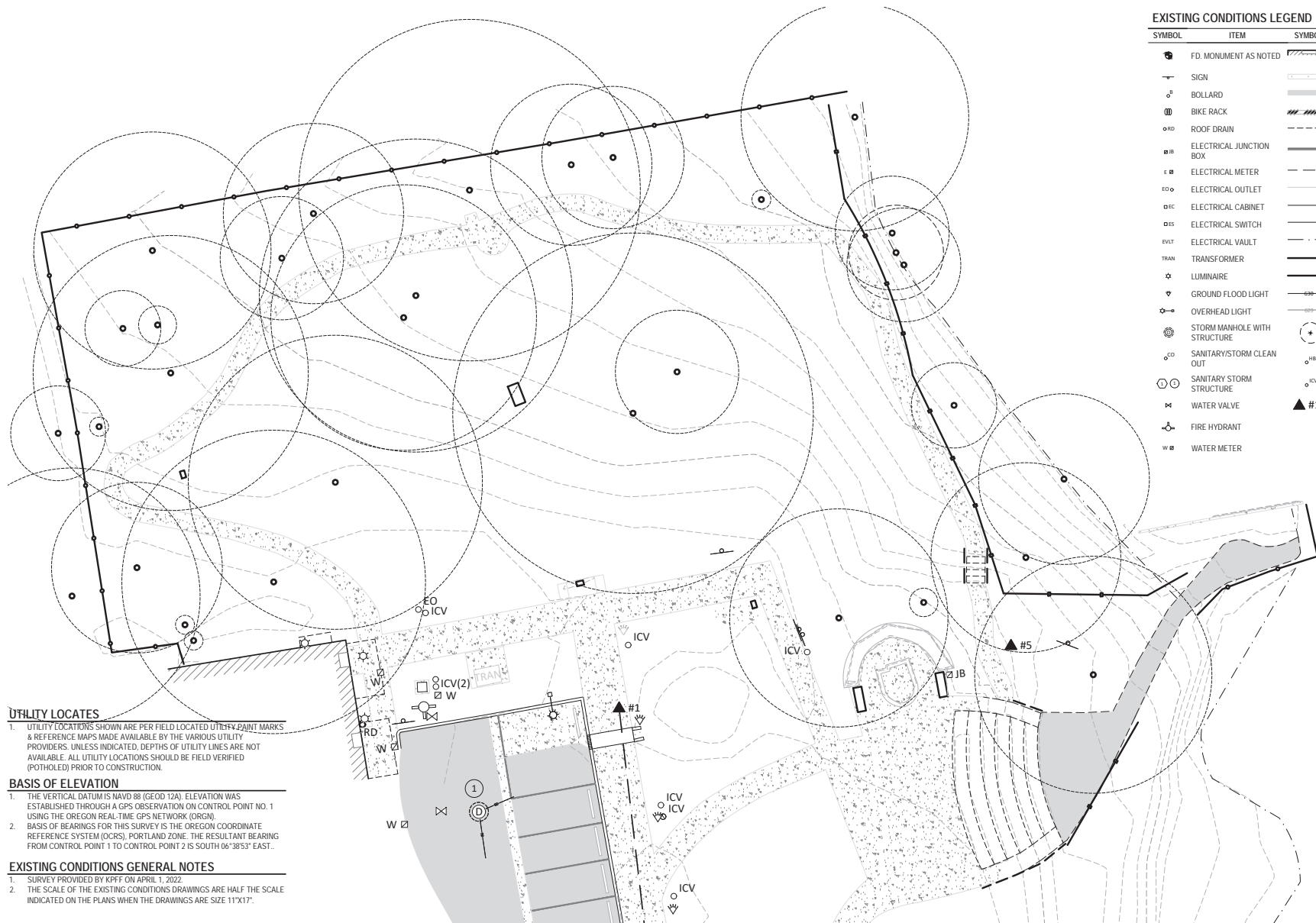
Drawn By: GMYC
 Checked By: BJ/GM
 Job No: 210234.1
 Approved: GW

C:\PROJECTS\210234.1\MILWAUKIE_PARKS\02_GENERAL_LEGEND_NOTES_AND_ABBREVIATIONS.dwg (PLOT SHEETS) ALL PANS/STANDARD CONDITIONS



EXISTING CONDITIONS LEGEND

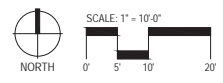
SYMBOL	ITEM	SYMBOL	ITEM
	FD. MONUMENT AS NOTED		BUILDING OUTLINE WITH DOOR
	SIGN		CONCRETE SURFACE
	BOLLARD		ASPHALT SURFACE
	BIKE RACK		WALL
	ROOF DRAIN		BUILDING OVERHANG
	ELECTRICAL JUNCTION BOX		CURB LINE
	ELECTRICAL METER		EDGE OF ASPHALT
	ELECTRICAL OUTLET		ELECTRICAL LINE
	ELECTRICAL CABINET		STORM LINE
	ELECTRICAL SWITCH		WATER LINE
	ELECTRICAL VAULT		EDGE OF WATER
	TRANSFORMER		CHAIN LINK FENCE
	LUMINAIRE		WOOD FENCE
	GROUND FLOOD LIGHT		MAJOR CONTOUR
	OVERHEAD LIGHT		MINOR CONTOUR
	STORM MANHOLE WITH STRUCTURE		EXISTING TREE
	SANITARY/STORM CLEAN OUT		HOSE BIB
	SANITARY STORM STRUCTURE		IRRIGATION CONTROL VALVE
	WATER VALVE		PROJECT CONTROL POINT
	FIRE HYDRANT		
	WATER METER		



UTILITY LOCATES
1. UTILITY LOCATIONS SHOWN ARE PER FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.

BASIS OF ELEVATION
1. THE VERTICAL DATUM IS NAVD 88 (GEOID 12A). ELEVATION WAS ESTABLISHED THROUGH A GPS OBSERVATION ON CONTROL POINT NO. 1 USING THE OREGON REAL-TIME GPS NETWORK (ORGN).
2. BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON COORDINATE REFERENCE SYSTEM (OCRS), PORTLAND ZONE. THE RESULTANT BEARING FROM CONTROL POINT 1 TO CONTROL POINT 2 IS SOUTH 06°38'53" EAST.

EXISTING CONDITIONS GENERAL NOTES
1. SURVEY PROVIDED BY KPFF ON APRIL 1, 2022.
2. THE SCALE OF THE EXISTING CONDITIONS DRAWINGS ARE HALF THE SCALE INDICATED ON THE PLANS WHEN THE DRAWINGS ARE SIZE 11"x17".



Project: Scott Park, Balfour Park, & Bowman Brae Park
City of Milwaukie
11000 NE Milwaukie Blvd
Milwaukie, OR 97222
503.786.7535

Submital: Design Development
Sheet Title: Scott Park : Existing Conditions Plan

© GREENWORKS, P.C. 2022. ALL RIGHTS RESERVED.
THESE DRAWINGS AND THE PROPERTY OF GREENWORKS, P.C. ARE THE PROPERTY OF GREENWORKS, P.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GREENWORKS, P.C.

Date: 04/11/2023
Revisions:

Drawn By: GMYC
Checked By: BJ/GM
Job No: 210234.1
Approved: GW

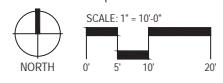
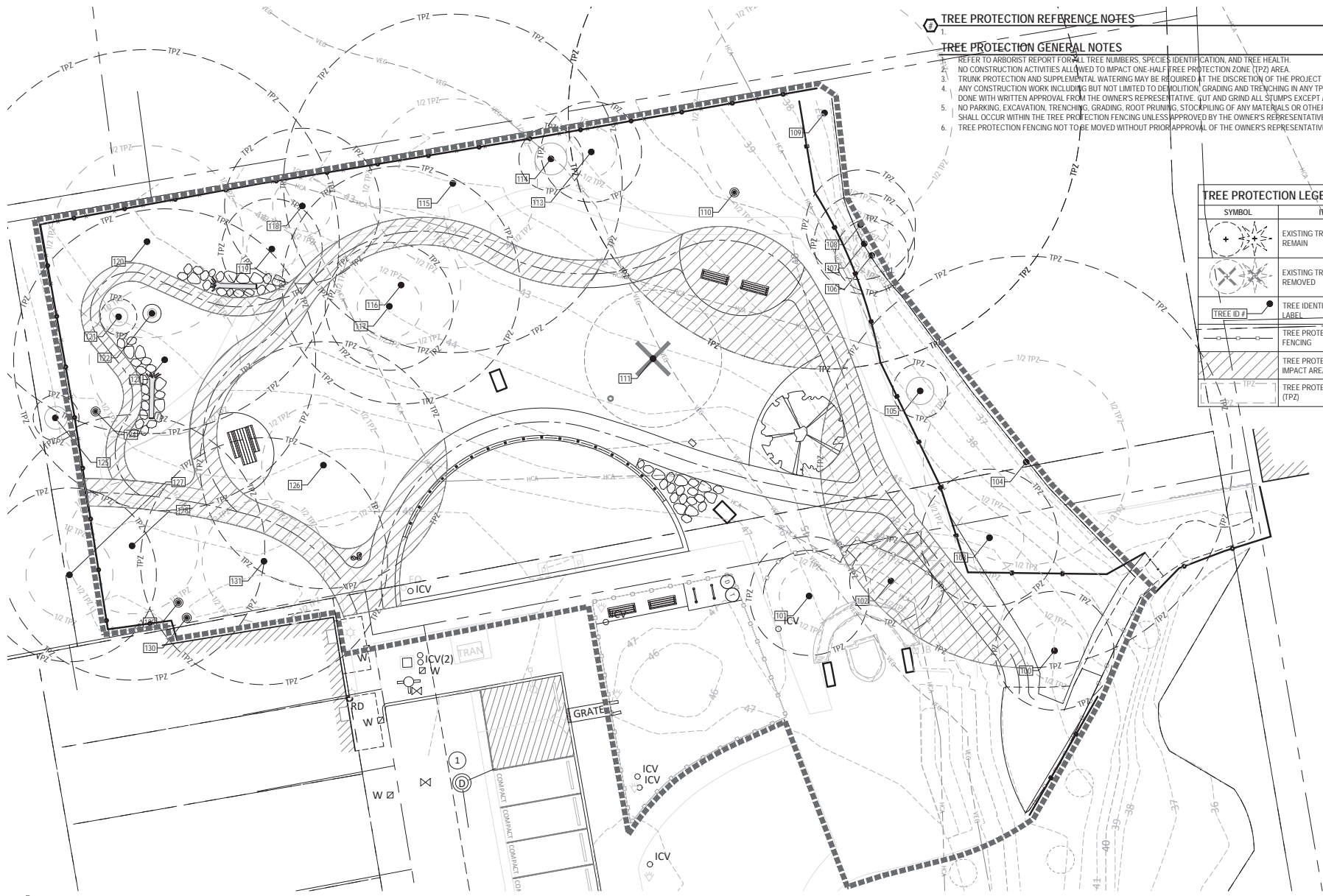
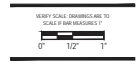
© PROJECTS 102234.1, MILWAUKIE PARKS, CITY OF MILWAUKIE, PROJECT NUMBER: 210234.1, SCOTT PARK, CITY OF MILWAUKIE, PROJECT NUMBER: 210234.1, SCOTT PARK, CITY OF MILWAUKIE, PROJECT NUMBER: 210234.1

TREE PROTECTION REFERENCE NOTES

TREE PROTECTION GENERAL NOTES

1. REFER TO ARBORIST REPORT FOR ALL TREE NUMBERS, SPECIES IDENTIFICATION, AND TREE HEALTH.
2. NO CONSTRUCTION ACTIVITIES ALLOWED TO IMPACT ONE-HALF TREE PROTECTION ZONE (TPZ) AREA.
3. TRUNK PROTECTION AND SUPPLEMENTAL WATERING MAY BE REQUIRED AT THE DISCRETION OF THE PROJECT ARBORIST.
4. ANY CONSTRUCTION WORK INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING AND TRENCHING IN ANY TPZ SHALL ONLY BE DONE WITH WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE. CUT AND GRIND ALL STUMPS EXCEPT AS NOTED.
5. NO PARKING, EXCAVATION, TRENCHING, GRADING, ROOT PRUNING, STOCKPILING OF ANY MATERIALS OR OTHER ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION FENCING UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
6. TREE PROTECTION FENCING NOT TO BE MOVED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.

TREE PROTECTION LEGEND	
SYMBOL	ITEM
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	TREE IDENTIFICATION LABEL
	TREE PROTECTION FENCING
	TREE PROTECTION ZONE IMPACT AREA
	TREE PROTECTION ZONE (TPZ)



C:\PRODUCTS\210234.1\MILWAUKEE_PARKS\04_TREE_PROTECTION_PLAN\SCOTT_PARK\04_TREE_PROTECTION_PLAN.dwg

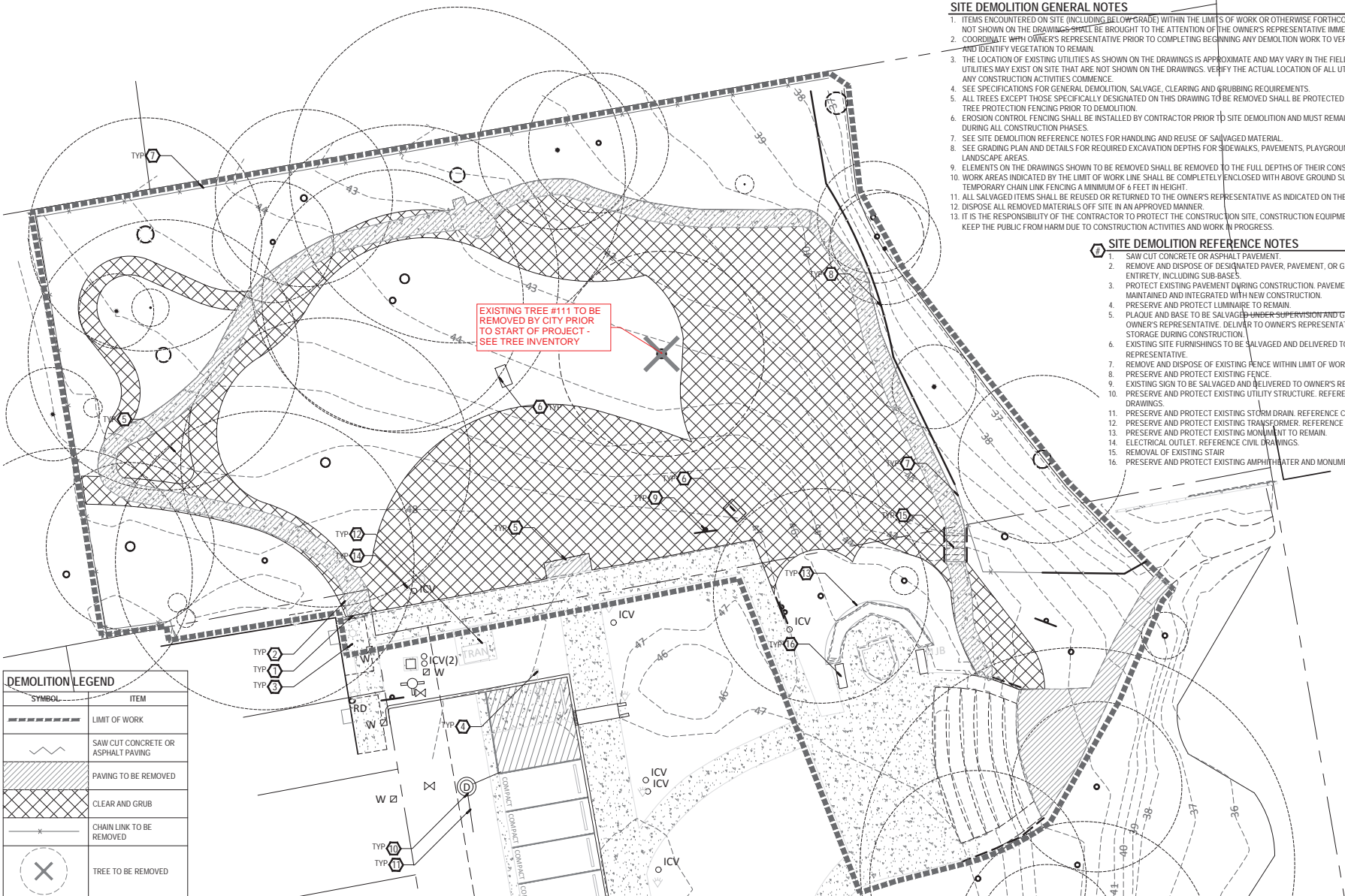
SITE DEMOLITION GENERAL NOTES

- ITEMS ENCOUNTERED ON SITE (INCLUDING BELOW-GRADE) WITHIN THE LIMITS OF WORK OR OTHERWISE FORTHCOMING WORK AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO COMPLETING BEGINNING ANY DEMOLITION WORK TO VERIFY WORK LIMITS AND IDENTIFY VEGETATION TO REMAIN.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS IS APPROXIMATE AND MAY VARY IN THE FIELD. ADDITIONAL UTILITIES MAY EXIST ON SITE THAT ARE NOT SHOWN ON THE DRAWINGS. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.
- SEE SPECIFICATIONS FOR GENERAL DEMOLITION, SALVAGE, CLEARING AND GRUBBING REQUIREMENTS.
- ALL TREES EXCEPT THOSE SPECIFICALLY DESIGNATED ON THIS DRAWING TO BE REMOVED SHALL BE PROTECTED IN-PLACE. ADD TREE PROTECTION FENCING PRIOR TO DEMOLITION.
- EROSION CONTROL FENCING SHALL BE INSTALLED BY CONTRACTOR PRIOR TO SITE DEMOLITION AND MUST REMAIN IN PLACE DURING ALL CONSTRUCTION PHASES.
- SEE SITE DEMOLITION REFERENCE NOTES FOR HANDLING AND REUSE OF SALVAGED MATERIAL.
- SEE GRADING PLAN AND DETAILS FOR REQUIRED EXCAVATION DEPTHS FOR SIDEWALKS, PAVEMENTS, PLAYGROUNDS AND LANDSCAPE AREAS.
- ELEMENTS ON THE DRAWINGS SHOWN TO BE REMOVED SHALL BE REMOVED TO THE FULL DEPTHS OF THEIR CONSTRUCTION.
- WORK AREAS INDICATED BY THE LIMIT OF WORK LINE SHALL BE COMPLETELY ENCLOSED WITH ABOVE GROUND SUPPORTED TEMPORARY CHAIN LINK FENCING A MINIMUM OF 6 FEET IN HEIGHT.
- ALL SALVAGED ITEMS SHALL BE REUSED OR RETURNED TO THE OWNER'S REPRESENTATIVE AS INDICATED ON THE DRAWINGS.
- DISPOSE ALL REMOVED MATERIALS OFF SITE IN AN APPROVED MANNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE CONSTRUCTION SITE, CONSTRUCTION EQUIPMENT, AND TO KEEP THE PUBLIC FROM HARM DUE TO CONSTRUCTION ACTIVITIES AND WORK IN PROGRESS.

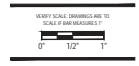
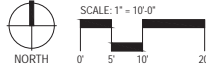
SITE DEMOLITION REFERENCE NOTES

- SAW CUT CONCRETE OR ASPHALT PAVEMENT.
- REMOVE AND DISPOSE OF DISINTEGRATED PAVEMENT, OR GRAVEL IN ITS ENTIRETY, INCLUDING SUB-BASES.
- PROTECT EXISTING PAVEMENT DURING CONSTRUCTION. PAVEMENT TO BE MAINTAINED AND INTEGRATED WITH NEW CONSTRUCTION.
- PRESERVE AND PROTECT LUMBER TO REMAIN.
- PLAQUE AND BASE TO BE SALVAGED UNDER SUPERVISION AND GUIDANCE OF OWNER'S REPRESENTATIVE. DELIVER TO OWNER'S REPRESENTATIVE FOR STORAGE DURING CONSTRUCTION.
- EXISTING SITE FURNISHINGS TO BE SALVAGED AND DELIVERED TO OWNER'S REPRESENTATIVE.
- REMOVE AND DISPOSE OF EXISTING FENCE WITHIN LIMIT OF WORK AREA.
- PRESERVE AND PROTECT EXISTING FENCE.
- EXISTING SIGN TO BE SALVAGED AND DELIVERED TO OWNER'S REPRESENTATIVE.
- PRESERVE AND PROTECT EXISTING UTILITY STRUCTURE. REFERENCE CIVIL DRAWINGS.
- PRESERVE AND PROTECT EXISTING STORM DRAIN. REFERENCE CIVIL DRAWINGS.
- PRESERVE AND PROTECT EXISTING MONUMENT TO REMAIN.
- ELECTRICAL OUTLET. REFERENCE CIVIL DRAWINGS.
- REMOVAL OF EXISTING STAIR.
- PRESERVE AND PROTECT EXISTING AMPHITHEATER AND MONUMENT.

EXISTING TREE #111 TO BE REMOVED BY CITY PRIOR TO START OF PROJECT - SEE TREE INVENTORY



DEMOLITION LEGEND	
SYMBOL	ITEM
	LIMIT OF WORK
	SAW CUT CONCRETE OR ASPHALT PAVING
	PAVING TO BE REMOVED
	CLEAR AND GRUB
	CHAIN LINK TO BE REMOVED
	TREE TO BE REMOVED



CITY OF MILWAUKIE

Project: Scott Park, Balfour Park, & Bowman Brae Park
 City of Milwaukie
 1100 NE Oregon Street
 Milwaukie, OR 97122
 503.786.7535

Submital: Design Development
 Sheet Title - Scott Park : Demolition Plan

© GREENWORKS, P.C. ALL RIGHTS RESERVED.

THIS DRAWING AND THE PROPERTY OF GREENWORKS, P.C. NO PART OF THIS DRAWING OR PROJECT HEREON MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GREENWORKS, P.C.

Date: 06/15/2023

Revisions:

Drawn By: GMYC
 Checked By: BJ/GM
 Job No: 210234.1
 Approved: GW

L3.01
 Sheet No. 05 of 52



110 SE Main St, Suite 100
Portland, OR 97214
Ph: 503.222.5412
Fax: 503.222.2122
Email: info@greenworks.com



SITE MATERIALS KEY NOTES

ITEM	DETAIL /SHEET(S)	SPEC SECTION
1.0 PAVEMENTS, CURBS		
1.1 PERMEABLE CONCRETE PAVING	1/L28.01	
1.2 RUBBER TILE PLAY SURFACING	7/L28.01	
1.3 CONCRETE CURB	8/L28.01	
2.0 JOINTING, STRIPING		
2.1 DOWELED EXPANSION JOINT	2/L28.01	
2.2 CONTRACTION JOINT	2/L28.01	
2.3 DUMMY JOINT	2/L28.01	
3.0 WALLS		
3.1 CONCRETE RETAINING WALL	9/L28.01	
4.0 FENCES		
4.1 SPLIT RAIL FENCE		
4.2 CHAIN LINK FENCE		
4.3 GATE		
5.0 SITE LIGHTING		
5.1 EXISTING LAMP		
6.0 MISCELLANEOUS SITE FEATURES		
6.1 PICNIC TABLE	3/L28.02	
6.2 6' BENCH	1/L28.02	
6.3 BICYCLE RACK	2/L28.02	
6.4 BOULDER		
6.5 RELOCATED PLAQUE		
6.6 INTERPRETIVE SIGN & POST		
6.7 DRINKING FOUNTAIN	4/L28.02	
6.8 PLAY STRUCTURE		

SITE MATERIALS GENERAL NOTES

- REFER TO SHEET L4.00 FOR SITE MATERIALS NOTES AND LEGEND.
- GENERAL MATERIALS NOTES APPLY TO ALL SITE MATERIALS DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE MATERIALS PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.

Project:
Scott Park, Balfour Park,
& Bowman Brae Park

City of Milwaukee
Department of Public Works
Milwaukee, WI 53222
503.786.7535

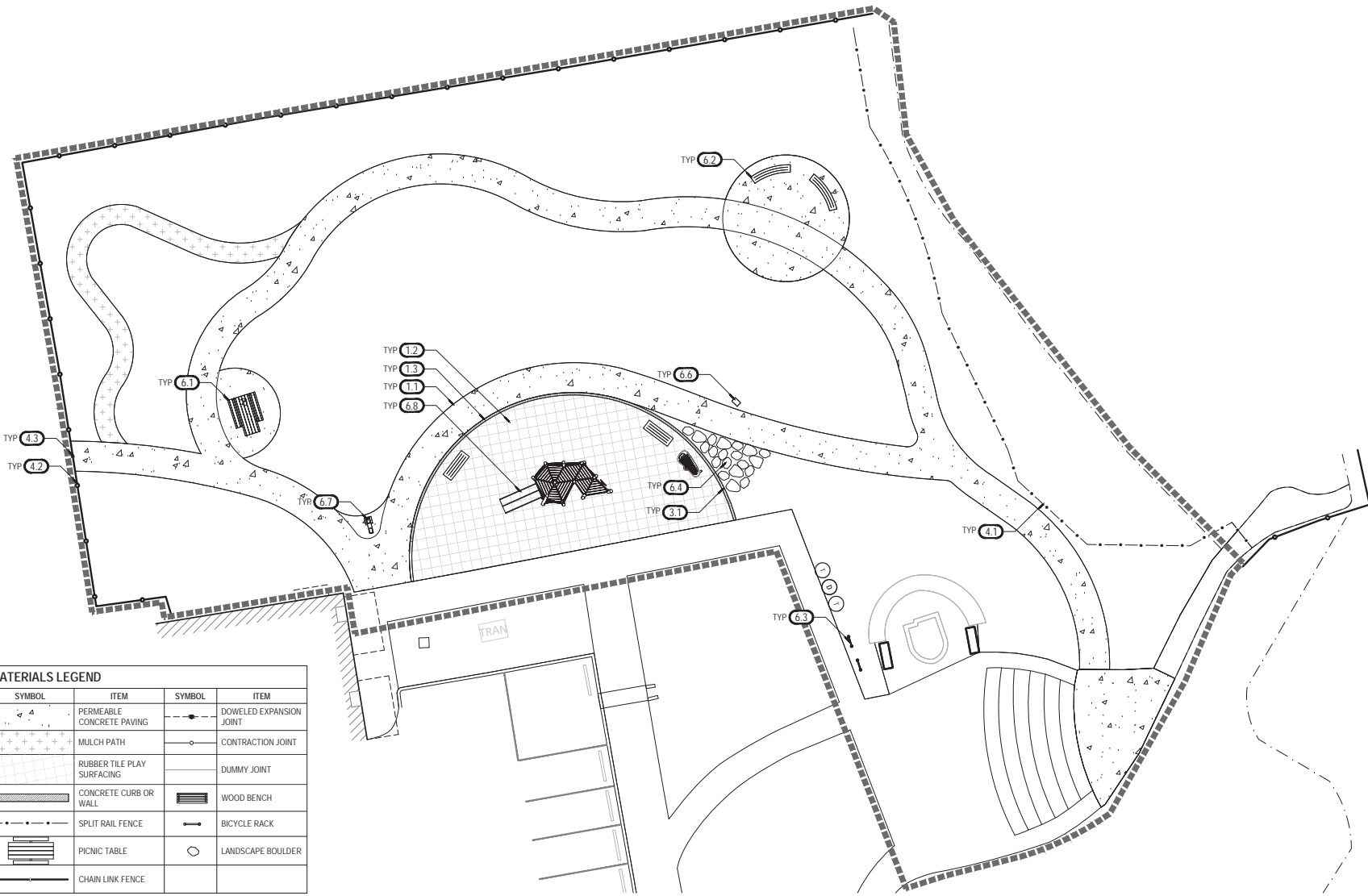
Submital: Design Development
Sheet Title - Scott Park :
Materials Notes

© GREENWORKS, P.C. 2023. ALL RIGHTS RESERVED.
THESE DRAWINGS ARE THE PROPERTY OF GREENWORKS, P.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GREENWORKS, P.C.

Date: 04/11/2023
Revisions:

Drawn By: GMYC
Checked By: BJ/GM
Job No: 210234.1
Approved: GW

L4.00
Sheet No. 08 of 52



MATERIALS LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	PERMEABLE CONCRETE PAVING		DOWELED EXPANSION JOINT
	MULCH PATH		CONTRACTION JOINT
	RUBBER TILE PLAY SURFACING		DUMMY JOINT
	CONCRETE CURB OR WALL		WOOD BENCH
	SPLIT RAIL FENCE		BICYCLE RACK
	PICNIC TABLE		LANDSCAPE BOULDER
	CHAIN LINK FENCE		

C:\PROJECTS\2023\11 MILWAUKIE PARKS\DESIGN DEVELOPMENT SERVICES\PRODUCTION\SCOTT PARK\01_PLOT_SHEETS\DWG\L4.01_MATERIALS.DWG



LANDSCAPE ARCHITECTURE
ENVIRONMENTAL DESIGN
110 SE Main St., Suite 100
Portland, OR 97214
PH: 503.222.5612
FAX: 503.222.2282
Email: info@greenworks.com

SITE LAYOUT REFERENCE NOTES

- MULCH PATH TO BE STAKED IN THE FIELD UNDER LA SUPERVISION.
- PLAY STRUCTURE FINAL DESIGN AND LAYOUT T.B.D.

SITE LAYOUT GENERAL NOTES

- GENERAL LAYOUT NOTES APPLY TO ALL SITE LAYOUT DRAWINGS. NUMBERS IN HEXAGONS REFER TO SITE LAYOUT PLAN REFERENCE NOTES AS SHOWN ON THE PLANS.
- VERIFY ALL DIMENSIONS AND PROJECT LAYOUT PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF MATERIALS; IF LAYOUT CONFLICTS ARISE, CONTACT THE OWNER'S REPRESENTATIVE.
- DIMENSIONS ARE TO FACE OF BUILDING, PAVING, WALLS, AND CURBS, ETC. UNLESS INDICATED OTHERWISE.
- WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE OF PLANS.
- DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF LAYOUT CONFLICTS ARISE IN FIELD, CONTACT OWNER'S REPRESENTATIVE FOR RESOLUTION.
- ALL CURVED WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED.
- CONTRACTOR SHALL STAKE PATHS AND PAVING AREAS. FINAL LAYOUT WILL BE APPROVED BY OWNER'S REPRESENTATIVE.
- OWNER'S REPRESENTATIVE TO APPROVE FORMWORK FOR PATHS PRIOR TO CONTRACTOR PLACING CONCRETE.



Project:
Scott Park, Balfour Park,
& Bowman Brae Park
City of Milwaukee
1000 North
Milwaukee, WI 53212
503.786.7535

Submitted: Design Development
Sheet Title - Scott Park :
Layout Plan

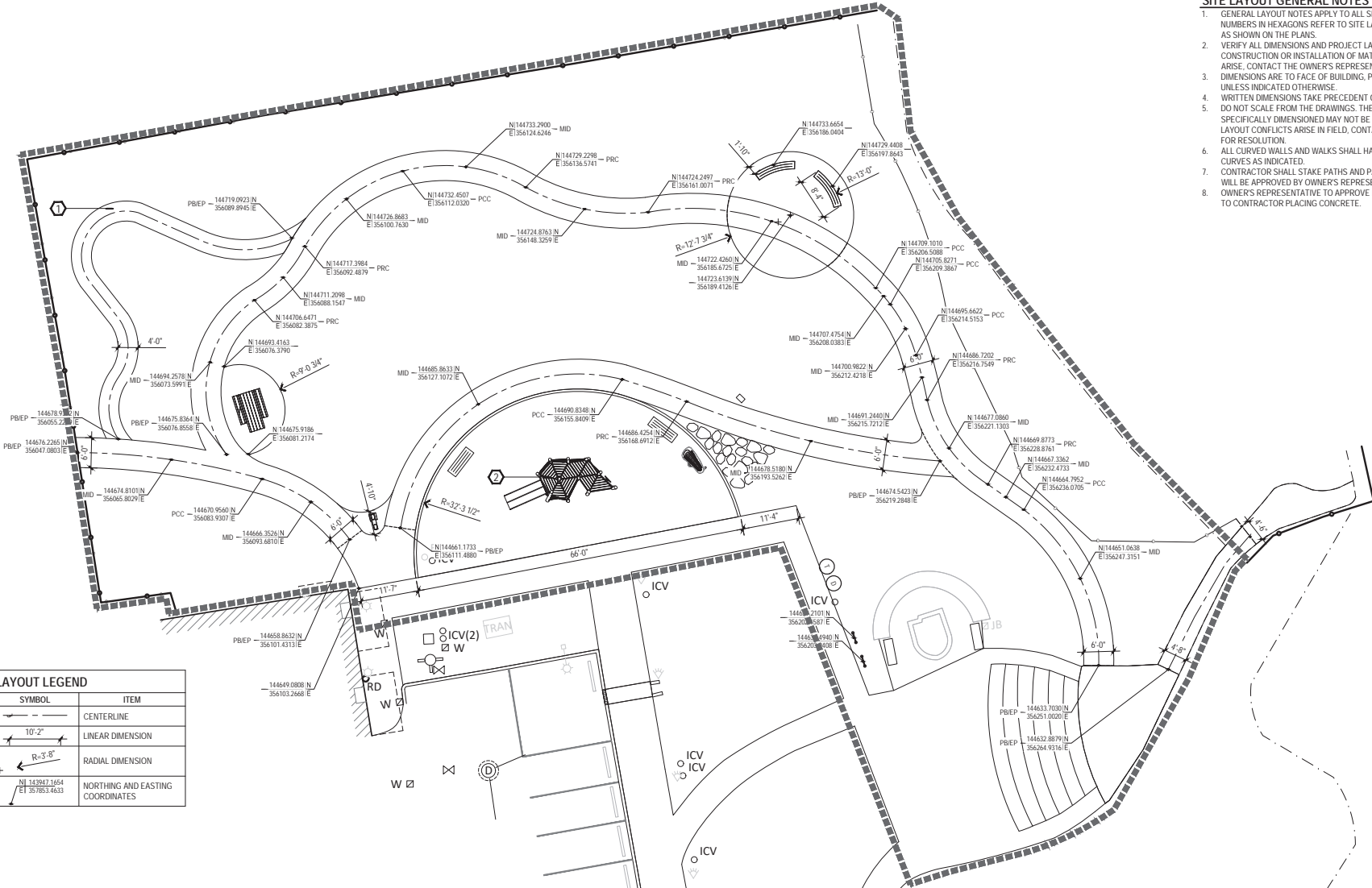
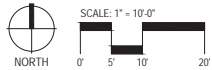
© GREENWORKS, P.C.
ALL RIGHTS RESERVED
THIS DRAWING AND THE PROPERTY OF
GREENWORKS, P.C. IS THE PROPERTY OF
GREENWORKS, P.C. NO PART OF THIS DRAWING
OR ANY INFORMATION HEREON IS TO BE
REPRODUCED OR TRANSMITTED IN ANY
FORM OR BY ANY MEANS, ELECTRONIC OR
MECHANICAL, INCLUDING PHOTOCOPYING,
RECORDING, OR BY ANY INFORMATION
SYSTEMS WITHOUT PERMISSION OF GREENWORKS, P.C.

Date: 04/11/2023
Revisions:

Drawn By: GMYC
Checked By: BJGM
Job No: 210234.1
Approved: GW

L5.01
Sheet No. 10 of 52

LAYOUT LEGEND	
	CENTERLINE
	LINEAR DIMENSION
	RADIAL DIMENSION
	NORTHING AND EASTING COORDINATES



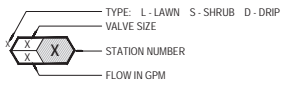
C:\PROJECTS\210234.1\MILWAUKEE_PARKS\02_DEVELOPMENT_SERVICES\02_PROJECT_DRAWING_CADD\01_SCOTT_PARK\01_PLOT_SHEETS\MILWAUKEE_SCOTT_PARK.DWG

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY	PRECIP	PSI	GPM
	LAWN ROTATOR	3,326 S.F.	0.45 in/h	40	16
	SHRUB ROTATOR	7,364 S.F.	0.45 in/h	40	34

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD PEB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.
	POINT OF CONNECTION 1 1/2" EXISTING IRRIGATION POINT OF CONNECTION - REFURBISH EXISTING BACKFLOW PREVENTOR AND ISOLATION VALVES
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 3/4"
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1"
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40

CONTROL VALVE TARGET



IRRIGATION GENERAL NOTES

- REFER TO SHEETS L7.01 FOR IRRIGATION PLANS AND SHEET L8.01 FOR PLANTING PLAN.
- REFER TO SHEETS L29.01, L29.02, L29.03 FOR IRRIGATION DETAILS.
- GENERAL IRRIGATION NOTES APPLY TO ALL IRRIGATION DRAWINGS. NUMBERS IN HEXAGONS () REFER TO IRRIGATION PLAN KEY NOTES AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO CONSTRUCTION AND VERIFY THE EXTENT OF THE WORK REQUIRED. COMMENCEMENT OF CONSTRUCTION BY THE CONTRACTOR DESIGNATES ACCEPTANCE OF THE SITE CONDITIONS APPARENT AT OUTSET. THE CONTRACTOR SHALL OBTAIN APPROVAL TO ACCESS EXISTING SYSTEM COMPONENTS FOR INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY, LOCATE AND PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATION OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OF WORK DEFINED ON THE DRAWINGS AND ANY EXISTING ON-SITE VEGETATION, STRUCTURES, UTILITIES, ETC. ALL DAMAGE AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT THE EXISTING SYSTEM AND MAINTAIN ITS PERFORMANCE AT ALL TIMES DURING THE WORK OF THIS SECTION UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CAP ALL LINES THAT ARE CUT BY NEW CONSTRUCTION AND/OR RE-ROUTE TO MAINTAIN SYSTEM PERFORMANCE. UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL RETURN TO THE OWNER ALL SALVAGED HEADS, ELECTRICAL COMPONENTS AND VALVE BOXES NOT USED IN THIS CONSTRUCTION.
- WHEN NECESSARY DURING CONSTRUCTION THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR IRRIGATION SHUTOFF THROUGH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE COMPLETE TEMPORARY IRRIGATION TO ALL LANDSCAPE AREAS AFFECTED BY THE SHUT-OFF, DURING NORMAL WATERING SEASONS.
- THE CONTRACTOR SHALL MAINTAIN, REPAIR OR REPLACE CONTROLLER WIRING AFFECTED BY CONSTRUCTION AND INTEGRATE NEW SYSTEM REQUIREMENTS INTO THE EXISTING CONTROLLER. VERIFY WHETHER OR NOT THE EXISTING CONTROLLER WILL ACCOMMODATE THE ADDITION OF NEW IRRIGATION ZONES OR ANY OTHER NEW WATERING REQUIREMENTS.
- SYSTEM OPERATION AND DESIGN IS BASED ON XX POUNDS OF PRESSURE AND XX GALLONS PER MINUTE AT THE SHUTOFF VALVE. THE CONTRACTOR SHALL VERIFY THE DESIGN PRESSURE AND VOLUME BEFORE INSTALLATION AND NOTIFY OWNER IF THERE IS A DISCREPANCY.
- CONTRACTOR SHALL REFERENCE PLANTING PLAN(S) PRIOR TO INSTALLATION OF VALVES. LOCATE VALVES IN PLANTING BEDS WHEREVER POSSIBLE. ADJUST VALVE LOCATIONS TO ELIMINATE CONFLICT WITH PROPOSED PLANTINGS AND PLANTING PATTERNS.
- VALVE LOCATIONS AND MAINLINE TRENCHES SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF NEW IRRIGATION SYSTEM. PLACE ALL VALVES IN VALVE BOXES IN A MANNER THAT FACILITATES ACCESS FOR MAINTENANCE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY.
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND LAYOUT OF ALL NEW PLANTING AND LAWN AREAS ON SITE BEFORE STARTING WORK AND IMMEDIATELY NOTIFY OWNER OF ANY DEVIATIONS FROM PLAN.
- NEW TREE LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF NEW IRRIGATION SYSTEM.
- THE CONTRACTOR SHALL INSTALL QUICK COUPLING VALVES A MINIMUM OF 200' ALONG MAINLINE AND AS SHOWN ON PLANS AND DETAILS.
- MAIN AND LATERAL LINES MAY BE SHOWN DIAGRAMMATICALLY FOR CLARITY. MAIN AND LATERAL LINES SHOWN IN PAVED AREAS SHALL BE PLACED IN ADJACENT PLANTING BEDS UNLESS SPECIFICALLY SHOWN AS PASSING UNDER PAVING IN SLEEVING (SEE LEGEND FOR SLEEVE SYMBOL). THE CONTRACTOR SHALL OBTAIN THE OWNER'S REPRESENTATIVE APPROVAL BEFORE MAKING CHANGES IN ROUTING OF PIPE OR LOCATION OF VALVES.
- INSTALL AND ADJUST ALL COMPONENTS OF IRRIGATION SYSTEM TO PROVIDE UNIFORM COVERAGE AND MINIMIZE OVER SPRAY ONTO WALLS AND PAVING. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE OPERATIONAL / WORKING IRRIGATION SYSTEM.
- INSTALL TRACING WIRE OVER ALL PIPE. ROUTE FROM POINT OF CONNECTION TO ENDS OF PIPE.
- INSTALL PE-89 COMMUNICATION WIRE IN SEPARATE TRENCH FROM ELECTRICAL WIRING TRENCHING.
- ALL SURGE PROTECTION AND WIRE SPLICES SHALL BE CONTAINED WITHIN A VALVE BOX.
- CONSULT PROJECT ARBORIST PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES NEAR EXISTING TREES OR WITHIN THE SPECIFIED TREE CRITICAL ROOT ZONE.
- THE SCALE OF THE IRRIGATION DRAWINGS ARE HALF THE SCALE INDICATED ON THE PLANS WHEN THE DRAWINGS ARE SIZE 11"X17".



Project: **Scott Park, Balfour Park, & Bowman Brae Park**
City of Milwaukee
1000 Wisconsin Ave
Milwaukee, WI 53212
503.786.7535

Submital: Design Development
Sheet Title: **Scott Park : Irrigation Schedule and Notes**

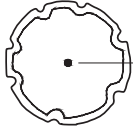
© GREENWORKS, P.C. 2021. ALL RIGHTS RESERVED.
THESE DRAWINGS ARE THE PROPERTY OF GREENWORKS, P.C. NO PART OF THESE DRAWINGS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GREENWORKS, P.C.

Date: 04/11/2023
Revisions:

Drawn By: MM
Checked By: BJ/GM
Job No. 210234.1
Approved: GW

L7.00
Sheet No. 12 of 52

PLANT SCHEDULE



TREES

BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
CORNUS NUTTALLII	PACIFIC DOGWOOD	1.5" CAL., B&B	AS SHOWN	1

SHRUBS / GROUNDCOVERS

BOTANICAL NAME	COMMON NAME	SIZE & TYPE	SPACING	TOTAL QTY.
TURF SEED MIX:				
LOLIUM PERENNE	PERENNIAL RYEGRASS			
FESTUCA ARUNDINACEA	FINE FESCUE			
POA PRATENSIS	KENTUCKY BLUEGRASS			



SEE MANUFACTURER SPECS FOR APPLICATION RATE



WOODLAND MIX:						
ARTEMISIA FRIGIDA	FRINGED SAGEBRUSH	PLUG-1" DIA., 6" HT.	18" O.C.	20%	553	
ARTEMISIA CANA	SILVER SAGEBRUSH	PLUG-1" DIA., 6" HT.	18" O.C.	20%	553	
ERIGERON PULCHELLUS	ROBIN'S PLANTAIN	PLUG-1" DIA., 6" HT.	24" O.C.	20%	359	
ARCTOSTAPHYLLUS UVA-URSI	KINKKINNICK	PLUG-1" DIA., 6" HT.	18" O.C.	40%	1277	



LOW NATIVE MIX:						
LUZULA SYLVATICA	GREATER WOOD RUSH	PLUG-1" DIA., 6" HT.	24" O.C.	30%	95	
LIRIOPE MUSCARI	SILVERY SUNPROOF	PLUG-1" DIA., 6" HT.	12" O.C.	20%	254	
'SILVERY SUNPROOF'	LILYTURF					
CAREX CARVOPHYLLEA	THE BEATLES	PLUG-1" DIA., 6" HT.	12" O.C.	20%	254	
'THE BEATLES'	VERNAL SEDGE					
VERONICA AMERICANA	AMERICAN SPEEDWELL	PLUG-1" DIA., 6" HT.	12" O.C.	30%	381	

PLANT SAME SPECIES IN GROUPS OF 3, 5, OR 7

PLANTING REFERENCE NOTES

- EXISTING PLANTING AREA TO REMAIN, PRESERVE AND PROTECT.
- SEED ALL DISTURBED AREAS.



PLANTING GENERAL NOTES

- PROVIDE PLANTING SOIL AND BARK MULCH TO THE COMPOSITION AND DEPTHS IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- INSTALL PLANTS IN ACCORDANCE WITH THE DRAWINGS AND THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
- PLANT QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. ALL COUNTS MUST BE VERIFIED PRIOR TO INSTALLATION. IN THE CASE OF A DISCREPANCY BETWEEN THE LEGEND AND THE PLAN, PLANTS INDICATED ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN THE LEGEND.
- UTILITY LOCATIONS SHOWN ON PLANS MAY DIFFER FROM FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE INSTALLATION. CONFLICTS BETWEEN ANY EXISTING AND PROPOSED UTILITIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IMMEDIATELY.
- PLANTS INDICATED TO BE INSTALLED IN STORMWATER FACILITIES DESIGNED TO BE FREQUENTLY INUNDATED (TO WATER DEPTHS ABOVE THE SMALLEST INSTALLED PLANT HEIGHT) SHALL BE ENTIRELY DEWATERED PRIOR TO PLANT INSTALLATION. PLANTS INSTALLED IN STORMWATER FACILITIES WITH ANTICIPATED HIGH WATER LEVELS MAY BE INSTALLED OUTSIDE THE SPECIFIED PLANT INSTALLATION WINDOW IF ADDITIONAL SUPPLEMENTAL IRRIGATION IS PROVIDED.

Project:
 Scott Park, Balfour Park,
 & Bowman Brae Park
 City of Milwaukee
 Milwaukee, WI 53212
 502.786.7535

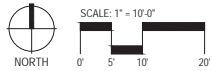
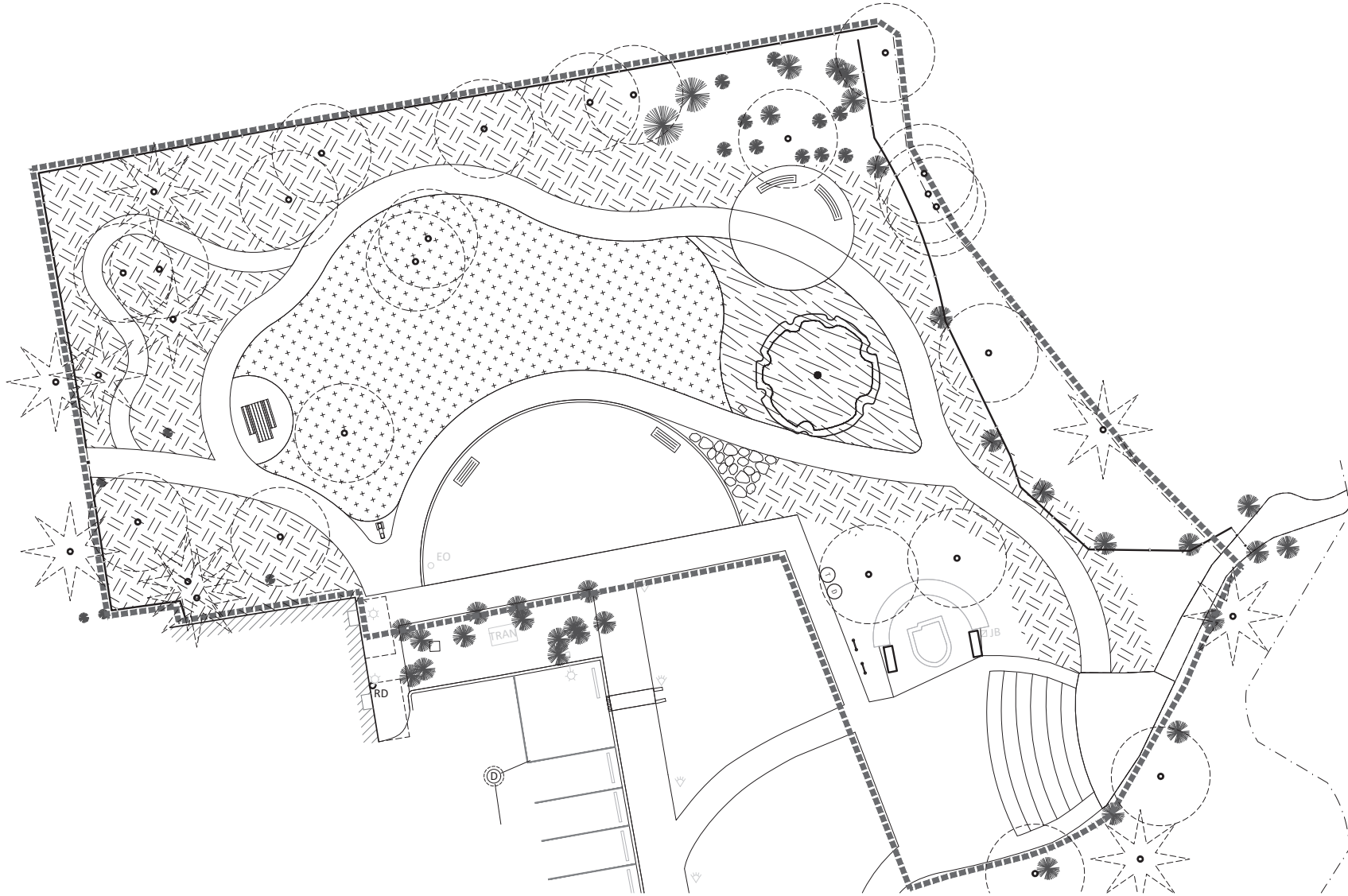
Submital: Design Development
 Sheet Title - Scott Park :
 Plant Schedule
 and Notes

© GREENWORKS, P.C.
 ALL RIGHTS RESERVED
 THESE DRAWINGS ARE THE PROPERTY OF
 GREENWORKS, P.C. AND ARE NOT TO BE REPRODUCED
 OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
 WITHOUT THE WRITTEN PERMISSION OF GREENWORKS, P.C.

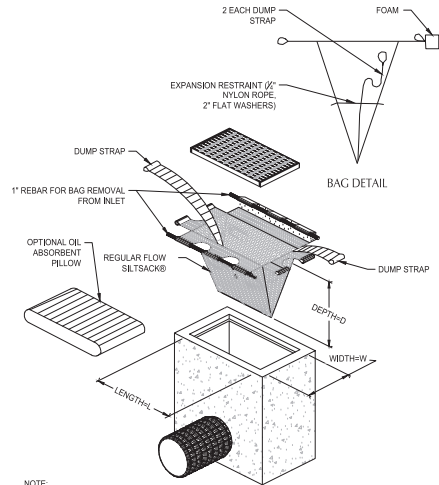
Date: 04/11/2023
 Revisions:

Drawn By: GMYC
 Checked By: BJ/GM
 Job No: 210234.1
 Approved: GW

L8.00
 Sheet No. 14 of 52

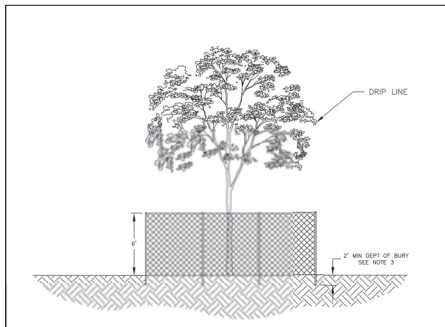


© PROJECTS/2023/11000 MILWAUKIE PARKS/01 DESIGN DEVELOPMENT/SCOTT PARK/01 PLANTING PLAN/SCOTT PARK/01 PLANTING PLAN



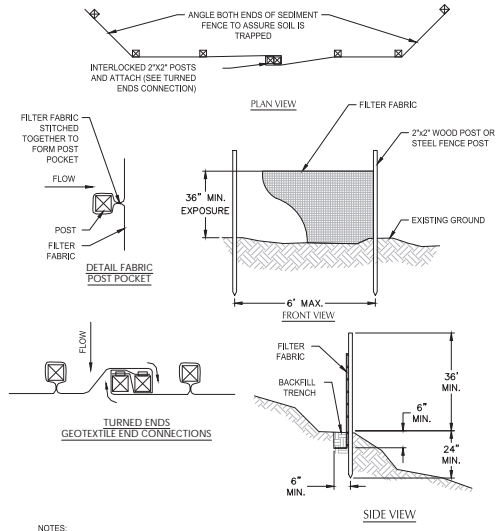
NOTE:
1. DO NOT USE HIGH FLOW INSERT BAGS.

2 INLET SEDIMENT PROTECTION
SCALE: NTS



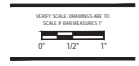
NOTES:
1. FENCE MUST BE 6 FEET IN HEIGHT AND SET AT THE TREE DRIP LINE.
2. FENCE MATERIALS TO CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1-1/2" DIA. STEEL OR ALUMINUM POST.
3. POSTS TO BE SET TO A DEPTH OF NO LESS THAN 3 FEET IN NATIVE SOIL.
4. THIS PROTECTION FENCING MUST BE INSTALLED, INSPECTED AND APPROVED BY THE CITY'S MULTIDISCIPLINARY REPRESENTATIVE PRIOR TO ANY EROSION CONTROL FENCING BEING INSTALLED OR ANY EROSION CONTROL ACTIVITIES.
5. FENCING MUST REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

CITY OF MILWAUKEE, OREGON — PUBLIC WORKS DEPT.		DRAWING NO.
Tree Protection Fencing		524
APPROVED:	DATE:	REV:
	03/21/2023	



NOTES:
1. THE FILTER FABRIC SHALL BE (36" MIN. WIDTH) PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACH AS SHOWN ON DETAIL SHEET.
2. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6-FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
3. THE FILTER FABRIC SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION, SHALL BE BACKFILLED AND COMPACTED, ALONG THE ENTIRE DISTURBED AREA.
4. STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS WITH STAKES SHALL BE INSTALLED ON THE DOWNHILL SIDE OF THE SLOPED AREA.
5. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP-SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
6. FILTER FABRIC FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

1 SEDIMENT FENCE
SCALE: NTS



CITY OF MILWAUKEE

Project: Scott Park, Balfour Park, & Bowman Brae Park
City of Milwaukee
Milwaukee, OR 97222
503.786.7535

Submital: Design Development
Sheet Title: DETAILS

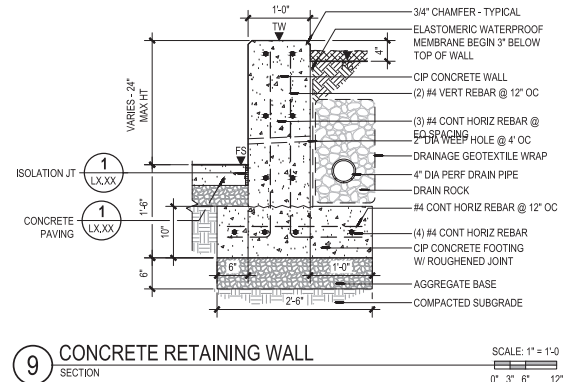
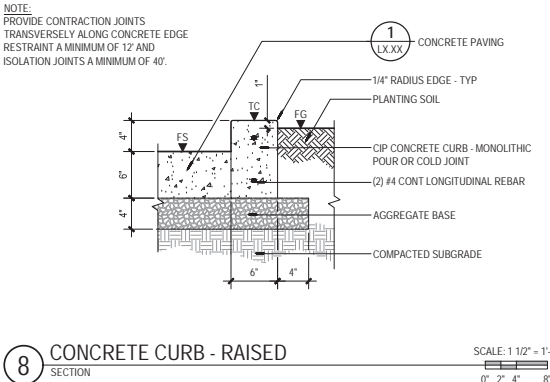
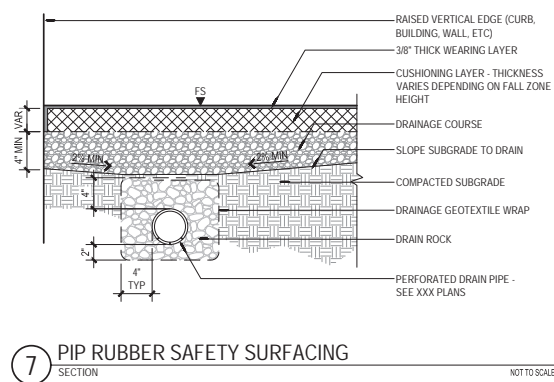
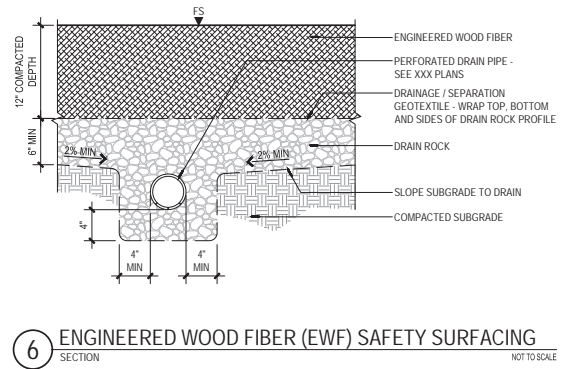
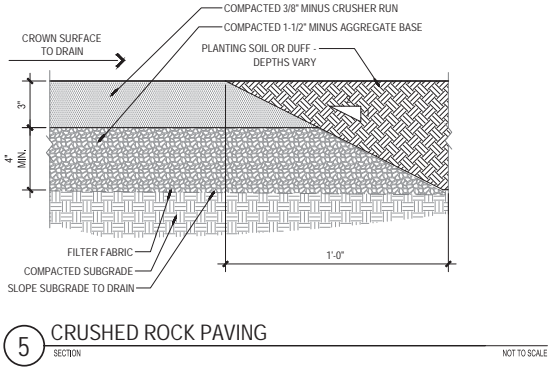
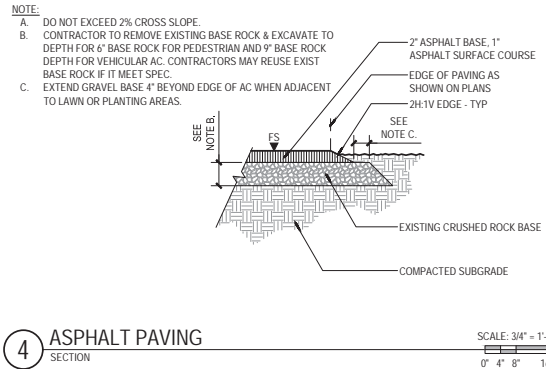
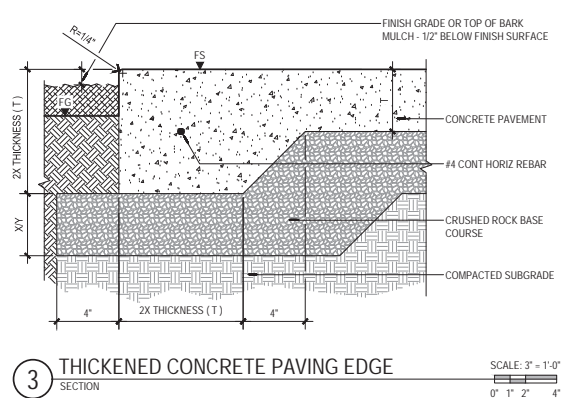
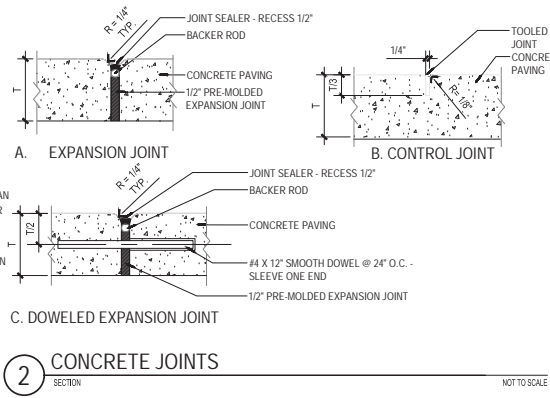
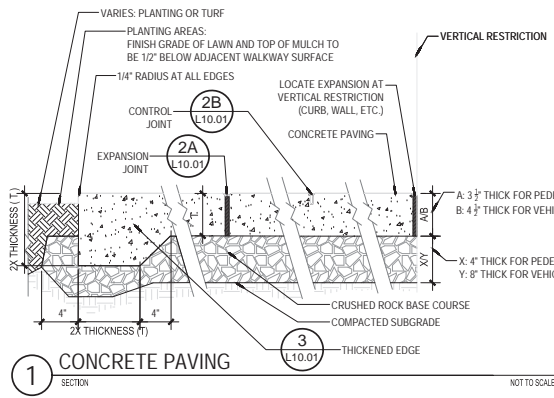
© GREENWORKS, P.C.
2023. ALL RIGHTS RESERVED.

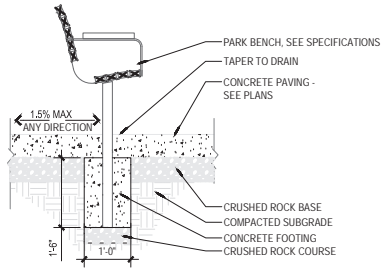
THIS DRAWING AND THE PROPERTY OF GREENWORKS, P.C. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PERMISSION OF GREENWORKS, P.C.

Date: 03/21/2023
Revisions:

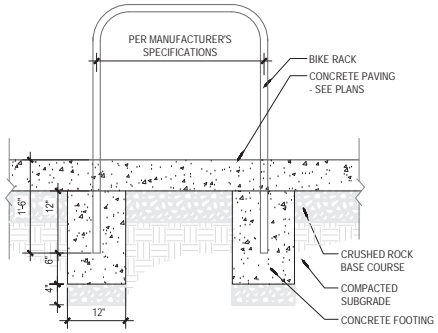
Drawn By: CK/RC
Checked By: JZ
Job No: 210234.1
Approved: CV

C28.01
Sheet No. 47 of 52

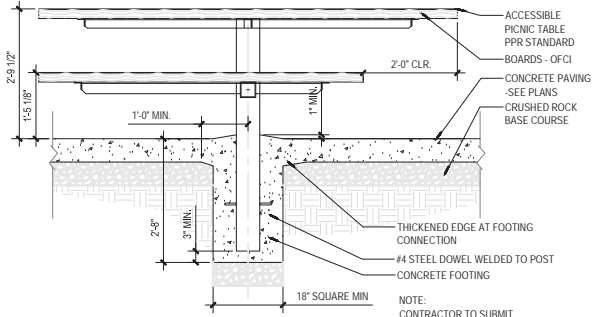




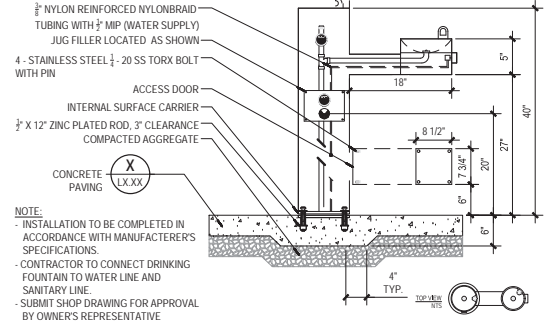
1 STANDARD BENCH
 SECTION PLAN
 SCALE: 3/4" = 1'-0"



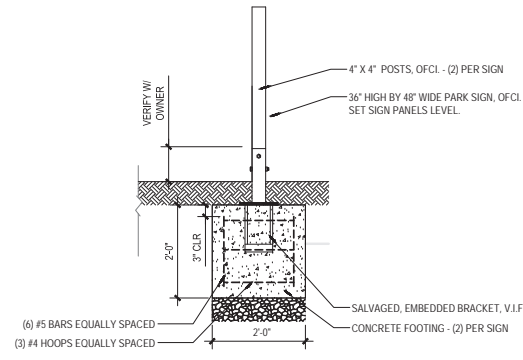
2 BIKE RACK
 SECTION
 SCALE: 1" = 1'-0"



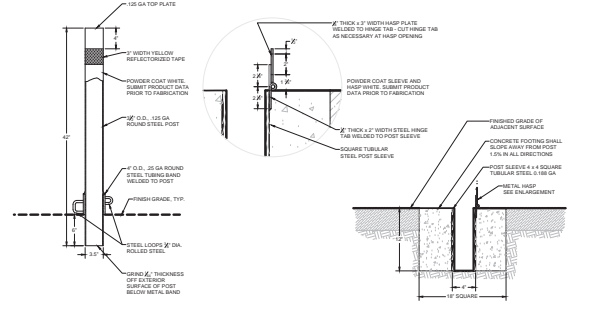
3 ACCESSIBLE PICNIC TABLE
 SECTION
 SCALE: 3/4" = 1'-0"



4 DRINKING FOUNTAIN
 SECTION
 SCALE: 1" = 1'-0"

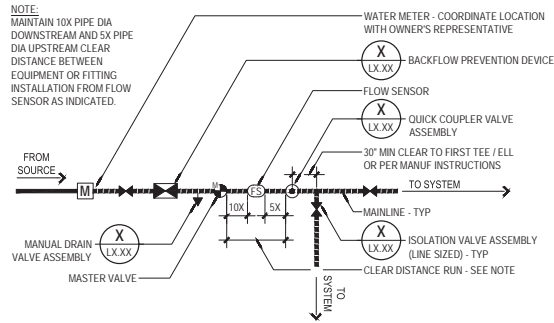


5 PARK SIGN FOOTING
 SECTION PLAN
 SCALE: 3/4" = 1'-0"

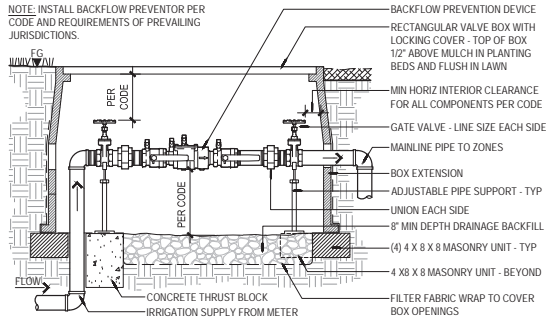


6 REMOVABLE BOLLARD
 SECTION
 SCALE: 1" = 1'-0"

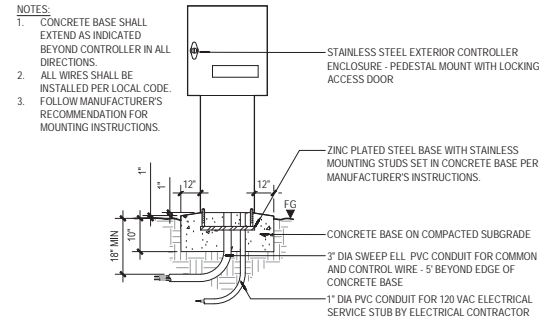
C:\PROJECTS\210234.1\MILWAUKEE_PARKS_DEVELOPMENT_1_SERVICES\2023_PRODUCING\CONCEPT_DRAWING_PLOT_SHEETS\ALL_PARKS\210234.1_L28.02.DWG



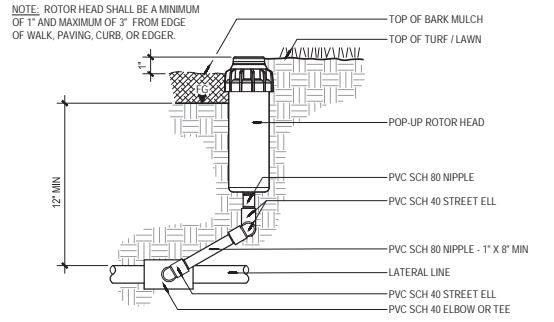
1 POINT OF CONNECTION DIAGRAM
PLAN NOT TO SCALE



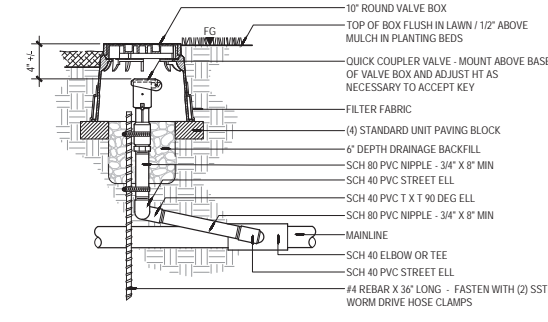
2 BACKFLOW PREVENTION DEVICE ASSEMBLY
SECTION NOT TO SCALE



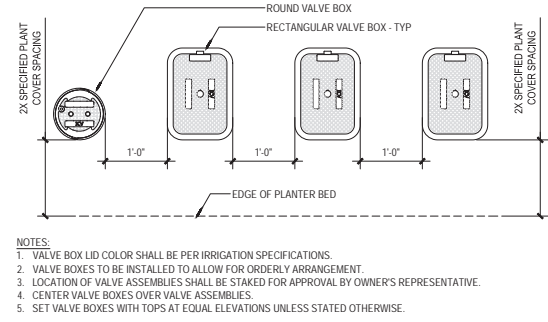
3 CONTROLLER - PEDESTAL MOUNT
SECTION NOT TO SCALE



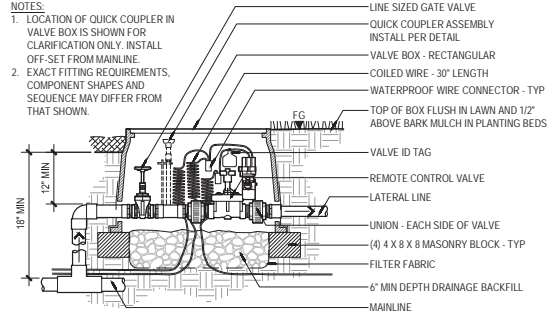
4 ROTOR HEAD - PVC SWING JOINT ASSEMBLY
SECTION NOT TO SCALE



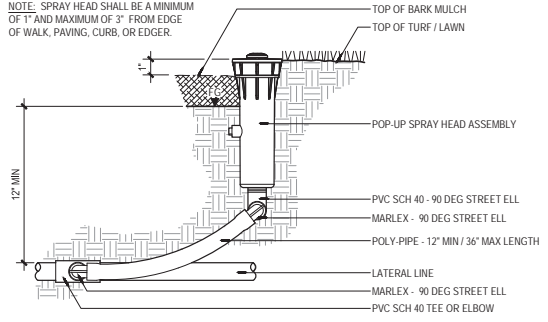
5 QUICK COUPLER VALVE ASSEMBLY
SECTION NOT TO SCALE



6 VALVE BOX LAYOUT
PLAN NOT TO SCALE



7 REMOTE CONTROL VALVE ASSEMBLY
SECTION NOT TO SCALE



8 SPRAY HEAD - SWING JOINT ASSEMBLY
SECTION NOT TO SCALE



Project: Scott Park, Balfour Park, & Bowman Brae Park

City of Milwaukee
Department of Public Works
Milwaukee, WI 53222
507.867.5555

Submittal: Design Development

IRRIGATION DETAILS

DESIGNED BY: JEL ALL RIGHTS RESERVED

THESE DRAWINGS AND THE PROPERTY OF GREENWORKS, INC. REMAIN THE PROPERTY OF GREENWORKS, INC. ANY REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION OF GREENWORKS, INC.

Date: 04/11/2023

Revisions:

Drawn By: GMYC

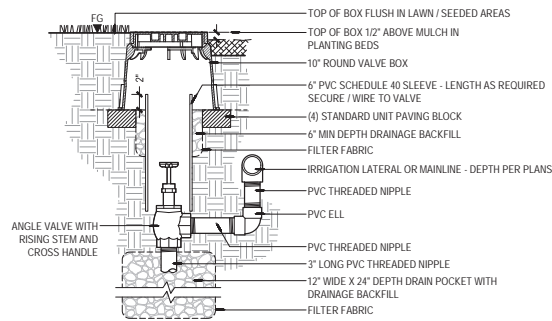
Checked By: BJGM

Job No: 210234.1

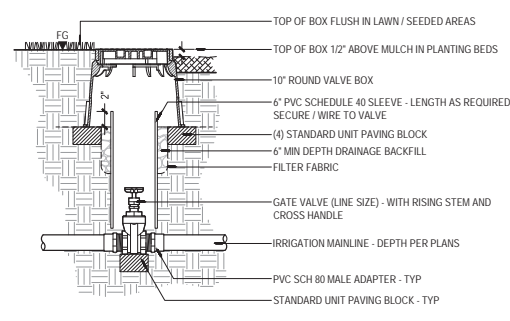
Approved: GW

L29.01
Sheet No. 50 of 52

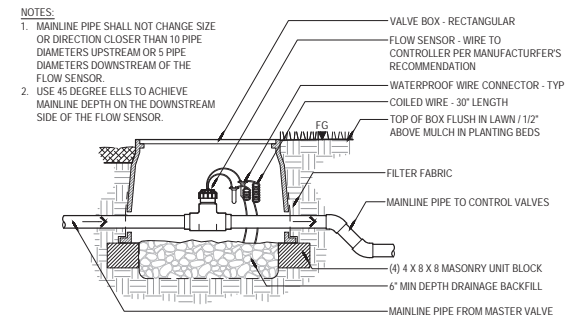
C:\PROJECTS\210234.1\MILWAUKEE_PARKS\02_IRRIGATION_DEVELOPMENT\02_IRRIGATION_DEVELOPMENT_DRAWING_SHEETS\02_IRRIGATION_DETAILS_1.DWG



1 MANUAL DRAIN VALVE ASSEMBLY
SECTION NOT TO SCALE



2 ISOLATION VALVE ASSEMBLY
SECTION NOT TO SCALE



3 FLOW SENSOR
SECTION NOT TO SCALE

NOTES:

1. MAINLINE PIPE SHALL NOT CHANGE SIZE OR DIRECTION CLOSER THAN 10 PIPE DIAMETERS UPSTREAM OR 5 PIPE DIAMETERS DOWNSTREAM OF THE FLOW SENSOR.
2. USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH ON THE DOWNSTREAM SIDE OF THE FLOW SENSOR.



Project: Scott Park, Balfour Park, & Bowman Brae Park
City of Milwaukee
Milwaukee, WI 53202
502.786.7535

Submital: Design Development
IRRIGATION DETAILS

© GREENWORKS, P.C. ALL RIGHTS RESERVED.
THESE DRAWINGS AND THE PROPERTY OF GREENWORKS, P.C. ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GREENWORKS, P.C.

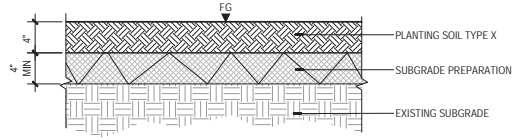
Date: 04/11/2023
Revisions:

Drawn By: GMYC
Checked By: BJGM
Job No: 210234.1
Approved: GW

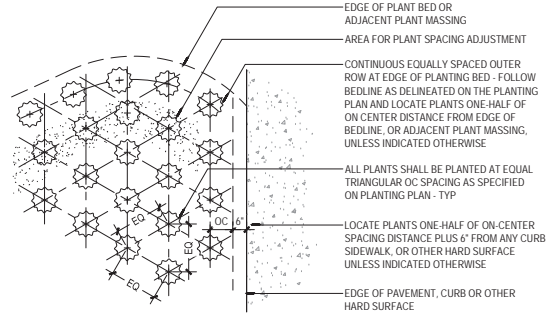
L29.02
Sheet No. 51 of 52

C:\PROJECTS\210234.1\MILWAUKEE_PARKS_DESIGN_DEVELOPMENT_1_SERVICES\2023_PROD\DRAWINGS\IRRIGATION\DETAILS\L29.02.DWG

- NOTES:**
- CONFIRM THE SUBGRADE IS AT THE PROPER ELEVATION PRIOR TO FINAL PLANTING SOIL INSTALLATION.
 - SUBGRADE TO SLOPE TO SUBSURFACE DRAINAGE LINES AND AWAY FROM STRUCTURES IF PRESENT.

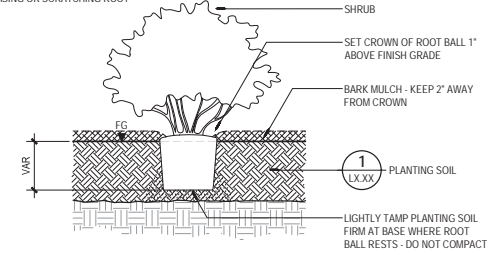


1 PLANTING SOIL TYPE X
SECTION NOT TO SCALE



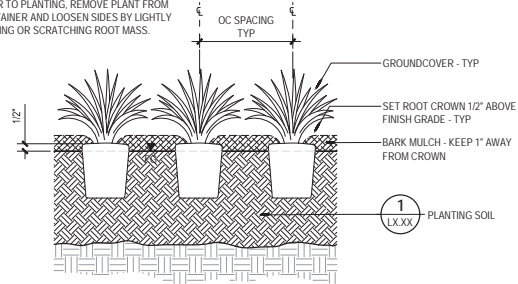
2 PLANT SPACING DIAGRAM
PLAN NOT TO SCALE

- NOTE:**
PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.



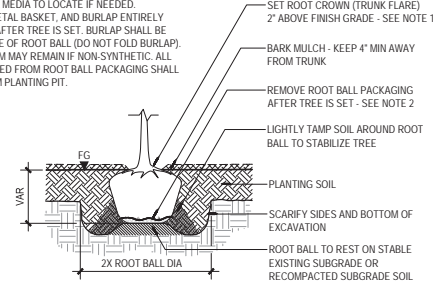
3 SHRUB CONTAINER PLANTING W/ PLANTING SOIL
SECTION NOT TO SCALE

- NOTE:**
PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND LOOSEN SIDES BY LIGHTLY TEASING OR SCRATCHING ROOT MASS.

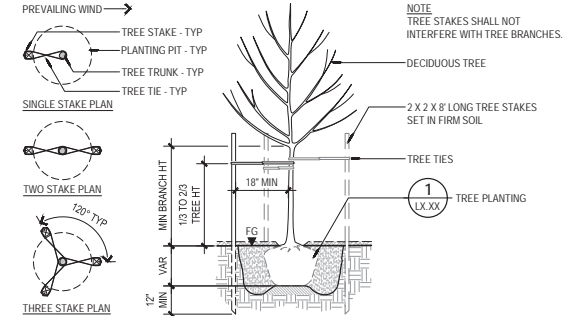


4 GROUNDCOVER PLANTING
SECTION NOT TO SCALE

- NOTES:**
- ROOT CROWN TO BE VISIBLE BEFORE TREE IS SET. REMOVE TOP OF ROOT BALL MEDIA TO LOCATE IF NEEDED.
 - REMOVE TWINE, METAL BASKET, AND BURLAP ENTIRELY FROM ROOT BALL AFTER TREE IS SET. BURLAP SHALL BE CUT DOWN TO BASE OF ROOT BALL (DO NOT FOLD BURLAP). BURLAP ON BOTTOM MAY REMAIN IF NON-SYNTHETIC. ALL MATERIALS REMOVED FROM ROOT BALL PACKAGING SHALL BE REMOVED FROM PLANTING PIT.



5 TREE PLANTING - B&B W/ PLANTING SOIL
SECTION NOT TO SCALE



6 DECIDUOUS TREE - STAKING
SECTION / PLAN NOT TO SCALE

Milwaukie Parks Land Use Planning
and Permitting

Scott Park Application

Exhibit E – Property Deeds

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, That Rosalie Adams Denny, hereinafter called the grantor, for the consideration hereinafter stated, to grantor paid by City of Milwaukie, a municipal corporation, hereinafter called the grantee, does hereby grant, bargain, sell and convey unto the said grantee and grantee's heirs, successors and assigns, that certain real property, with the tenements, hereditaments and appurtenances thereunto belonging or appertaining, situated in the County of Clackamas and State of Oregon, described as follows, to-wit:

A part of the William Meek Donation Land Claim in Township 1 South, Range 1 East, Willamette Meridian, Clackamas County, Oregon: beginning at an iron rod in the Northern boundary of the plat of Lewelling Park recorded in Book 7, Page 14, Record of Town Plats of Clackamas County, Oregon, which point is North 80°10' East 85.04 feet distance from the Northwest corner of Lot 3, Block 3 of said Town Plat running thence North 8° 58' West 103.32 feet to an iron rod; thence North 81°2' East 257.55 feet to an iron pipe in the West boundary of Streib's First Addition to Milwaukie, which point is South 1°31' East 398.45 feet distance from a basalt stone set at the Northwest corner of said plat; thence South 1°31' East tracing the Western boundary of Streib's First Addition to Milwaukie to an iron bar at the Northwest corner of Lot 1, Thence tracing the Western boundary of said Town Plat South 9°9' East 56.5 feet to the Northeast corner of Lot 4, Block 3, Lewelling Park; thence tracing the Northern boundary of Block 3 of said Town Plat South 80°10' West 251.75 feet to the point of beginning, containing .5932 acres more or less.

To Have and to Hold the same unto the said grantee and grantee's heirs, successors and assigns forever.

And said grantor hereby covenants to and with said grantee and grantee's heirs, successors and assigns, that grantor is lawfully seized in fee simple of the above granted premises, free from all encumbrances, so long as the property is used for park purposes and Grantee provides suitable recognition that the park is dedicated to the memory of Richard Scott; when the property is no longer used for park purposes or Grantee fails to provide such suitable recognition, the interest of Grantee, its successors or assigns shall automatically terminate and the property shall revert to Grantor, her heirs or assigns; and that grantor will warrant and forever defend the said premises and every part and parcel thereof against the lawful claims and demands of all persons whomsoever, except those claiming under the above described encumbrances.

The true and actual consideration paid for this transfer, stated in terms of dollars, is none.

In construing this deed and where the context so requires, the singular includes the plural and all grammatical changes shall be implied to make the provisions hereof apply equally to corporations and to individuals.

In Witness Whereof, the grantor has executed this instrument this 31st day of March, 1975.

Rosalie Adams Denny
Rosalie Adams Denny

STATE OF OREGON,)
) ss.
County of Clackamas,)

March 29, 1975

Personally appeared the above named Rosalie Adams Denny and acknowledged the foregoing instrument to be her voluntary act and deed.

Before me:

Quanta Zuleta
Notary Public for Oregon

My commission expires: 4-8-75



After recording return to:

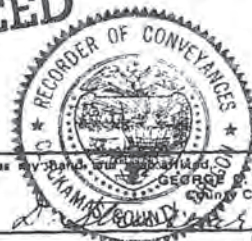
City of milwaukie
926 Main
Milwaukie OR 97222

STATE OF OREGON)
County of Clackamas) ss.

I, George D. Poppen, County Clerk, Ex-Officio Recorder of Conveyances and Ex-Officio Clerk of the Circuit Court of the State of Oregon, for the County of Clackamas, do hereby certify that the within instrument of writing was received for and recorded in the records of said county at

1975 APR 11 PM 2 18

DEED



Witness my hand and the seal of said office at Milwaukie, Oregon, this 11th day of April, 1975.
GEORGE D. POPPEN
County Clerk

Deputy.
Recording Certificate 75 8864

2

1947/50

KNOW ALL MEN BY THESE PRESENTS, That Rosalie Adams Denny

hereinafter called the grantor, for the consideration hereinafter stated, to grantor paid by City of Milwaukie, a municipal corporation

hereinafter called the grantee, does hereby grant, bargain, sell and convey unto the said grantee and grantee's heirs, successors and assigns, that certain real property, with the tenements, hereditaments and appurtenances thereunto belonging or appertaining, situated in the County of Clackamas and State of Oregon, described as follows, to-wit:

A part of the William Meek Donation Land Claim in Sections 35 and 36 in Township 1 South, Range 1 East, Willamette Meridian, Clackamas County, Oregon: Beginning at an iron rod in the Northern boundary of the plat of Lewelling Park recorded in Book 7, Page 14, Record of Town Plats of Clackamas County, Oregon, which point is North 80°10' East 85.04 feet distance from the Northwest corner of Lot 3, Block 3 of said Lewelling Park running North 8°58' West 10 feet to the TRUE POINT OF BEGINNING; Thence continuing North 8°58' West 93.32 feet to an iron rod; Thence North 81°02' East 257.55 feet to an iron pipe in the West boundary of Streib's First Addition to Milwaukie, which point is South 1°31' East 398.45 feet distance from a basalt stone set at the Northwest corner of said plat; Thence South 1°31' East tracing the Western boundary of Streib's First Addition to Milwaukie to an iron bar at the Northwest corner of Block 1; Thence tracing the Western boundary of said Streib's First Addition South 9°09' East 56.5 feet to the Northeast corner of Lot 4, Block 3, Lewelling Park; Thence tracing the Northern boundary of Block 3 of said Town Plat South 80°10' West 195.04 feet to a point; Thence North 8°58' West 10 feet to a point; Thence South 80°10' West 56.71 feet to the TRUE POINT OF BEGINNING, Containing 0.58 acres more or less.

To Have and to Hold the same unto the said grantee and grantee's heirs, successors and assigns forever.

And said grantor hereby covenants to and with said grantee and grantee's heirs, successors and assigns, that grantor is lawfully seized in fee simple of the above granted premises, free from all encumbrances

And said grantor hereby covenants to and with said grantee and grantee's heirs, successors and assigns, that grantor is lawfully seized in fee simple of the above granted premises, free from all encumbrances, so long as the property is used for park purposes and grantee provides suitable recognition that the park is dedicated to the memory of Richard Scott; when the property is no longer used for park purposes or grantee fails to provide such suitable recognition, the interest of grantee, its successors or assigns shall automatically terminate and the property shall revert to grantor, her heirs or assigns;

and that grantor will warrant and forever defend the above granted premises and every part and parcel thereof against the lawful claims and demands of all persons whomsoever, except those claiming under the above described encumbrances.

The true and actual consideration paid for this transfer, stated in terms of dollars, is \$ none. However, the actual consideration consists of or includes other property or value given or promised which is part of the consideration (indicate which):

In construing this deed and where the context so requires, the singular includes the plural. WITNESS grantor's hand this 22nd day of September, 1976

Rosalie Adams Denny (signature) Rosalie Adams Denny

STATE OF OREGON, County of Clackamas, ss. September 22, 1976 Personally appeared the above named Rosalie Adams Denny

and acknowledged the foregoing instrument to be her voluntary act and deed.

Before me, Michelle Eaton, Notary Public for Oregon, My commission expires 3/19/80

(OFFICIAL SEAL)

NOTE—The sentence between the symbols (), if not applicable, should be deleted. See Chapter 462, Oregon Laws 1967, as amended by the 1967 Special Session.

WARRANTY DEED

Rosalie Adams Denny

TO

City of Milwaukie a municipal corporation

AFTER RECORDING RETURN TO

CITY ATTORNEY MILWAUKIE, OREGON 97222 522 MAIN STREET TELEPHONE 389-5111

STATE OF OREGON County of Clackamas

I, George D. Poppin, County Clerk, Ex-Officio Recorder of Conveyances and Ex-Officio Clerk of the County of Clackamas, Oregon, do hereby certify that the within instrument of writing was recorded for and recorded in the records of said county at

76 OCT 4 P 12:48



Witness: Michelle Eaton, Notary Public for Oregon, My commission expires 3/19/80. Recording Certificate P-14 76 34963

Nov. '76: TO CITY RECORDER - PUBLIC WORKS - PLANNING

76 34963



COUNTY CLERK OF CLACKAMAS COUNTY

ROBERT SCHUMACHER, COUNTY CLERK

EX-OFFICIO CLERK OF CIRCUIT AND DISTRICT COURTS
RECORDER OF CONVEYANCES

OREGON CITY, OREGON

TELEPHONE OL 6-2841
EXTENSION 44-48-48

Aug 28, 1961

Mr R. E. Osborne,
City of Milwaukie,
City Hall
Milwaukie, Oregon

Dear Mr Osborne:

I am returning to you the receipt in the Florence Olson Leding estate, sent to us for recording. Since the estate is a Clackamas county probated estate and the original of this receipt will necessarily become a matter of record in the estate proceedings, an independent recording of your copy of the receipt is unnecessary. This copy, I should presume, would properly be filed in your city records.

Very truly yours,

Robert Schumacher, County Clerk

by: 
deputy clerk.

encl.
receipt
ck #6^P87



All books remaining in the residence on the above described premises, also a globe and planetarium.

Dated this 12 day of May, 1961.

CITY OF MILWAUKIE

By Edw. M. Chapel Mayor

By H. E. Delome (Recorder)

By _____

Library Property
Miss Hasbrouck St.

Aug 6. 1868

FOURTEENTH

I give, devise and bequeath unto the City of Milwaukie, Clackamas County, Oregon, a municipal corporation, in perpetuity, my home, which is commonly known and described as 2105 Harrison Street, City of Milwaukie, Clackamas County, Oregon, and which property is more specifically described in that certain deed from Richard Scott and Hannah Scott to Herman F. Loeding, dated August 18, 1906, and recorded in Book No. 95, page 403 of the Deed Records of Clackamas County, Oregon, and which description is, by reference thereto, expressly made a part hereof. That my said home property is hereby given, devised and bequeathed unto said City of Milwaukie on condition and for the use, intention, object and purpose of establishing, keeping up, improving and maintaining thereon, in perpetuity, a free, public library for the uses, objects and purposes of the furtherance and advancement of education, learning, literature and science. Said library shall be open to the public, and for the use and benefit of all people, regardless of race, age, station in life, color, sex or religious faith. Said library to be so maintained in perpetuity shall be named "THE LEDDING LIBRARY" in memory of my late husband, Herman Frank Loding, and myself. The property herein given, devised and bequeathed shall be held by the City of Milwaukie in perpetuity, shall be inalienable and shall be used for library purposes only and shall never be used in whole or in part for any other purposes.

6 - Last Will and Testament of

Florence Elton Loding

BOOK 81 PAGE 993

I give, devise and bequeath unto Vern Wirtz such books from my library as he may select and advise my Executors, in writing, within thirty (30) days following my death.

TWELFTH

Following the gift, devise and bequest contained in Paragraph ELEVENTH, thereupon I give, devise and bequeath unto the City of Milwaukie, Clackamas County, Oregon, a municipal corporation, all the books remaining in my

4 - Last Will and Testament of

Florence Blom Leding

BOOK 81 PAGE 991

library to be used by it in its public Library, and for library purposes. This gift, devise and bequest is to include my globe and planetarium.

THIRTEENTH

I give, devise and bequeath unto Vern Wirtz my heirlooms, household furnishings, furniture, keepsakes and family records and documents, jewelry, books, and ornaments of the person, excepting therefrom such things as Vern Wirtz, in his sole judgment and discretion, deems might be of historical value only, and of benefit to the public, which articles shall be given by him to the Oregon Historical Society as its property. In the event Vern Wirtz predecease me, the Oregon Historical Society may select such items as it deems of purely historical value and as it shall advise my Executors, in writing, within sixty (60) days following my death, and the Oregon Historical Society shall upon such selection become the sole and exclusive owner of the items selected, and they are hereby given, devised and bequeathed to said Oregon Historical Society, and all remaining items shall revert to and shall constitute and be a part of the rest, residue

I hereby further give, devise and bequeath unto the City of Milwaukie, Clackamas County, Oregon, a municipal corporation, the sum of Five Thousand Dollars (\$5,000.00) in cash. This gift, devise and bequest of Five Thousand Dollars (\$5,000.00) in cash is given for the sole and exclusive purpose of buying books for said library, and further, on condition that at least five per cent (5%) of said Five Thousand Dollars (\$5,000.00) be used to purchase and acquire books of a liberal political and economic nature. I make this condition, because it is my opinion that the new problems of the future will require new thought.

I know that the City of Milwaukie will appreciate my provision for the library and that they might establish a plaque in the entrance hall honoring my deceased husband, Herman Frank Ledding, and myself.

FIFTEENTH

All the rest, residue and remainder of my estate, whether real, personal or mixed property, and of whatever kind and nature, and wherever situate of which I may die, seized and possessed, and to which I may be entitled at the time of my death, I give, devise and bequeath in the following manner:

7 - Last Will and Testament of

Herman Frank Ledding

BOOK 81 PAGE 994

Milwaukie Parks Land Use Planning
and Permitting

Scott Park Application

Exhibit J – Amenity Image
Examples



MAY 2023 SCOTT PARK

OPTION C

IHD_358_23C Color Option : A

 Northwest Playground
EQUIPMENT, INC.

 **PLAYWORLD**
The world needs play.



MAY 2023 SCOTT PARK

OPTION C

 Northwest Playground
EQUIPMENT INC.

 **PLAYWORLD**
The world trends (back)

IHD 358 23C Color Option : A

Milwaukie Parks Land Use Planning
and Permitting

Scott Park Application

Exhibit M – Tree Inventory

Tree No.	Common Name	Scientific Name	DBH ¹	Single DBH ²	C-Rad ³	Condition ⁴	Structure	Comments	Treatment
100	Oregon myrtle	<i>Umbellularia californica</i>	10,9	13	25	good	fair	codominant at ground level and 2', overtopped by adjacent trees, bark damage at lower trunk	tbd
101	saucer magnolia	<i>Magnolia × soulangeana</i>	11,8	13	23	good	fair	codominant at 6" and 3'	tbd
102	saucer magnolia	<i>Magnolia × soulangeana</i>	9	9	3	good	fair	codominant at 1'	tbd
103	bignone maple	<i>Acer macrophyllum</i>	15	15	20	good	fair	one sided, codominant at 15'	tbd
104	western redcedar	<i>Thuja plicata</i>	45	45	18	good	good	at pond edge	tbd
105	red alder	<i>Alnus rubra</i>	6	6	9	fair	good	branch dieback	tbd
106	scoulers willow	<i>Salix scouleriana</i>	8	8	12	fair	poor	fallen over in pond	tbd
107	red alder	<i>Alnus rubra</i>	11	11	0	very poor	very poor	dead, leans over pond	tbd
108	red alder	<i>Alnus rubra</i>	12	12	10	poor	poor	leans over pond with some branches over path	tbd
109	willow	<i>Salix sp.</i>	56	56	24	poor	poor	significant dieback and heartrot in lower trunk, branching over pond and path	tbd
110	cascara	<i>Rhamnus purshiana</i>	1	1	2	good	good		tbd
111	red alder	<i>Alnus rubra</i>	23	23	13	very poor	very poor	extensive dieback, leans over path; to be removed by COM prior to start of project - 7/21/23 GW	tbd
112	black walnut	<i>Juglans nigra</i>	21	21	38	poor	poor	large wound with decay at root crown, epicormic growth at lower trunk, upper branch dieback; removed by NCRPD - 7/21/23 GW	tbd
113	Japanese maple	<i>Acer palmatum</i>	11	11	15	good	fair	multiple leaders near ground level with included bark, one sided	tbd
114	Japanese maple	<i>Acer palmatum</i>	7	7	17	good	fair	one sided, codominant at 3'	tbd
115	tulip poplar	<i>Liriodendron tulipifera</i>	37	37	36	good	fair	moderately one sided, multiple leaders at 60'	tbd
116	black walnut	<i>Juglans nigra</i>	26	26	33	fair	fair	one sided, upper branch dieback	tbd
117	black walnut	<i>Juglans nigra</i>	14	14	28	fair	fair	one sided, overtopped by adjacent trees, upper branch failures	tbd
118	sweet cherry	<i>Prunus avium</i>	17	17	19	good	fair	overtopped by adjacent trees, codominant at 15'	tbd
119	camellia	<i>Camellia japonica</i>	11	11	13	good	good	shrub, measured at ground level	tbd
120	western redcedar	<i>Thuja plicata</i>	39,18	42	25	good	fair	moderately one sided, codominant at ground level, multiple leaders at 50'	tbd
121	saucer magnolia	<i>Magnolia × soulangeana</i>	4	4	8	poor	poor	suppressed, overtopped by adjacent trees	tbd
122	camellia	<i>Camellia japonica</i>	2	2	4	fair	fair	shrub, suppressed, overtopped by adjacent trees	tbd
123	western redcedar	<i>Thuja plicata</i>	33	33	29	good	fair	upright competing leaders at 40'	tbd
124	grand fir	<i>Abies grandis</i>	1	1	2	good	good		tbd
125	photinia	<i>Photinia × fraseri</i>	5	5	10	good	fair	shrub, one sided	tbd
126	black walnut	<i>Juglans nigra</i>	27	27	31	good	fair	past branch failures	tbd
127	Crimson King maple	<i>Acer platanoides</i> 'Crimson King'	19	19	27	good	fair	one sided, ivy growth up trunk	tbd
128	black walnut	<i>Juglans nigra</i>	29	29	18	fair	fair	one sided, crown over parking lot, Ganoderma conk at 4' from base of trunk behind lean	tbd
129	western redcedar	<i>Thuja plicata</i>	1	1	2	good	good		tbd

Tree No.	Common Name	Scientific Name	DBH ¹	Single DBH ²	C-Rad ³	Condition ⁴	Structure	Comments	Treatment
130	western redcedar	<i>Thuja plicata</i>	1	1	2	good	good		tbd
131	black walnut	<i>Juglans nigra</i>	27	27	32	fair	fair	one sided, hangs over townhomes, multiple upright leaders in crown	tbd

¹DBH is the trunk diameter in inches measured per International Society of Arboriculture (ISA) standards.

²Single DBH is the trunk diameter of a multi-stem tree converted to a single number according to the following formula: square root of the sum of the squared diameter of each trunk at 4½ feet above mean ground level.

³C-Rad is the approximate crown radius in feet.

⁴Condition and Structure ratings range from very poor, poor, fair, to good.