

MILWAUKIE PLANNING
 10501 SE Main St.
 Milwaukie OR 97222
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: DR-2024-002

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|--|---|--|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| <input type="checkbox"/> Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input checked="" type="checkbox"/> Community Service Use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance: |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Director Determination | <input checked="" type="checkbox"/> Natural Resource Review** | <input checked="" type="checkbox"/> Willamette Greenway Review |
| <input checked="" type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input type="checkbox"/> Historic Resource: | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| <input type="checkbox"/> Status Deletion | | • Appeal |

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): *Nathan Seaver, Clackamas WES*

Mailing address: *150 Beaver Creek Rd. #430 Oregon City* State/Zip: *OR 97045*

Phone(s): *(503) 679-5709* Email: *NSeaver@clackamas.us*

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above): *Shem Harding, Deca Architecture*

Mailing address: *935 SE Alder St. Portland* State/Zip: *OR 97206*

Phone(s): *(503) 239-1987* Email: *harding@deca-inc.com*

SITE INFORMATION:


Address: *11525 SE McLoughlin Blvd* Map & Tax Lot(s): *11E35AD, TL 1500*

Comprehensive Plan Designation: *TC / P* Zoning: *DMU* Size of property:

PROPOSAL (describe briefly):

Remodel and addition at the administration building at Kellogg WRRF.

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by:  *Shem Harding,*
Deca Architecture Date: *4/29/24*

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.

** Natural Resource and Transportation Review applications **may require a refundable deposit.**

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT <small>(after discount, if any)</small>	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	DR-2024-002	\$ 2,000			Materials submitted 5/03/2024 Payment submitted 5/14/2024
Concurrent application files	CSU-2024-004	\$ 37.50	25%	Discount for multiple applications	
	WG-2024-001	\$ 150	25%		
	NR-2024-002	\$ 150	25%		
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ 2,337.50			RECEIPT #:		RCD BY:

Associated application file #s (appeals, modifications, previous approvals, etc.):

Neighborhood District Association(s): Island Station (and near Historic Milwaukie)

Notes:



deca architecture.inc

935 SE Alder Street : Portland Oregon 97214

tel 503 239 1987 deca-inc.com

WES Kellogg WRRF Admin Building Remodel and Addition

Land Use Review Application Narrative
June 3, 2024

Project Team

Owner	Clackamas Water Environment Services (WES) 150 Beavercreek Rd. #430 Oregon City, OR 97045 Contact: Nathan Seaver, WES (503) 679-5709 / NSeaver@clackamas.us
Architect	Deca Architecture 935 SE Alder St. Portland, OR 97214 Contact: Shem Harding (503) 239-1987 / harding@deca-inc.com
Civil	KPFF Consulting Engineers 111 SW 5 th Ave #2600 Portland, OR 97204 Contact: Mark Reuland (503) 227-3251 / Mark.Reuland@kpff.com
Landscape	Clackamas Water Environment Services (WES) 150 Beavercreek Rd. #430 Oregon City, OR 97045 Contact: Gail Shaloum, Natural Resources Scientist (503) 793-4264 / GShaloum@clackamas.us

List of Attachments

L001	Tree removal and planting plan - north
L002	Tree removal and planting plan - south
A001	Overall Site plan
A002	Site plan
A100	Floor plan - overall
A101	Floor plan - level 1 east
A102	Floor plan - level 1 west
A103	Roof plan
A301	Exterior elevations
	Rendering – view from north

1. Building and Site Information.

Clackamas Water Environment Services (WES) operates the Kellogg Creek Water Resource Recovery Facility (KC WRRF) located at 11525 SE McLoughlin Blvd in Milwaukie. The site consists of several buildings and tax lots, but the subject building for this project is the Administration building at the north end of the site.

The Administration Building and the WRRF were constructed in 1974. The WRRF provides conventional secondary treatment for up to 25 MGD and is located on the west side of McLoughlin Boulevard near downtown Milwaukie. It abuts the Island Station Neighborhood on the south, Milwaukie Bay Park on the north and the Historic Milwaukie Neighborhood on the east. A location plan is provided in Figure 1.

WES recently completed an \$18M project to upgrade and modernize several areas of the water resource recovery process at KC WRRF. WES is continuing to upgrade the process and currently has several smaller projects in design and construction. This will likely continue through the design and construction of the Administration Building Remodel Project.

The proposed project includes renovating the existing 3,600 sf Administration Building and constructing an addition of approximately 1,200 sf at the east end of the building and a small 160 sf addition at the west end. The existing locker rooms and a break room currently housed in the Chemical Building will be relocated to the Admin Building. The existing conference room, offices and lab in the Admin Building will be reconfigured to support current operations. The improvements will provide enhanced work space for current staff, equitable locker room facilities for men and women, and important structural and code upgrades for the building. In addition to the building improvements, native trees and shrubs will be added near the building and along the river as a mitigation for the proposed development.



Figure 1: site and building location map

Site Information

Address	11525 SE McLoughlin Blvd Milwaukie, OR 97222
Jurisdiction	City of Milwaukie
Property ID	00019393
Tax Lot No	11E35AD01500
Owner	Clackamas Water Environment Services 150 Beaver Creek Rd. #430 Oregon City, OR 97045
Year built	1974
Site zoning	Split zoned DMU and OS (subject building is within DMU portion of site)
Site area	TL 1500: 3.99 acres / 173,804 sf
Other site overlay	Willamette Greenway Overlay Zone Habitat Conservation Area

2. Requests for Approval

Preliminary pre-application meetings with the City of Milwaukie were conducted to discuss the project on 11/21/23 and 12/20/23. Following those meetings, a Pre-application Conference was conducted on 2/23/24. Pursuant to those discussions, the following applications for land use review are proposed:

Community Service Use Review	(Type I)
Willamette Greenway Review	(Type I)
Natural Resource Review	(Type I)
Downtown Design Review	(Type III)

3. Base Zone Standards, MMC 19.300

19.304.2	Permitted uses. Uses allowed in the downtown zones are listed in Table 19.304.2. <i>Existing and proposed use is a "CSU" Community Service Use. Therefore, a minor modification to an existing CSU is requested as required by 19.904.</i>
19.304.4	Development standards are summarized in Table 19.304.4.
19.304.4.B.1.a	Floor area ratio, minimum: 0.5:1 <i>The existing site and buildings do not meet minimum FAR due to the dispersed nature of the facility. However, the proposed building additions will move the site closer to conformance with this standard.</i>
19.304.4.B.2	Building height, minimum 25 ft, maximum 45 ft. <i>The minimum height standard is applicable only to new buildings and does not apply to the proposed development. The maximum height will not be exceeded.</i>
19.304.4.B.3	Street setbacks, minimum 0, no side and rear setback standards. <i>Proposed development meets the standard.</i>
19.304.4.B.4	Off-street parking, required where applicable per 19.600. <i>No off-street parking is required for nonresidential uses. This facility is not subject to off-street parking requirements and is not listed in Table 19.605.1. No new parking is proposed.</i>

4. Willamette Greenway Overlay Zone, MMC 19.401

19.401.3	Limitations on use. All land use actions and any change or intensification of use or development are conditional uses, subject to the provisions of 19.905. <i>The proposed development involves a CSU (community service use), which requires a CSU review per the provisions of 19.905. The provisions of 19.905.4.B allow for review as a minor modification if there is no increase in intensity of use and no negative impacts to nearby uses. The proposed development presents a minor modification of the existing situation; see below for discussion of the CSU in a separate section.</i>
19.401.6.A	Take into account whether has the land to be developed been committed to an urban use, as defined under the State Willamette River Greenway Plan. <i>The City of Milwaukie Comprehensive Plan identifies the WES Kellogg WRRF as an important urban use and function serving the City, as is the adjacent Milwaukie Bay Park. The City has elected to zone the subject site with the urban DMU zoning. Therefore, it is clear this land has been committed to an urban use. Although the new addition is modest in size, the façade is designed to reflect the urban character of downtown with durable materials and storefront fenestration.</i>
19.401.6.B	Take into account compatibility with the scenic, natural, economic and recreational character of the river. <i>The proposed addition to the building is modest in size (1,200 square feet for the east addition) and is buffered from both the neighboring highway and the Willamette River with native plantings. The cladding of the addition is primarily glass, which minimizes the visual impact of the building, and helps it blend with the heavily vegetated aspect of the site. By reflecting the riparian character of the site with a diverse selection of native plantings and a modestly designed building, the addition supports the scenic and natural character of the river. With the addition of native plantings in the form of new native trees between the building and the river, and new native shrubs between the building and the road, the park-like recreational character of the river is enhanced and the recreational economics of the greenway are maintained.</i>
19.401.6.C	Take into account protection of views, both toward and away from the river. <i>As described above, the modest size of the addition, and its placement minimizes any impact the addition has on views to and from the river. Subtle aspects of the design, such as creating an “open” corner and recessing the glass wall of the addition beneath the existing roofline, helps to create a sense of layering and transparency which allow for views through the façade, and limits the building’s visual impact on the environment, the public park, and the surrounding natural habitat.</i>

19.401.6.D Take into account landscaping, aesthetic enhancement, open space, and vegetation between the activity and the river, to the maximum extent practicable.

As described in the previous guidelines, a diverse selection of native plantings is proposed between the building and the Willamette River, and on the east side of the new addition adjacent to the Habitat Conservation Area (HCA) portion of the site. This helps visually screen the building and minimizes visual impact. In addition, it helps the building to be a good neighbor to the public park and natural area that borders the north of the site.

19.401.6.E Take into account public access to and along the river, to the greatest possible degree, by appropriate legal means.

The new addition is positioned in such a way that it has a very minimal impact on the public access to and along the river. Only a very small addition is planned for the west façade facing the river, and this is screened by new native trees between the building and the river. Most of the addition is positioned to the east of the building, hidden from the river by the existing building and not blocking public access to the river from the park or highway.

19.401.6.F Take into account emphasis on water-oriented and recreational uses.

The proposed building addition supports existing water-oriented and recreational uses by creating a pleasing and unobtrusive edge along the public park to the north used by the public accessing the river. In addition, the proposed changes minimize impacts to the river-facing facades of the building and are enhanced by new native trees and shrubs.

19.401.6.G Take into account maintenance of or increase in views between the Willamette River and downtown.

Any views between downtown and the Willamette River through the site are maintained by the proposed addition, which retains the one-story height of the existing building and is stepped back at the northeast corner. This supports views through the site and maintains visual access to the river from downtown.

19.401.6.H Take into account protection of the natural environment according to regulations in Section 19.402.

The proposed planting plan has been carefully designed to support the riparian ecology of the greenway zone by WES' natural resource scientist. A mixture of native plants and shrubs have been selected to help stabilize riparian areas and support the habitat and the ecology of the site.

19.401.6.I Take into account conformance to applicable Comprehensive Plan policies.

In 1967 the Oregon legislature established the Willamette River Greenway Program, to help protect, conserve, and enhance the 38,000 acre corridor of the Willamette River between Portland and Eugene. The Willamette River Greenway was added as a Statewide Planning Goal (Goal 15) in 1975 to “protect, conserve, enhance and maintaining the natural, scenic, historical, agricultural, economic and recreational qualities of lands along the Willamette River as the Willamette River Greenway”. Milwaukie has designated lands within 150 ft of the Willamette River ordinary low water line as within a Willamette Greenway overlay zone and reviews all development projects for compatibility with Statewide Planning Goal 15.

Community access to the recreational opportunities of the Willamette Greenway and the Milwaukie Bay Park, which borders the site to the north, are of primary importance to the Willamette Greenway Comprehensive Plan policies and the community. The proposed addition is sited in such a way to have a very minimal impact on visual and circulation access between public spaces and the river. The new addition creates a welcoming and straightforward edge to the south end of the park, with a subtle architectural layering through an “open” corner design, an integrated canopy, and a pedestrian scaled storefront façade. The new addition enhances the public face of the site by emphasizing the main building entrance and creating a simple backdrop to the native vegetation on the site. This development supports the Comprehensive Plan policies of the Willamette Greenway.

19.401.6.J Take into account the request consistent with applicable plans and programs of the Division of State Lands.

The Willamette River and the mouth of Kellogg Creek are publicly owned waterways, and thus available to the public for boating, swimming, sightseeing, and walking. The site is outside of the Local Wetlands Inventory (LWI) study area and is mapped as an Essential Salmonid Habitat. The site lies partially within the Riverine Wetland habitat as defined by the USFWS National Wetland Inventory, which means that it is particularly important to minimize impacts on the riparian environment with the new addition. The building addition is located near the road, quite a distance from the Riverine Wetland habitat on the site, and new native vegetation is proposed near the river, which will further protect the stability of the riverbank and support the ecology of the Riverine and Essential Salmonid Habitat.

19.401.6.K Take into account a vegetation buffer plan meeting the conditions of Subsections 9.4018.A through C.

WES has worked hard over the last 20 years to develop a vegetation buffer along the greenway. The result has been a heavily planted riparian landscape that is open to the public, provides essential habitat and contributes to State planning goals.

The project seeks to develop and enhance the existing vegetation buffer by removing invasive trees and adding new native trees to help stabilize riparian areas and provide screening of the site to protect scenic views along the river. WES has long supported the riparian habitat on the site, and this will be a continuation of their efforts to support and restore the ecology of the site. The proposed building addition is located away from the river and will minimally disturb the riverbank during construction. Note that it is not feasible or recommended to install new plantings in the heavy riprap that lines the riverbank.

5. Natural Resource Review, MMC 19.402

19.402.3.A Applicability. Section 19.402 applies to all properties that contain Habitat Conservation Areas (HCA's)

The site lies within an HCA and the HCA boundary is shown on the attached site plan.

19.402.3.K Review type. Table 19.402.3.K addresses the type of review process warranted.

Since limited tree removal is proposed, and since the total disturbance area meets clear and objective standards, a Type I review is required.

19.402.11.A Development standard: protection of natural resources.

Existing natural resources on site will be protected during construction as required by these standards.

19.402.11.D Nondiscretionary standards for required mitigation in HCAs: a maximum disturbance area of 10% of the HCA on site is allowed by right, subject to mitigation requirements. The applicant shall meet mitigation option 1 or 2, whichever results in more tree plantings.

The total amount of HCA area on TL 1500 is approximately 68,000 sf. The proposed disturbance within the HCA is approximately 2,400 sf or 4% of the HCA area. Since the proposed disturbance is <10%, it is allowed by right.

Utilizing the "Option 2" method described in 19.402.11.D.2.b results in more tree plantings. A disturbance area of 2,400 sf would yield a mitigation requirement of 24 trees and 120 shrubs.

The western portions of WES' tax lots are developed as a public park, and over the years WES has managed this land to restore native plantings, improve water quality and provide a public amenity. Since this project requires new trees and a natural resources review, WES would like to utilize this opportunity to install tree and shrub plantings in this vicinity.

The attached planting plans propose a total of (24) new trees and (120) new shrubs installed on tax lots owned and managed by WES. Existing invasives will also be removed, with a total of 27 invasive black locust trees removed, in addition to the (2) London plane trees required to be removed for the proposed building project. There are also (2) dead dogwood trees that will be removed as part of the project. Where feasible, portions of the trees to be removed will be retained as snags to facilitate bird nesting and support the riparian habitat.

19.402.15

The NR Administrative Map shows the locations of HCA's. This map is assumed to be correct unless demonstrated otherwise.

GIS layers for the HCA boundaries provided by the City show that a portion of the existing paved plant areas on the east edge of the site lie within the mapped HCA (see site plan). We request that the City correct the HCA boundary mapping to exclude existing paved plant areas from the HCA.

6. Downtown Design Review, MMC 19.508

19.508.4 Downtown design elements (DDE).

Generally, downtown design elements are difficult to apply to this site. The DDE were developed for dense, urban sites with a high level of pedestrian activity and urban enclosure. Although these guidelines do not fit well with a public utility building in an open, park-like setting, the purpose and essence of the guidelines have been carried through to the design.

19.508.4.A.3 Site frontage guidelines.

Guideline not applicable to this project. The site is not within applicable areas identified by associated figures.

19.508.4.B.3 Wall structure and building façade detail guidelines. (applicable to addition area only)

a. Street-facing façades should engage the street, achieving a distinct and high-quality treatment that contributes to the downtown as the center of the community.

b. Building façades should create a sense of coherence through holistic and human-scale design. They should be designed with vertical divisions such as a tripartite façade of base, middle, and top, and horizontal design elements that reference traditional storefront widths and create a sense of rhythm, or an alternative design of vertical and horizontal elements that bring a human scale to the space of the street. Such vertical and horizontal architectural elements should create a coherent pattern and visual interest at a pedestrian scale, particularly for larger buildings.

c. Buildings should avoid blank wall faces on street-facing façades, particularly on ground floors and building corners at street intersections.

d. Building façades should integrate façade articulation techniques to add visual interest to the built environment and clearly demarcate areas of visual interest, highlighting entries or displays.

e. Massing should be purposeful and cohesive, boldly showing depth and/or visual lightness to enrich the pedestrian zone, integrating façade articulation techniques to reduce the perceived scale of larger buildings.

The new addition presents a welcoming civic face to the community with a substantial expanse of clear glazing allowing views to the building's communal breakroom and meeting rooms. Although modest in size, the generous fenestration of the addition and its location near the front door makes an open-spirited gesture towards downtown and Milwaukie Bay Park. The addition seeks to optimize

storefront glazing, weather protection, articulation and visual interest while remaining compatible with the architectural rhythm of the existing building. Minor glazing wraps the north and south edges of the east façade, acknowledging the need for connection to the street without adversely impacting the Habitat Conservation Area (HCA) to the east.

The building's siting is unique in that the façade facing the nearest street (SE McLoughlin Blvd) also faces site area designated as a Habitat Conservation Area (HCA). Aggressively engaging this area with windows and openings is detrimental to the HCA.

The addition massing is clear, bold, and purposefully increases the sense of enclosure on the southern edge of the public park, enriching the pedestrian experience and respecting the scale of the park. The addition is designed with high quality, long-lasting cladding materials of glass, metal, and stucco, using humanistic proportions that reflect the single-story building and its community service use. The sensitive human-scaled fenestration treatment with vertical window proportions and a simple, clear sense of rhythm supports the additions compatibility with the existing building architecture. The "open" corner element creates pleasing visual interest that contributes to greater transparency and a subtle sense of layering, reflecting the delicate vegetation on the heavily treed site. Therefore, this guideline is met.

19.508.4.C.3

Exterior building materials guidelines. (applicable to expansion area only)

- a. Exterior materials and finishes should be durable, long-lasting, and low maintenance and create a sense of permanence and high quality.
- b. Exterior materials for street-facing façades should include a palette that is visually interesting, coherent, compatible, related to its place, and observant of environmental elements of our region.
- c. Ground-floor materials should consist primarily of a simple palette of long lasting materials such as brick, stone, or concrete to create a sense of groundedness.
- d. Upper-floor materials should be attractive and compatible with the dominant materials and colors used on ground-floor façades of the building. Upper-floor materials should not overwhelm ground floor materials.
- e. Street-facing façade materials should be wrapped around the edge to non-street facing façades to create a seamless appearance.
- f. For renovations to existing development, new and existing materials should create a unified appearance.

Using a durable mix of stucco and storefront glazing the addition presents high quality building materials complementary to the existing cast-in-place concrete and stucco walls of the existing building. The addition's façade materials add depth and

richness while creating a unified appearance with the existing palette. The simple articulation of the storefront fenestration contrasts subtly with the rhythm of the punched window openings of the original building, complimenting the original building architecture. By utilizing the long-lasting, classic materials of stucco and glass, the new addition underscores the building's sense of permanence and civic sensibility. The overall recessed placement of the addition allows the generous transparency of the front façade to wrap the corner and supports the more solid prominence of the main entry. Therefore, this guideline is met.

19.508.4.D.3 Façade transparency and activation guidelines. (applicable to addition area only)

- a. Design street-facing nonresidential and mixed-use ground floors with a high percentage of glazing to create transparency and engagement at the pedestrian eye level.
- b. Design nonresidential and mixed-use street-facing upper floors with sufficient glazing coverage to create visual interest along the façade and access to views, light, and air for building inhabitants.
- c. Design residential street-facing façade glazing coverage to balance transparency and privacy for residents.
- d. Arrange glazing to provide balanced coverage of the façade and limit blank walls on both street-facing and street-visible façades. If blank walls are proposed, use alternatives to glazing such as artwork, murals, vertical landscaping, and changes in materials or articulation to create visual interest.
- e. Design window and doors to maximize transparency and flexibility for ongoing use and adaptation that can be integrated into planned and future building uses and operations, considering such future treatments as shades, curtains, security fencing, and product shelving near windows or doors.

The generous fenestration along the north façade embraces the civic position of the building alongside a popular downtown park, and the community service nature of the building. The storefront glazing at the more communal and public portions of the building allows for future flexibility and the potential for building adaptation near the front entrance. While the north facade seeks to maximize glazing facing the park, the east façade balances the need to limit glazing facing the Habitat Conservation Area (HCA) to avoid light spill and other detrimental effects to habitat. In this case, the stucco portions of the east wall are intended to create a backdrop to plantings and support the ecological function of the site. Generous plantings are proposed along the east façade to mitigate building impacts on the HCA. Therefore, this guideline is met.

19.508.4.E.3 Building entrances guidelines.

a. Entryways should be sited to provide access where the highest amount of pedestrian activity is planned and where the pedestrian experience is designed to be exceptional. Primary building entries should be located along the Main Street or transit street frontage, where present, or at the corner of 2 such frontages for corner lots, whenever possible. Primary entries should not be oriented towards parking lots and service areas.

b. Building entries should be designed as prominent architectural features that are clearly defined and demarcated. Entryways should integrate features such as scale, materials, glazing, projecting or recessed forms, architectural details, and color in entryway areas, along with accent features such as lighting and landscaping to set an entry apart.

c. Nonresidential doors should create a strong connection to the street through the use of techniques such as storefront doors and surrounding windows with a high percentage of glazing, double doors, and large glazed sectional doors.

d. Residential entryways should incorporate vertical and horizontal layering by including a comfortable change of grade or entry features such as porches, terraces, stoops, or covered landings to create a connection to the street while maintaining a respectful separation for resident privacy. Residential doors should be substantial enough to suggest privacy yet still express a welcoming sense of friendly contact for those who approach and enter.

The building's primary entry faces downtown and the adjacent public park, creating a welcoming front door to the site. The new addition emphasizes the primary entrance of this community service building by presenting a calm and subtly contrasting architectural "foil" to the original building design. The original entry utilizes glazed double doors which are generously sized and welcoming. The new addition reinforces the entrance with simple and unobtrusive fenestration patterning that helps the addition visually "step-back." The massing of the addition reflects the proportions of the original northwest wing of the building, both of which flank the more prominent entry portion of the building and reinforce the prominence of the building's front door. Therefore, this guideline is met.

19.508.4.F.3 Windows guidelines. (applicable to addition area only)

a. Window materials should be compatible with other primary wall and surface materials while providing a degree of contrast. Materials should be high quality and provide a high degree of transparency. Windows should provide shadowing through use of trim and/or recesses.

b. Nonresidential uses should provide windows at the street level, inviting pedestrians in and providing views both in and out, maintaining transparency and visibility regardless of the time of day.

c. Ground-floor street-facing nonresidential windows should engage with the street and connect indoor and outdoor spaces, such as through the use of operable, opening windows (e.g., sliding, pivoting, or articulating windows).

d. Window groupings, proportions and orientation should create a sense of rhythm and pattern to provide architectural interest to the overall building composition.

The design of the new addition proposes generous glazing at the north façade, facing the public park and downtown. High quality storefront glazing is used, reflecting the civic, downtown-adjacent character of the site, and creating a sense of transparency and welcome at the pedestrian scale. This transparency is appropriate to the communal use of the new addition and supports the building's civic prominence as an edge to the popular public park. Glazing on the east façade is limited to respect the HCA and create a backdrop to the layered plantings along the busy transit corridor of Hwy 99E. Therefore, this guideline is met.

19.508.4.G.3 Corners guidelines.

Guidelines not applicable to this project. The site is not located on a corner.

19.508.4.H.3 Building massing and transitions guidelines.

Guidelines not applicable to this project. Not applicable for expansions or additions per MMC 19.508.2.B.

19.508.4.I.3 Weather protection design guidelines. (applicable only if addition includes an entry)

a. Along the ground floor, buildings should protect pedestrians from inclement weather and provide shade in the summer through use of awnings, canopies, marquees, or elements of the building structure itself such as recesses or balconies. The total amount of awning, canopy, and/or marquee coverage along a façade should provide adequate weather protection for pedestrians without overly shadowing the sidewalk.

b. Awnings, canopies, and marquees should be placed over all building entrances and storefront windows or other similar locations and integrated with other entryway design features. (See Subsection 19.508.4.E.) The total amount of awning, canopy and/or marquee coverage along a façade should provide adequate weather protection for pedestrians without overly shadowing the sidewalk.

c. The design of awnings, canopies, marquees, and elements of the building structure should be an integral and well-proportioned component of the building façade. Awnings, canopies, and marquees should not obscure or negatively impact the character-defining features of the subject building.

d. Canopies and awnings should be sized to match individual entrances and storefront windows. They should be placed directly above such features and should

not extend outside the piers and lintel of the storefront opening. A single awning or canopy spanning across multiple commercial storefronts and that obscures character-defining features is strongly discouraged.

e. Weather protection features should be well proportioned relative to the sidewalks. Features should not project so far into the public right-of-way as to detract from street trees, light fixtures, or street furniture, but should extend far enough to provide coverage for pedestrians at entrances and windows. Features should provide adequate vertical clearance for pedestrian movement.

f. Awnings, canopies, and marquees should be of high-quality materials and should not include vinyl.

g. Awning or canopy lighting, if provided, should highlight the building, or illuminate the sidewalk and should not illuminate awnings or canopies from below or internally.

Both the existing building and addition feature generous weather protection along the north façade, which is the most pedestrian oriented frontage. The main entrance steps back from the roofline, offering protection for people entering the building. Similarly, the addition incorporates a projecting roofline that provides solar shading for the generous windows of the addition. These canopy elements are an integral component of the architectural design, and create a language of layering and protection, which helps articulate the façade and provide visual interest as well as weather protection and shade. The scale of the canopies is well integrated with the overall one-story building design and reflects the pedestrian scale of the adjacent park. As integral parts of the roofline, the material of the canopies is of a high quality and complements the building's architecture. Therefore, this guideline is met.

19.508.4.J.3

Roofs and rooftop equipment screening guidelines. (for expansions that include a new roof and rooftop equipment)

a. Building rooflines should enliven the pedestrian experience and be of visual interest, with detail and variation that will create a skyline composed of interesting forms and shadows. Building silhouettes should be compatible with those of other buildings along the existing streetscape.

b. Roof shape, surface materials, colors, mechanical equipment, and other penthouse functions should all be integrated into the overall building design and should be considered an additional façade to complement the building's design.

c. Roof mounted mechanical equipment should be hidden from public street view by parapets, screening walls, vertical landscaping or green roof features, enclosures installed as an integral part of the architectural composition, strategic placement, or similar treatments. If such treatments are not practicable, mechanical units may be painted in lieu of screening with muted, neutral colors

that make the equipment visually subordinate to the building and any adjacent buildings.

New rooftop equipment supporting the addition is screened with a rooftop screen wall, creating an integral component of the building architecture while hiding HVAC equipment. The siding of the screen wall reflects the color and material of the existing building siding, which helps integrate the screen with the overall building design. Additionally, the rectilinear form of the screen enclosure harmonizes with the low horizontal massing of the building and is set-back from the building edge to limit views from the park and the highway. Therefore, this guideline is met.

19.508.4.K.3 Service areas (screening) guidelines.

Not applicable for expansions or additions, per 19.508.2.B

19.508.4.L.3 Resident open space guidelines.

Not applicable since the project does not include residential uses.

19.508.4.M.3 Plazas and usable open space guidelines.

Not applicable since the building does not create a plaza. The building is adjacent to the public park and seeks to maximize windows oriented to the park with generous floor to ceiling storefront glazing.

19.508.4.N.3 Outdoor and exterior building lighting guidelines. (If addition includes lighting)

a. Exterior lighting should be used to articulate the building elements, including (but not limited to) entrances, common open spaces for residents, plazas and usable open space, signage, canopies, cornices, storefronts, and other architectural features. Lighting levels of entrances, areas underneath weather protection elements, and all open spaces should be pedestrian scale and provide a sense of safety.

b. All lighting should be designed to prevent unnecessary illumination of adjacent sites, with the exception of adjacent sidewalks within a public-right-of-way where illumination is desired. As a rule of thumb, lighting levels should be no greater than necessary to provide for pedestrian safety, property or business identification, and crime prevention.

c. Flashing or strobe lights, fluorescent tube lights, and security spotlights are strongly discouraged from use on building exteriors.

Minimal new lighting is proposed to avoid detrimental impacts on the Habitat Conservation Area (HCA) to the east, and to not deter from the character of the public park to the north and the Willamette River to the west. Exiting soffit lighting at the main entrance will be maintained, which reinforces the entrance without creating glare and disturbing the Riparian ecology.

New lighting will be restrained and minimal in nature, directing most of the luminance at ground surfaces to avoid unnecessary illumination. The design does not include flashing or strobe lights, fluorescent tube lights or security spotlights. Therefore, this guideline is met.

7. Community service use, MMC 19.904 / Conditional use

19.904.2.B Community service uses include sewage pumping stations and water wells, pump stations, reservoirs, and any other facilities used for production, treatment, and distribution of the municipal water supply.

19.904.4.A CSU Approval Criteria: The building setback, height limitation, and off-street parking and similar requirements governing the size and location of development in the underlying zone are met. Where a specific standard is not proposed in the CSU, the standards of the underlying zone are met.

The proposed development meets setback, height, and off-street parking requirements. Therefore, this criteria is met.

19.904.4.B CSU Approval Criteria: Specific standards for the proposed uses as found in Subsections 19.904.7-11 are met.

The cited sections do not include criteria specific to this use. Therefore, this criteria is met.

19.904.4.C CSU Approval Criteria: The hours and levels of operation of the proposed use are reasonably compatible with surrounding uses.

No changes to existing hours and level of operations are proposed by this project. The Kellogg WRRF has been in place since 1974 and been in operation for decades. WES has always sought to be a good neighbor, ensure that plant operations are compatible with the surrounding are and minimize off-site impacts to the extent possible. Therefore, this criteria is met.

19.904.4.D CSU Approval Criteria: The public benefits of the proposed use are greater than the negative impacts, if any, on the neighborhood.

The Kellogg WRRF provides a clear and substantial public benefit to the local community, the environment, the river, and the City of Milwaukie, in keeping with the stated purpose and mission of WES. Any negative impacts will not be increased by the proposed development. Therefore, this criteria is met.

19.904.4.E	CSU Approval Criteria: The location is appropriate for the type of use proposed. <i>The location of WES is entirely appropriate to its operation and mission. In addition, its riverfront location provides a community benefit by maximizing access to the river. Therefore, this criteria is met.</i>
19.904.5.C	The planning director may approve minor modifications to an approved community service use per section 19.1004 Type I Review, provided that such modification meets the criteria of this section. <i>The applicant believes the proposed use qualifies as a minor modification, and has addressed the criteria of section 19.904.5.C below.</i>
19.904.5.C.1	(The modification) Does not increase the intensity of use. <i>The proposed addition does not increase the capacity or functionality of the water resource recovery facility and treatment volumes will remain the same. Nor does the proposal increase the capacity of the administration building to support an increased number of staff. No new staff will be added by this project. In addition, vehicular traffic to and from the site will not increase as a result of the proposal. Therefore, the proposal meets this criterion.</i>
19.904.5.C.2	(The modification) Meets all requirements of the underlying zone relating to building size and location and off-street parking and the standards of Title 19. <i>The proposed addition fulfills the requirements of the Downtown Zone. While the building does not meet the minimum FAR requirements outlined in the zoning code, it brings the existing building closer to conformance with an increase in building square footage. The proposed development meets the Downtown Zone setback standards, which correspond to no required street, side and rear setbacks. The off-street parking standards are met, as no off-street parking is required for nonresidential uses, and this facility is not subject to the off-street parking requirements listed in Table 19.605.1. No new parking is proposed with this project. Therefore, the proposal meets this criterion.</i>
19.904.5.C.3	(The modification) Does not result in deterioration or loss of any protected natural feature or open space and does not negatively affect nearby properties. <i>The proposal does not result in a substantial deterioration or loss of any protected natural feature or open space on the site and does not negatively affect nearby properties. The new addition will disturb approximately 2,400 SF, or 4% of the Habitat Conservation Area (HCA) of the site. As this is less than 10% of the HCA on the site, it is allowed by right (19.402.11.D), but will be mitigated by planting new native trees and shrubs, per the mitigation requirements outlined in the Natural Resource Review of the zoning code, 19.402.11.D New native trees are proposed along the Willamette riverbank that support the health of the riparian ecology and stability of the riverbank itself. New native shrubs are proposed between the building addition and the street. The proposal supports a more robust riparian</i>

ecology, thereby protecting the Willamette River, and the adjacent open space of the public park to the north of the site. The addition of new native shrubs between the addition and the street better screen the building from its neighbors, and the new native trees along the riverbank help screen the facility from public users of the waterway. Therefore, the proposal meets this criterion.

19.904.5.C.4 (The modification) Does not alter or contravene any conditions specifically placed on the development by the Planning Commission or City Council.

This facility was approved by the Milwaukie Planning Commission in 1970 as a Governmental Use, which is a conditional use. In November 1985 a Community Service Use application was approved for the installation of odor reduction devices and on-site sludge facilities that would eliminate the need for hauling odorous, activated sludge through the community. Subsequent land use applications to permit construction of odor control improvements were approved in 1993 and 1999. There are no relevant conditions of approval as part of these earlier decisions that would preclude the addition proposed to the administration building. The addition does not result in an increased number of staff on site. The new addition does not impact the capacity, functionality, or off-site impacts of the water resource recovery facility, and because of this does not affect any conditions associated with any previous approvals. Therefore, the proposal meets this criterion.

19.904.5.C.5 (The modification) Does not cause any public facility, including transportation, water, sewer and storm drainage, to fail to meet any applicable standards relating to adequacy of the public facility.

The proposal does not cause any public facility, including transportation, water, sewer and storm drainage, to fail to meet any applicable standards relating to adequacy of the public facility. The proposed addition impacts the administration building only and will not disrupt the services performed by the water resource recovery facility. The area of site disruption during construction will be limited to the northern end of the site. The proposed addition will not interrupt services nor impact the functionality of the site or facility. Therefore, the proposal meets this criterion.

19.904.5.B Minor modification of an existing conditional use shall be approved if the following criteria are met.

Since the Community Service Use (CSU) is a type of conditional use, the approval criteria or 19.904.5.B have also been addressed.

19.904.5.B.1 The proposed modification will not significantly increase the intensity of the use at this location.

The proposed addition will not significantly increase the intensity of the use on the site. The capacity and functionality of the water resource recovery facility will not be altered, and treatment volumes will remain the same. Nor does the proposal increase the capacity of the administration building to support an increased number of staff. No new staff will be added because of this project. In addition, vehicular traffic to and from the site will not increase as a result of the proposal. Therefore, the proposal meets this criterion.

19.904.5.B.2 The proposed modification will comply with all applicable development standards and requirements of the base zone, any overlay zones or special areas, and the standards in Section 19.905.

The proposed addition fulfills the requirements of the Downtown Zone, the Willamette Greenway Overlay Zone, and the standards for minor modifications to a conditional use. While the building does not meet the minimum FAR requirements outlined in the Downtown Zone code, it brings the existing building closer to conformance with an increase in building square footage. The proposed development meets the Downtown Zone setback standards, which correspond to no required street, side and rear setbacks. The off-street parking standards are met, as no off-street parking is required for nonresidential uses, and this facility is not subject to the off-street parking requirements listed in Table 19.605.1. No new parking is proposed with this project.

Regarding the Willamette Greenway Overlay Zone, the proposal represents only a minor alteration to the site and provides additional landscaping with new native trees and shrubs that further screen the facility from the Willamette River, the neighborhood, and supports a positive relationship with the public park to the north of the site. Views to the river and pedestrian and vehicular connectivity across the site will not be substantially impacted by the proposal. The addition supports a positive relationship between the public, the facility, and the natural resources of the Willamette Greenway with generous landscape buffers and reinforcement of the native riparian ecology. In addition, the proposal represents only a minor alteration to the existing Conditional Use and is approvable as it does not alter the intensity of use on the site and has a very limited detrimental impact on the site ecology, which will be mitigated per the requirements of the code. Therefore, the proposal meets this criterion.

19.904.5.B.3 The proposed modification will not negatively impact nearby uses, protected natural features, or public facilities more than the original conditional use.

The proposal does not negatively impact nearby uses, protected natural features or public facilities more than the original conditional use. The minimal size of the proposed addition, and the planting of new native trees and shrubs supports the public use of the city park to the north of the site and screens the facility from the Willamette River and the street. This limits the impact of the addition on the residential neighborhood, the park, and the public access along the river. New native trees are proposed along the Willamette riverbank that support the health of the riparian ecology and stability of the riverbank itself. New native shrubs are proposed between the building addition and the street. The proposal supports a more robust riparian ecology, thereby protecting the Willamette River, and the adjacent open space of the public park to the north of the site. The addition of new native shrubs between the addition and the street better screen the building from its neighbors, and the new native trees along the riverbank help screen the facility from public users of the waterway. Therefore, the proposal meets this criterion.

19.904.5.B.4 The proposed modification will comply with any conditions of approval from the original conditional use approval.

This facility was approved by the Milwaukie Planning Commission in 1970 as a Governmental Use, which is a conditional use. In November 1985, a Community Service Use application was approved for the installation of odor reduction devices and on-site sludge facilities that would eliminate the need for hauling odorous, activated sludge through the community. Subsequent land use applications to permit construction of odor control improvements were approved in 1993 and 1999. There are no relevant conditions of approval as part of these earlier decisions that would preclude the addition proposed to the administration building. The addition does not result in an increased number of staff on site. The new addition does not impact the capacity, functionality, or off-site impacts of the water resource recovery facility, and because of this does not affect any conditions associated with any previous approvals. Thus, the proposal meets this criterion.

End of narrative.

April 29, 2024



WES KELLOGG ADMIN REMODEL RENDERING **VIEW FROM NORTH**

PRELIMINARY NOT
 FOR CONSTRUCTION

TREE REMOVAL AND PLANTING LEGEND



NOTES THIS SHEET

- EXISTING AND NEW PLAN LOCATIONS ARE APPROXIMATE, FULL SURVEY HAS NOT BEEN CONDUCTED.
- CONFIRM EXISTING IRRIGATION SYSTEM COVERAGE AND EXTEND AS NEEDED TO IRRIGATE NEW PLANTINGS.
- ALL TREE REMOVAL, PLANTINGS AND IRRIGATION LOCATED GREATER THAN 150 FT FROM ADMIN BUILDING EXTERIOR WALLS PROVIDED AND INSTALLED BY WES. ALL WORK LESS THAN 150 FT FROM ADMIN BUILDING EXTERIOR WALLS BY CONTRACTOR.

PLANTING SCHEDULE

Plant list: SHRUBS Note: plant in clusters, single species group of 4 plants each.

Quantity	Key	Common name	Botanical name	Min. Size	Spacing	Notes
18	AT FF	lady fern	Athyrium filix-femina	1 gal	3' oc	
14	CE SA	Oregon tea tree	Ceanothus sanguineus	3 gal	6' oc	
18	MA NE	Cascade Oregon grape	Mahonia nervosa	1 gal	3' oc	
14	RI SANG	red-flowering currant	Ribes sanguineum	3 gal	6' oc	
15	RU PA	thimbleberry	Rubus parviflorus	2 gal	4' oc	
15	VA OV	evergreen huckleberry	Vaccinium ovatum	2 gal	4' oc	
13	MA AQ	Oregon grape	Mahonia aquifolium	3 gal	4' oc	
13	RO ST	balship rose	Rosa gymnocarpa	3 gal	4' oc	
120	total					

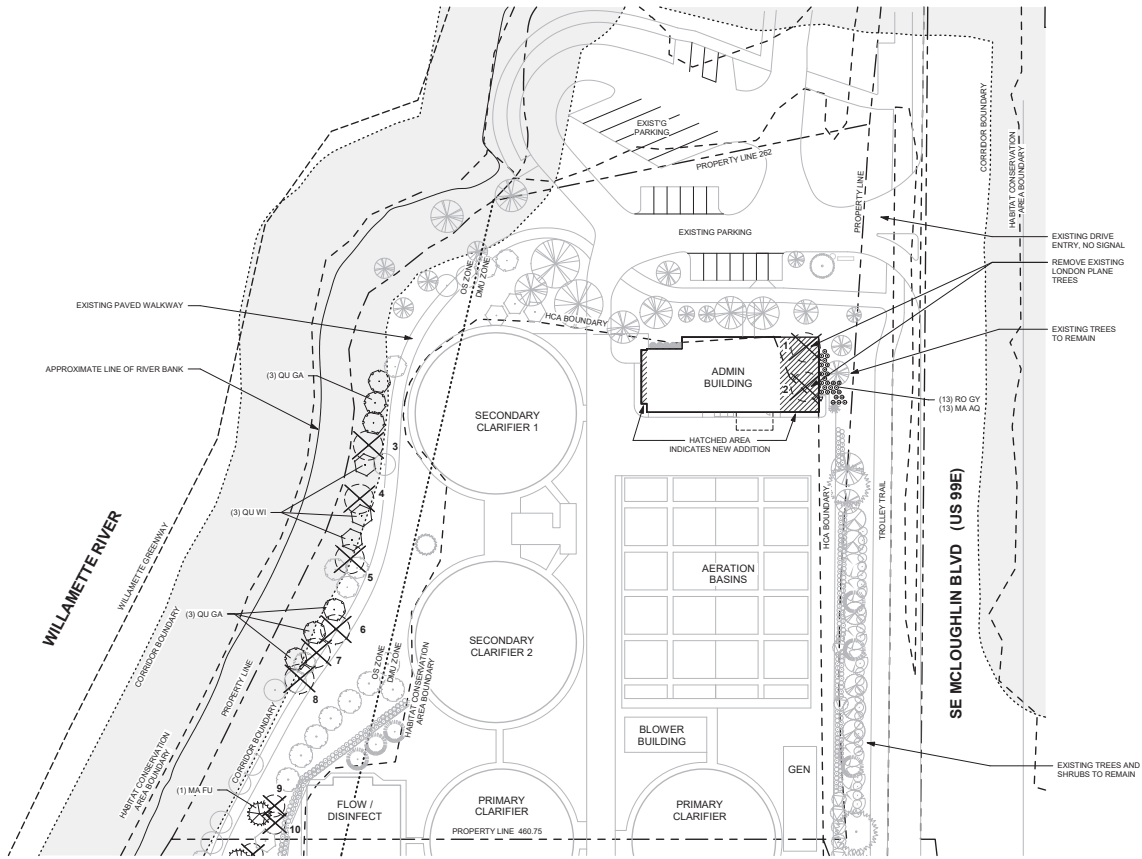
Plant list: TREES

Quantity	Key	Common name	Botanical name	Min. Size	Spacing	Notes
5	CO NU	Pacific dogwood	Cornus nuttallii	1/2" cal	10' oc or as noted on plan	
8	QU GA	Oregon oak	Quercus garryana	1/2" cal	30' or as noted on plan	Certified free of Phytophthora Ramorum
7	QU WI	interior live oak	Quercus wislizeni	1/2" cal	30' or as noted on plan	Certified free of Phytophthora Ramorum
3	MA FU	Western crabapple	Malus fusca	1/2" cal	10' or as noted on plan	
1	TA BR	Pacific yew	Taxus brevifolia	5 gal	as noted on plan	
24	total					

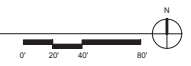
Trees to be removed:

27		black locust	Robinia pseudoacacia
2		dead dogwood trees	
2		London plane	Platanus x acerifolia
31	total		

Note: for tree removals, retain portion of trunks as snags, where feasible.



1 TREE REMOVAL AND PLANTING PLAN - NORTH
 1" = 40'-0"



Issue	Revision	Date
		6/3/2024

TREE REMOVAL AND PLANTING PLAN - NORTH

Scale As indicated
 Date 6/3/2024

Sheet No. **L001**

TREE REMOVAL AND PLANTING LEGEND



NOTES THIS SHEET

- EXISTING AND NEW PLAN LOCATIONS ARE APPROXIMATE, FULL SURVEY HAS NOT BEEN CONDUCTED.
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13	MA AQ	Oregon grape	Mahonia aquifolium	3 gal	4' oc	
13	RO ST	balship rose	Rosa gymnocarpa	3 gal	4' oc	
120	total					

Plant list: TREES

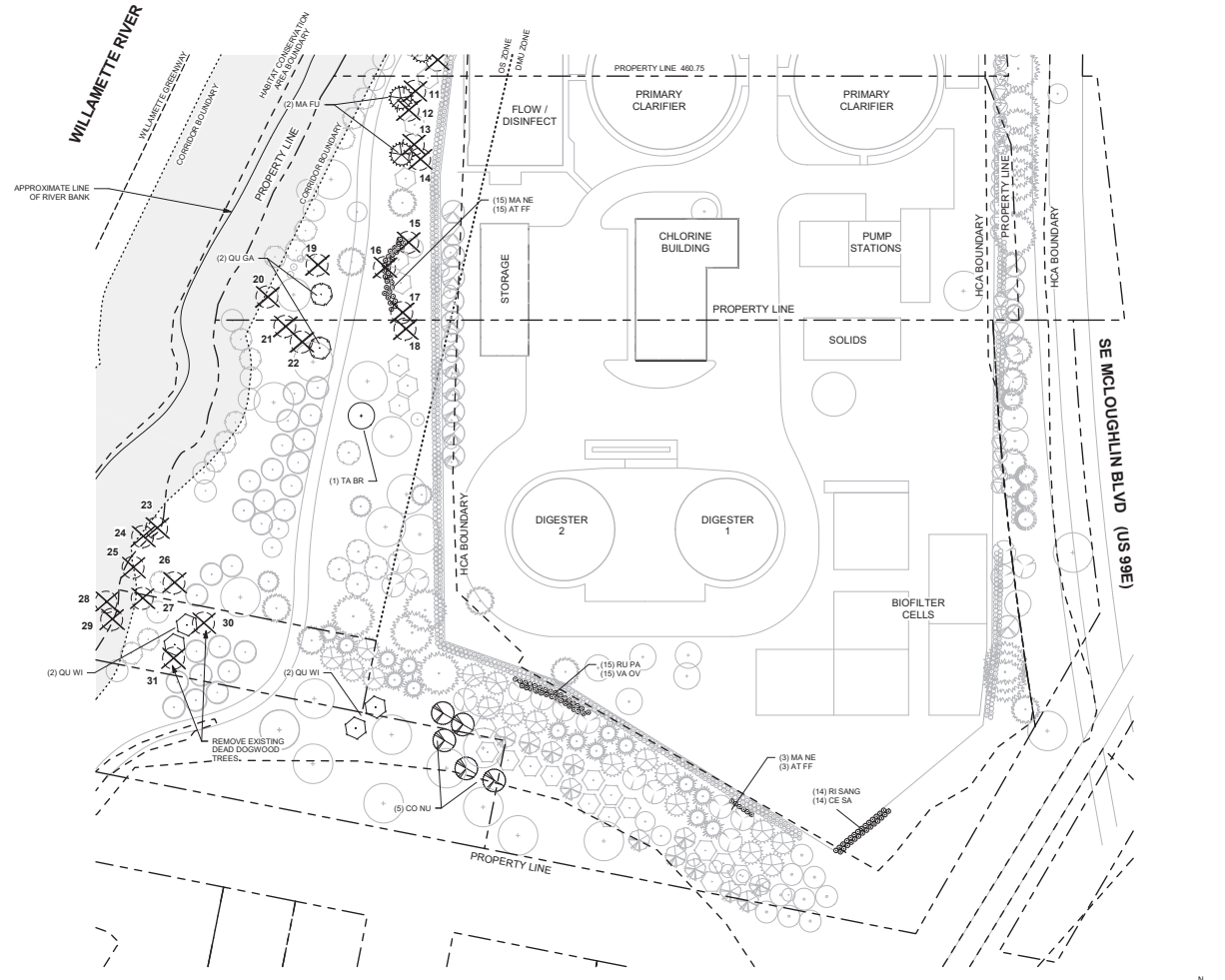
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1	TA BR	Pacific yew	Taxus brevifolia	5 gal	as noted on plan	
24	total					

Trees to be removed:

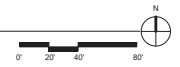
27	black locust	Robinia pseudoacacia
2	dead dogwood trees	
2	London plane	Platanus x acerifolia
31	total	

Note: for tree removals, retain portion of trunks as snags, where feasible.

PRELIMINARY NOT FOR CONSTRUCTION



1 TREE REMOVAL AND PLANTING PLAN - SOUTH
 1" = 40'-0"



Issue	Revision	Date
		6/3/2024

TREE REMOVAL AND PLANTING PLAN - SOUTH

Scale As indicated
 Date 6/3/2024
 Sheet No. **L002**

PROJECT DESCRIPTION

Project includes renovating the existing 3,000 sf Administration Building at the Kellogg Wastewater Recovery Facility. Existing locker rooms and break room currently housed in the chemical building will be relocated to the Admin Building. The existing conference room, offices and lab in the Admin Building will be reconfigured to support current operations.
A 1,200 sf addition will be constructed at the east end of the building, and the west carport and storage rooms will be converted to locker rooms. A small 160 sf addition will be added at the west end to provide expanded locker room space.

PRICING NOTES

- PROJECT WILL BE COMPLETED IN A SINGLE PHASE OF CONSTRUCTION, AND THE BUILDING WILL BE VACATED DURING CONSTRUCTION.
- CONSTRUCTION START DATE TO BE JANUARY 2025.
- ASSUME A DESIGN-BID-BUILD DELIVERY METHOD WITH A PUBLIC BID.
- CONTRACTOR MAY UTILIZE CONSTRUCTION PARKING AND STAGING AREAS AS SHOWN, BUT MAY NOT DISTURB EXISTING TURF AND LANDSCAPE SURFACES UNLESS REQUIRED FOR WORK.
- CONTRACTOR MAY NOT OBSTRUCT PRIMARY PLANT VEHICLE CIRCULATION.

SITE DESCRIPTION

ADDRESS: 11525 SE McLoughlin Blvd Portland, OR 97266
CITY: City of Milwaukie
PROPERTY ID: 00019302
OWNER: WATER ENVIRONMENT SERVICES
YEAR BUILT: 1974
BASE ZONE: Split zoned DMU and OS
OVERLAY ZONE: n/a
LOT AREA: TL1500: 3.99 acres / 173,804 sf
EXISTING BUILDING AREA: 3,647 sf
EXISTING BLDG FOOTPRINT: 4,447 sf

ZONING CODE NOTES

19.304 Downtown Zone (DMU)
Development standards:
FAR Min: 0.5:1
FAR, proposed: <0.1:1
Height, max: 25 ft
Height, proposed: 19 ft
Setbacks: N/A
Frontage occupancy: not required
Parking, on-site: not required

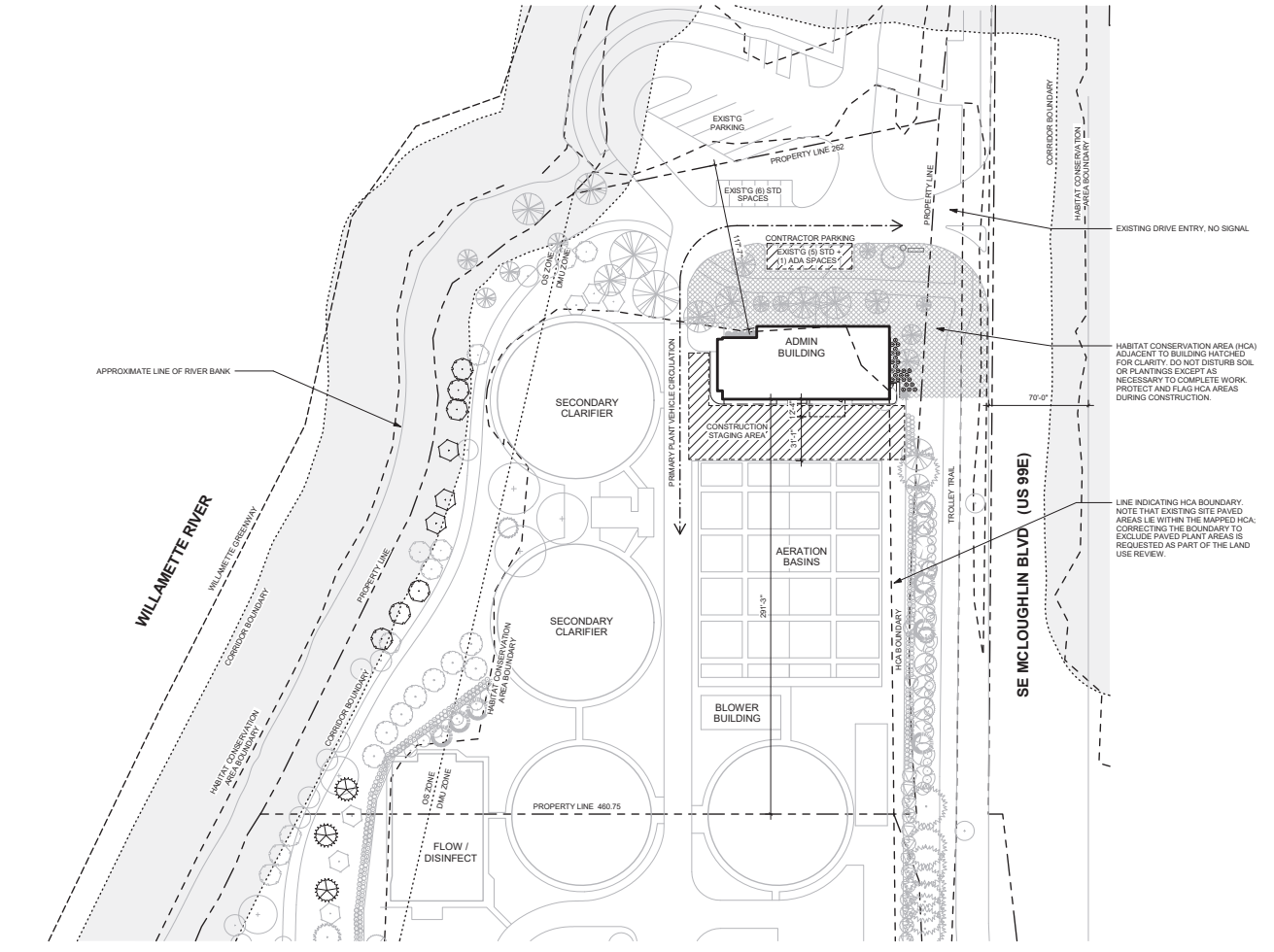
19.401 Willamette Greenway
Site is within the Willamette Greenway (WG) overlay zone.

19.402 Natural Resources
The proposed improvement lie partially within a Habitat Conservation Area (HCA).
The total amount of HCA on the subject tax lot is approximately 68,000 sf and the proposed disturbance is approximately 2,400 sf (4%). Per 19.402.11.D.1.b, a maximum net disturbance area of 10% of the HCA on the site is allowed by right, with mitigation.
Mitigation plantings are proposed using the "Option 2" method described in 19.402.11.D.2.b, which requires a minimum of 24 trees and 120 shrubs for 2,400 sf of HCA disturbance.

19.904 Community Service Use
The existing use is a Community Service Use (CSU), which is a type of Conditional Use. A minor modification to the existing CSU is proposed.

19.907 DMU Design Review
The building is located in the DMU zone and subject to Downtown Design Review.

PRELIMINARY NOT FOR CONSTRUCTION



1 OVERALL SITE PLAN
1" = 40'-0"

Issue	Revision	Date
		4/29/2024

CIVIL NARRATIVE

Civil elements in the proposed project include:

AC pavement patching: Patching asphalt pavement required for utility trenches and selected footings, as required by proposed site improvements. Heavy vehicular asphalt paving, 2" thick dense AC over 2" thick dense AC over 12" crushed rock base over geotextile over approved subgrade, or match found base conditions.

New sidewalk and curb: As shown on site plan, 4" concrete sidewalks over 4" crushed rock base over approved subgrade. Slope sidewalk 1.5% away from building. Dowel new sidewalks to adjacent existing with 1" dia smooth dowels 18" long at 12' o.c. with construction joint. Thickened edge with 6" curb. ADA texture at curb ramps.

Striping: New as shown on site plan.

Stormwater: Connect existing storm drains and route new storm drains to existing storm piping below grade, cast iron piping. Existing piping connects to plan process, no on-site infiltration. Assume existing storm piping present within 10 ft of building exterior walls.

Foundation drains: Install 4" perforated drain pipe along new addition footings, embed in crushed drain rock wrapped with geotextile fabric. Connect foundation drain system to storm pipe system.

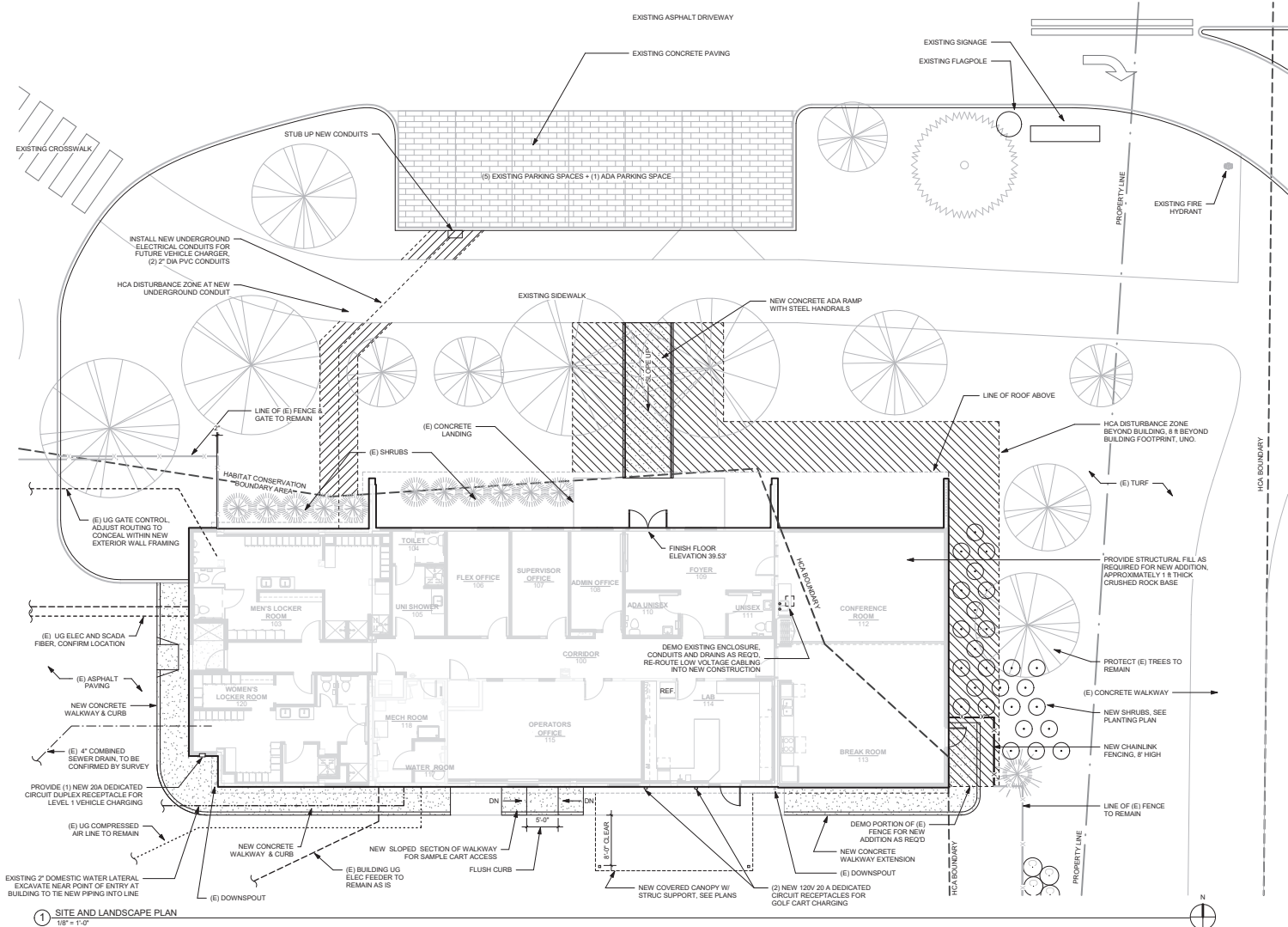
Utility trenching: Minor relocation and extension of existing below grade utilities is anticipated. Match piping and depth of existing utilities, trench and backfill with crushed rock.

Other items: Off-site improvements not proposed nor required by City of Milwaukie. Radon system not proposed or required by GSSC.

LANDSCAPE AND PLANTING NOTES

1. Remodel existing irrigation system as needed for new addition. Provide irrigation coverage for new plantings.
2. Protect existing habitat conservation area and existing trees with construction fencing.
3. Generally, landscaped areas on the north and east sides of the building may not be used for construction activities.

PRELIMINARY NOT FOR CONSTRUCTION



1 SITE PLAN AND LANDSCAPE PLAN
 1/8" = 1'-0"

Issue	Revision	Date
LAND USE		4/29/2024








① OVERALL FLOOR PLAN - LEVEL 1
1/8" = 1'-0"



LEGEND

PLAN VIEWS

-  NEW FULL HEIGHT CONSTRUCTION
-  NEW PARTIAL HEIGHT CONSTRUCTION
-  LINE OF ITEM ABOVE
-  EXISTING CONSTRUCTION
-  EXISTING CONSTRUCTION TO BE DEMOLISHED

deca
architecture . inc
935 SE Alder Street - Portland Oregon 97214
tel 503 239 1367

WES KELLOGG CREEK WRRF
ADMIN BUILDING REMODEL
11525 SE MCLOUGHLIN BLVD
MILWAUKIE, OR 97222

PRELIMINARY NOT
FOR CONSTRUCTION

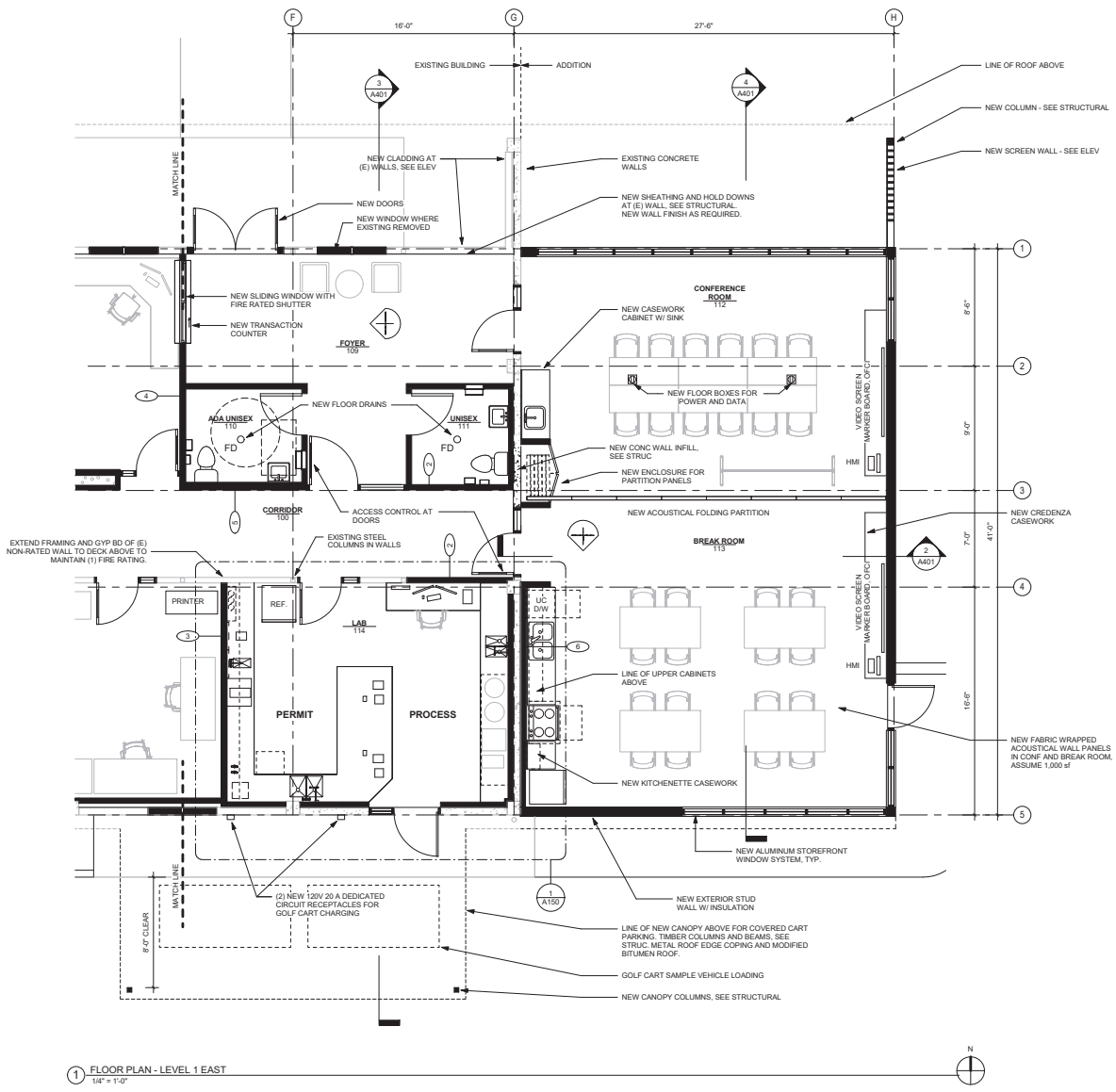
Issue	Revision	Date
LAND USE		4/29/2024

OVERALL FLOOR PLAN
- LEVEL 1

Scale As indicated

Date 4/29/2024

Sheet No. **A100**



LEGEND

PLAN VIEWS

- NEW FULL HEIGHT CONSTRUCTION
- NEW PARTIAL HEIGHT CONSTRUCTION
- LINE OF ITEM ABOVE
- EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO BE DEMOLISHED

deca architecture inc
 935 SE Alder Street - Portland Oregon 97214
 503 239 1387

WES KELLOGG CREEK WRRF
 ADMIN BUILDING REMODEL
 11525 SE MCLOUGHLIN BLVD
 MILWAUKIE, OR 97222

PRELIMINARY NOT FOR CONSTRUCTION

Issue	Revision	Date

1 FLOOR PLAN - LEVEL 1 EAST
 1/4" = 1'-0"

FLOOR PLAN - LEVEL 1 EAST
 Scale As indicated
 Date 4/29/2024
 Sheet No. **A101**

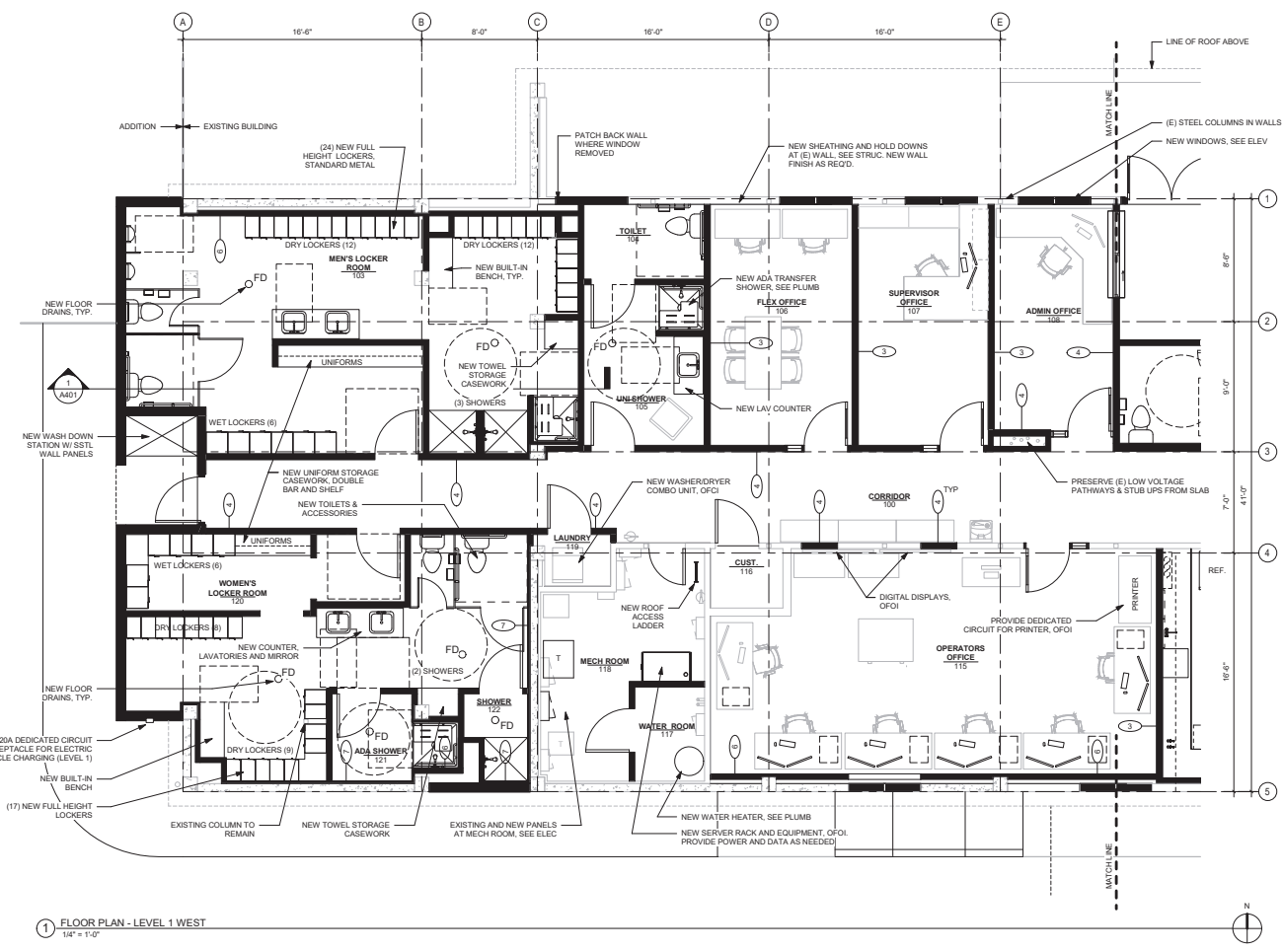
LEGEND

PLAN VIEWS

- NEW FULL HEIGHT CONSTRUCTION
- NEW PARTIAL HEIGHT CONSTRUCTION
- LINE OF ITEM ABOVE
- EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO BE DEMOLISHED

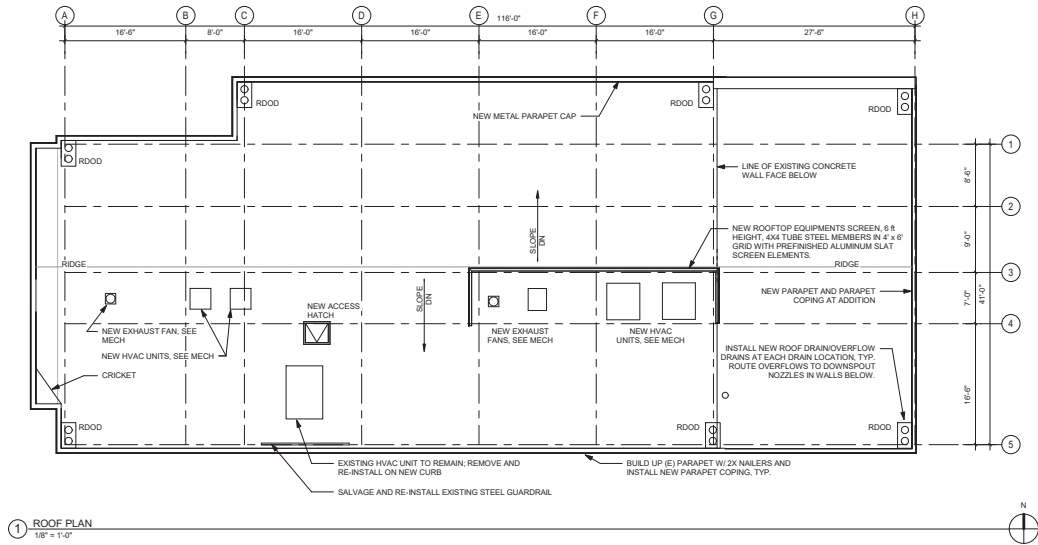
WES KELLOGG CREEK WRRF
 ADMIN BUILDING REMODEL
 11525 SE MCLOUGHLIN BLVD
 MILWAUKIE, OR 97222

PRELIMINARY NOT
 FOR CONSTRUCTION



1 FLOOR PLAN - LEVEL 1 WEST
 1/4" = 1'-0"

Issue	Revision	Date
		4/29/2024



NOTES THIS SHEET

1. ROOF TYPE TO BE R1, UNO. REFERENCE ASSEMBLES SHEET FOR ROOFING MATERIALS AND INSULATION.
2. ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE OF FRAMING, UNO.
3. SEE LIFE SAFETY PLAN FOR FIRE RATING REQUIREMENTS. OPENINGS OR PENETRATIONS IN FIRE RATED ASSEMBLES SHALL BE PROTECTED AND FIRESTOPPED AS REQUIRED BY CODE.
4. PATCH AND REPAIR ANY HOLES OR PENETRATIONS IN ROOF DECK LEFT BY DEMOLISHED ITEMS WITH NEW MATERIALS TO MATCH EXISTING.
5. ALL CRICKETS TO SLOPE AT 0.5:12 MINIMUM.
6. MAINTAIN ALL EXISTING PLUMBING VENTS AND OTHER PENETRATIONS AS REQUIRED FOR CONTINUED OPERATION OF EXISTING SYSTEMS. PAINT ALL VENT PIPES AND OTHER MINOR PROJECTIONS TO MATCH ROOF SURFACE, UNO.
7. PROVIDE NEW TAPERED INSULATION CRICKETS AT ALL NEW HVAC UNIT CURBS, UNO.
8. PROVIDE VIBRATION ISOLATION AT ALL NEW HVAC UNITS, UNO.



WES KELLOGG CREEK WRRF
 ADMIN BUILDING REMODEL
 11525 SE MCLOUGHLIN BLVD
 MILWAUKIE, OR 97222

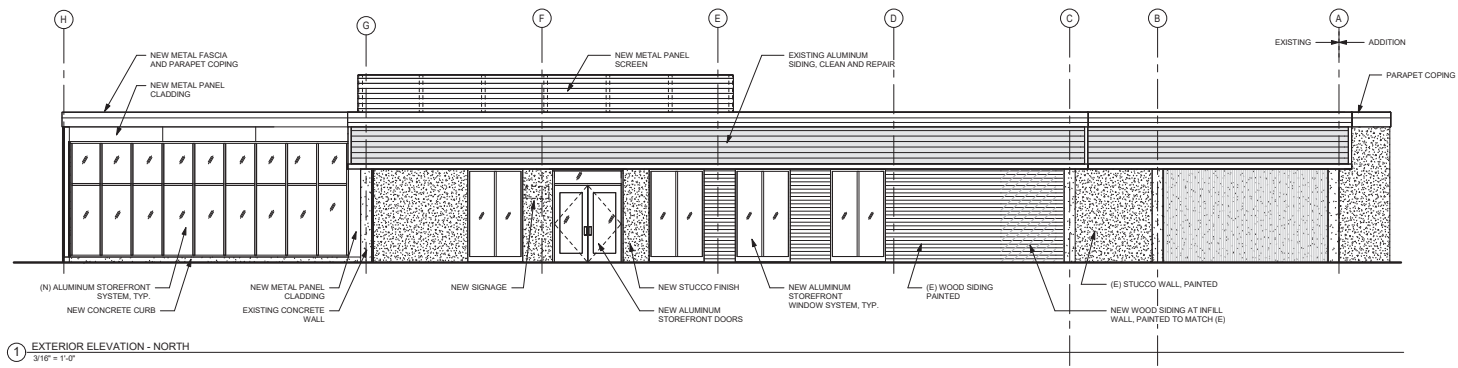
PRELIMINARY NOT FOR CONSTRUCTION

Issue	Revision	Date
LAND USE		4/29/2024

ROOF PLAN

Scale As indicated
 Date 4/29/2024

Sheet No. **A103**



1 EXTERIOR ELEVATION - NORTH
3/16" = 1'-0"

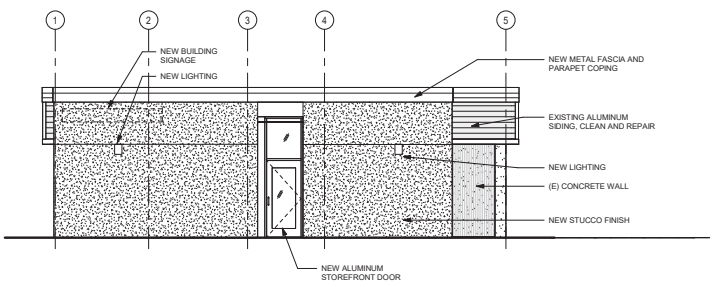
LEGEND

- EXISTING PRE-CAST CONCRETE WALLS, FLUTED TEXTURE
- STUCCO
- WOOD HORIZONTAL LAP SIDING
- ALUMINUM SIDING, FAUX WOOD LOOK
- GLAZING

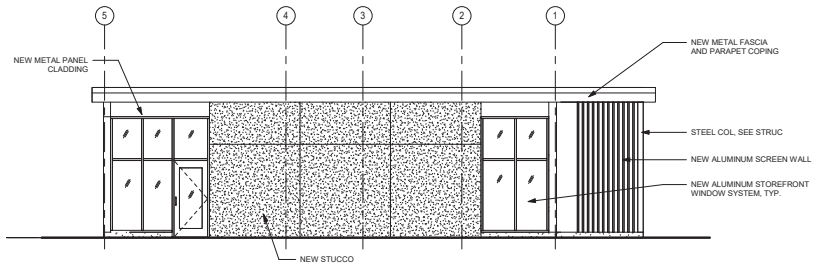
- NOTES THIS SHEET**
1. ALL EXISTING PAINTED AND STAINED SURFACES TO BE RE-PAINTED.
 2. ASSUME REPLACEMENT OF (E) EXISTING EXTERIOR LIGHTS WITH NEW.
 3. ALL DOORS AND WINDOWS ARE NEW, UNO.

deca
architecture . inc
935 SE Alder Street - Portland Oregon 97214
tel: 503 239 1387

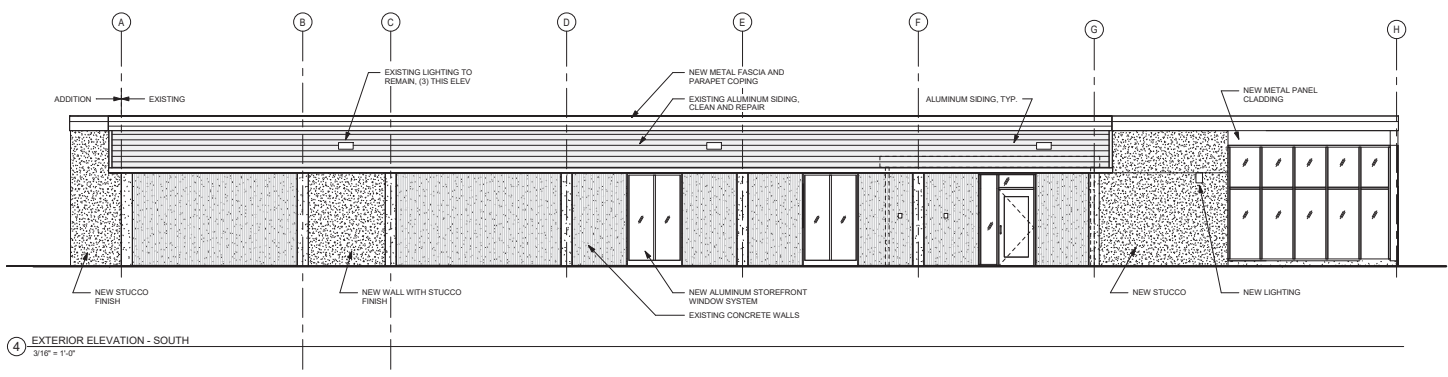
WES KELLOGG CREEK WRRF
ADMIN BUILDING REMODEL
11525 SE MCLOUGHLIN BLVD
MILWAUKIE, OR 97222



2 EXTERIOR ELEVATION - WEST
3/16" = 1'-0"



3 EXTERIOR ELEVATION - EAST
3/16" = 1'-0"



4 EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"

PRELIMINARY NOT
FOR CONSTRUCTION

Issue	Revision	Date
LAND USE		4/29/2024

EXTERIOR ELEVATIONS
Scale As indicated
Date 4/29/2024
Sheet No. **A301**



CITY OF MILWAUKIE

March 28, 2024

Shem Harding
935 SE Alder St
Portland, OR 97214

Re: Preapplication Report

Dear Shem:

Enclosed is the Preapplication Report Summary from your meeting with the City on 3/14/2024, concerning your proposal for action on property located at 11525 SE McLoughlin Blvd.

A preapplication conference is required prior to submittal of certain types of land use applications in the City of Milwaukie. Where a preapplication conference is required, please be advised of the following:

- Preapplication conferences are valid for a period of 2 years from the date of the conference. If a land use application or development permit has not been submitted within 2 years of the conference date, the Planning Manager may require a new preapplication conference.
- If a development proposal is significantly modified after a preapplication conference occurs, the Planning Manager may require a new preapplication conference.

If you have any questions concerning the content of this report, please contact the appropriate City staff.

Sincerely,

Emilie Bushlen
Administrative Specialist II



CITY OF MILWAUKIE
 10501 SE Main St
 Milwaukie OR 97222
 503.786.7555
 planning@milwaukieoregon.gov
 building@milwaukieoregon.gov
 engineering@milwaukieoregon.gov

Preapplication Conference Report

Project ID: 24-001PA

This report is provided as a follow-up to the meeting that was held on 3/14/2024 at 9:00 AM.

The Milwaukie Municipal Code is available here: <https://ecode360.com/MI4969>.

APPLICANT AND PROJECT INFORMATION

Applicant:	Shem Harding	Applicant Role: Architect
Applicant Address:	935 SE Alder St, Portland, OR 97214	
Company:	DECA Architecture	
Project Name:	Kellogg Creek WRRF administration building remodel and addition	
Project Address:	11525 SE McLoughlin Blvd (1S1E35AD01500 & 1600, 1S1E35DA00100, 200, & 201)	Zone: DMU (Downtown Mixed Use)
Project Description:	Construct an addition to the existing administration building, allowing for relocation of locker rooms, lunchroom, and laundry from the chemical building, with a larger conference room.	
Current Use:	Administration building on Kellogg Creek Wastewater Treatment Plant	
Applicants Present:	Shem Harding (architect, DECA), Lynne Chicoine (project manager, WES), Nathan Seaver (secondary project manager, WES), Gail Shaloum (landscape architect, WES), Mark Reuland (civil engineer, KPFF)	
Staff Present:	Brett Kelter (Senior Planner), Jeff Tolentino (Assistant City Engineer), Jennifer Backhaus (Engineering Tech III), Mandy Byrd (Development Project Manager)	

PLANNING COMMENTS

Zoning Compliance (MMC Title 19)

<input checked="" type="checkbox"/>	Use Standards (e.g., residential, commercial, accessory)	The property is zoned Downtown Mixed Use (DMU), which allows a combination of residential housing types and commercial uses. The existing wastewater treatment facility is not an outright permitted use; it was originally approved as a conditional use (1970) and has since been reviewed as a community service use (CSU).
<input checked="" type="checkbox"/>	Dimensional Standards	<p>The existing wastewater treatment facility is developed on five tax lots that total approximately 10.75 acres. No land division is proposed.</p> <p>Development standards for the DMU zone (including dimensional standards) are provided in Milwaukie Municipal Code (MMC) Sections 19.304.4 and 19.304.5.</p> <ul style="list-style-type: none"> • The minimum floor area ratio (FAR) for this location is 0.5:1. • The minimum building height is 25 ft but applies only to new buildings; base maximum height is 45 ft.

		<ul style="list-style-type: none"> • There are no minimum setback requirements (street/front, side, or rear), though the site frontage requirements of MMC Subsection 19.508.4.A.2.b.(2) establish a maximum setback of 10 ft for this particular frontage. <p>The existing administration building is nonconforming with respect to all three of these standards. The proposed development will not increase any nonconformity and in some cases will bring the site closer to conformance. No variances are needed for any of these standards.</p>
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Land Use Review Process		
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<input checked="" type="checkbox"/>	Applications Needed, Fees, and Review Type	<p>The proposed project will require the following applications for land use review:</p> <ul style="list-style-type: none"> • Community Service Use review (minor modification, Type I review) = \$50 • Natural Resource review (Type I or III, depending on HCA disturbance) = \$200 (Type I) or \$2,000 (Type III) • Willamette Greenway review (minor modification, Type I review) = \$200 • Downtown Design review (Type I or III review, depending on compliance with design standards) = \$2,000 <p>A separate Floodplain Development Permit will be processed as part of the associated building permit (no special fee).</p> <p><u>Note:</u> For multiple applications processed concurrently, the full price is collected for the most expensive application, with a 25% discount offered for each other application fee.</p>
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<input checked="" type="checkbox"/>	Application Process	<p>The applicant must submit a complete electronic copy of all application materials for the City's initial review. A determination of the application's completeness will be issued within 30 days.</p> <p>If the application is deemed incomplete, City staff will provide a list of items to be addressed upon resubmittal.</p> <p>Multiple applications will be processed concurrently at the highest review type. In this case, the entire application package will be processed with Type III review. For a Type I application, being processed with Type III review <u>does not</u> add discretion to the consideration of that application.</p> <p>For Type III review, a public hearing with the Planning Commission will be scheduled once the application is deemed complete. Meetings are conducted in a hybrid format, with the option of participating in person at City Hall or online via Zoom. Public notice of the hearing will be sent to property owners and current residents within 300 ft of the subject property no later than 20 days prior to the hearing date. At least 14 days before the hearing, a sign giving notice of the application must be posted on the subject property, to remain until the decision is issued. Staff will coordinate with the applicant to provide the necessary sign(s).</p> <p>Staff will prepare a report with analysis of the proposal and a recommendation that will be made available one week before the hearing. Both staff and the applicant will have the opportunity to make presentations at the hearing, followed by public testimony and then deliberation by the Commission for a decision.</p> <p>Issuance of a decision starts a 15-day appeal period for the applicant and any party who establishes standing. If no appeal is received within the 15-day window, the decision becomes final. Any appeal would be heard by the City Council to establish a final local decision.</p> <p>Development permits submitted during the appeal period may be reviewed but are not typically approved until the appeal period has ended.</p> <p>Note that the state requires land use decisions to be issued within 120 days of being deemed complete.</p> <p>The 2024 schedule for Planning Commission hearings is attached for reference if needed. It includes dates by which an application must be deemed complete to be eligible for a particular hearing date.</p>
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Overlay Zones (MMC 19.400)

<input checked="" type="checkbox"/>	<p>Willamette Greenway</p>	<p>The subject property is within the Willamette Greenway overlay zone and is subject to the provisions of MMC Section 19.401. Any change or intensification of use, or any development permitted in the underlying zone, is a conditional use and therefore subject to MMC Section 19.905.</p> <p>The proposed addition constitutes development and triggers the need for Willamette Greenway review as a conditional use. However, the provisions of MMC 19.905.4.B allow for review as a minor modification if there is no increase in intensity of use and no negative impacts to nearby uses. Staff believes the proposed building addition represents a minor modification of the existing situation.</p> <p>The conditional use minor modification approval criteria from MMC 19.905.4.B should be addressed, along with the approval criteria for Willamette Greenway review, found in MMC Subsection 19.401.6. These include compatibility with various character aspects of the river, protection of views, landscaping or similar buffering between the activity and the river, and conformance to applicable Comprehensive Plan policies (the Willamette Greenway is covered in Section 4).</p>
<input checked="" type="checkbox"/>	<p>Natural Resources</p>	<p>The subject property includes a designated Habitat Conservation Area (HCA) that extends along the north and east sides of the existing administrative building. The proposed addition will disturb a portion of the HCA and so is subject to the applicable provisions of MMC Section 19.402 and natural resource (NR) review.</p> <p>MMC Subsection 19.402.4 lists activities that are exempt from NR review, including removal of up to three nuisance or invasive species trees per year, maintenance of existing landscaping, and routine repair and maintenance of existing walkways with no increase in impervious area.</p> <p>MMC Subsection 19.402.6 lists activities that are permissible with Type I review, including removal of more than three invasive-species trees per year as well as disturbance to HCA resources that meets clear and objective standards. For nonresidential uses, up to 10% of the HCA on the site can be disturbed with Type I review. The subject property has approximately 194,000 sq ft of HCA; the proposed development would permanently disturb approximately 1,000 sq ft of HCA, which is 0.5% of the overall HCA on the site.</p> <p>Mitigation (tree and shrub plantings) is based on either the size of trees removed or the square footage of disturbance, whichever calculation yields the greatest number of trees and shrubs. Only two or three trees will be removed for the proposed addition, so the calculation of 5 trees and 25 shrubs per 500 sq ft of HCA disturbance yields the greatest number of plantings. MMC Subsection 19.402.11.B establishes standards for plantings, including minimum size and spacing requirements.</p> <p>Temporary disturbances must be restored but do not have to be mitigated. Temporary disturbances do count in the calculation of the 10% maximum area that can be disturbed with Type I review.</p> <p>As per MMC Subsection 19.402.11.B.6, the preference for the location of mitigation plantings is on site within the designated resource that is disturbed, or in a contiguous area on site. If installed on site in a non-resource area, a deed restriction is required to preserve the new plantings. For HCA disturbance, mitigation plantings may be installed off site, preferably in a location contiguous to the subject-property HCA and where the applicant can show legal authority to maintain the mitigation. If not within an HCA, the applicant must document that the mitigation site will be protected after the monitoring period expires.</p> <p>Note that MMC Subsection 19.402.11.D.2.c allows adjustments to the size and/or number of mitigation plantings with Type II review, subject to the requirements of MMC Subsection 19.402.12.C.2. Approval is based upon consideration of whether the proposed adjustment will result in comparable or better results after three years than the basic requirement.</p> <p>MMC Subsection 19.402.15 establishes the procedures for verifying HCA boundaries, including using Type I review to correct simple incongruities where the City's NR administrative map shows the HCA boundary to be mis-aligned with existing legally</p>

		established development and/or tree cover. The NR review necessary for the proposed HCA disturbance can also include such an update to the NR administrative map based on the actual location of development on the subject property.
<input type="checkbox"/>	Historic Preservation	
<input type="checkbox"/>	Flex Space Overlay	
Site Improvements/Site Context		
<input type="checkbox"/>	Landscaping Requirements	There is no minimum landscaping or vegetation requirement in the DMU zone.
<input type="checkbox"/>	Onsite Pedestrian/Bike Improvements	
<input type="checkbox"/>	Connectivity to surrounding properties	
<input type="checkbox"/>	Circulation	
<input type="checkbox"/>	Building Design Standards (MMC 19.505)	
<input checked="" type="checkbox"/>	Downtown Design Standards (MMC 19.508)	<p>MMC Subsection 19.508.4 establishes 14 design elements applicable to downtown development projects. These design elements are intended to address a Main Street aesthetic for the downtown core and are not as relevant to the subject property, which is separated from the grid of downtown streets by Highway 99E and is developed with a public utility facility (the Kellogg Creek wastewater treatment plant). However, as per MMC Subsection 19.907.2, the proposal to construct a significant addition (>250 sq ft) to an existing building triggers the need for downtown design review and an address of the design elements of MMC 19.508.4.</p> <p>If the project can demonstrate compliance with the applicable design standards, the proposal can be processed with Type I review; otherwise, the proposal requires Type III review, with the applicant addressing the relevant design guidelines for each element where the design standards are not met. Given the nature of the existing building, its location, and the proposed addition, it seems unlikely that the proposal can meet all of the applicable design standards, so the applicant will most likely need to use the Type III review path.</p> <p>Several of the design elements appear to be not applicable to the proposed development—Site Frontage, Corners, Building Massing & Transitions, Service Areas, Resident Open Space, and Plazas & Usable Open Space. For the Building Entrances element, although a new entry is not proposed, the applicant can still note that and discuss how the existing entry addresses the standards or guidelines.</p> <p>The applicant has provided staff with initial draft responses to the other applicable design elements—those responses appear to be generally on-target with respect to discussing how the proposed design is as consistent with the standards and guidelines as can be expected given the function, location, and orientation of the existing building. It seems reasonable to expect that the applicant would propose that the proposed addition be consistent in design with the existing structure and that it need not try to be something it is not (i.e., a building on Main Street or one of the other core downtown streets).</p> <p>Understanding that the design is still being finalized, the applicant is encouraged to provide as much detail as possible (i.e., colors, materials) with the land use application submittal. During the public hearing, the Planning Commission can be asked to identify any critical design elements where final changes may warrant the need for further review.</p>

Parking Standards (MMC 19.600)		
<input type="checkbox"/>	Residential Off-Street Parking Requirements	
<input type="checkbox"/>	Multi-Family/Commercial Parking Requirements	No off-street parking is required for the proposed development.
Approval Criteria (MMC 19.900)		
<input checked="" type="checkbox"/>	Community Service Use (CSU) (MMC 19.904)	As proposed, staff believes the building addition represents a minor modification to the existing CSU. MMC Subsection 19.904.5.C establishes the approval criteria for CSU minor modifications. With respect to the criterion related to there being no deterioration or loss of a protected natural feature, staff has determined that the associated natural resource review for HCA disturbance and accompanying mitigation are sufficient to demonstrate that the HCA resource will not be "deteriorated or lost."
<input checked="" type="checkbox"/>	Conditional Use (MMC 19.905)	As noted above in the discussion of the Willamette Greenway, the proposed development requires review as a conditional use, but staff believes the project does not increase the intensity of use and can be viewed as a minor modification. MMC Subsection 19.905.4.B establishes the approval criteria for minor modification of a conditional use.
<input type="checkbox"/>	Development Review (MMC 19.906)	
<input type="checkbox"/>	Variance (MMC 19.911)	
Land Division (MMC Title 17)		
<input type="checkbox"/>	Design Standards	
<input type="checkbox"/>	Preliminary Plat Requirements	
<input type="checkbox"/>	Final Plat Requirements (See Engineering Section of this Report)	
<input type="checkbox"/>	Other Requirements	
Sign Code Compliance (MMC Title 14)		
<input type="checkbox"/>	Sign Requirements	
Noise (MMC Title 16)		
<input type="checkbox"/>	Noise Mitigation (MMC 16.24)	
Neighborhood District Associations		
<input checked="" type="checkbox"/>	Island Station	Prior to submitting the application, the applicant is encouraged (but not required) to present the project at a regular meeting of the relevant Neighborhood District Association (NDA), in this case the Island Station NDA. <u>Island Station NDA Chair</u> Charles Bird
	Choose an item.	
	Choose an item.	

		charlesbird@juno.com Regular meeting is the third Wednesday of most months—next meeting is Wednesday, March 20, 2024, at 6:30pm at Two Sisters Play Café (11923 SE McLoughlin Blvd), but please check the City calendar to confirm whether the next meeting will be in person, online, or both.
Other Permits/Registration		
<input type="checkbox"/>	Business Registration	
<input type="checkbox"/>	Home Occupation Compliance (MMC 19.507)	
Additional Planning Notes		
ENGINEERING & PUBLIC WORKS COMMENTS		
Public Facility Improvements (MMC 19.700)		
<input checked="" type="checkbox"/>	Applicability (MMC 19.702)	MMC 19.702 establishes the applicability of MMC 19.700, including to partitions, subdivisions, replats, new construction, and modification and/or expansion of an existing structure or a change or intensification in use that results in a new dwelling unit, any new increase in gross floor area, and/or in any projected increase in vehicle trips. The proposed development is to construct an addition to the existing structure. MMC 19.700 applies.
<input type="checkbox"/>	Transportation Facilities Review (MMC 19.703)	Per MMC 19.703.2, because the proposed development does not trigger a Transportation Impact Study (TIS), a Transportation Facilities Review (TFR) application is not required.
<input type="checkbox"/>	Transportation Impact Study (MMC 19.704)	
<input checked="" type="checkbox"/>	Agency Notification (MMC 19.707)	The City must provide notification to Metro and Clackamas County whenever a proposed development is within 200 ft of a designated arterial or collector roadway. Notice must be provided to TriMet whenever a proposed development is within 200 ft of an existing or proposed transit route on the current TriMet service map and/or Figure 7-3 of the Transportation System Plan (TSP). McLoughlin Blvd is identified as an arterial roadway, so Metro and Clackamas County will be notified. McLoughlin Boulevard is shown as a transit route on Figure 7-3 of the TSP, so TriMet will be notified.
<input checked="" type="checkbox"/>	Transportation Requirements (MMC 19.708)	Access Management: All development subject to MMC 19.700 must comply with access management standards contained in MMC 12.16. Clear Vision: All developments subject to MMC 19.700 must comply with clear vision standards contained in MMC 12.24. Frontage improvements are not required as part of this development. Curb and sidewalk already exist along the McLoughlin Blvd frontage.
<input type="checkbox"/>	Utility Requirements (MMC 19.709)	

Flood Hazard Area (MMC 18)

<input checked="" type="checkbox"/>	Development Permit (MMC 18.16.030)	<p>The project area is within the Federal Emergency Management Agency (FEMA) 1% annual chance flood area (i.e., 100-year floodplain) and is subject to the flood hazard requirements of Title 18. There are two main flood-hazard considerations: (1) protection of the lowest finished floor from flood damage and (2) preventing the loss of existing flood storage capacity.</p> <p>The most current FEMA Flood Insurance Rate Map (FIRM) shows a base flood elevation (BFE) of 36.3 ft in this area. Since the project area is not within the 1996 flood inundation area (provided by Metro), the BFE is effectively the design flood elevation (DFE), which represents the baseline for the flood hazard. The flood protection elevation (FPE), the minimum required elevation to avoid the flood hazard, is therefore 1 ft higher at 37.3 ft. In a new construction situation, the applicant would need to provide survey data to verify that the finished floor was at or above the 37.3-ft mark.</p> <p>Since the existing building was constructed before the City's flood hazard regulations and mapping were in full effect, the requirement to ensure that the proposed addition is built at or above the FPE of 37.3 ft only applies if the project constitutes "substantial improvement," as defined in MMC Section 18.04.010—that is, if the cost of the addition and related improvements equals or exceeds 50% of the market value of the structure. If it is not "substantial improvement," it is not necessary for the applicant to demonstrate that the finished floor of the addition is built at or above the FPE. Staff has indicated that there is some flexibility in what information the applicant can provide to document whether the project constitutes "substantial improvement."</p> <p>Regarding the issue of flood storage capacity, the applicant must provide sufficient survey data to confirm whether more than 10 cubic yards of flood storage area will be displaced by the proposed development. If the project will add more than 10 cubic yards of material (in the form of fill or building) above the BFE/DFE, the applicant must compensate by removing an equal amount of material from somewhere else within the floodplain.</p> <p>This aspect of the project will be reviewed and documented using the City's Floodplain Development permit process. Normally, that review occurs in conjunction with the building permit review process. In this case, there is an option to process the Floodplain Development permit prior to or in conjunction with the land use review, as long as the applicant is aware that any subsequent changes to the plans after Floodplain Development review (i.e., at the time of building permit submittal) may generate the need to re-review the floodplain component.</p>
<input checked="" type="checkbox"/>	General Standards (MMC 18.04.150)	
<input checked="" type="checkbox"/>	Compensatory Storage (MMC 18.20.020)	
<input checked="" type="checkbox"/>	Floodways (MMC 18.20.010.B)	
Environmental Protection (MMC 16)		
<input type="checkbox"/>	Weak Foundation Soils (MMC 16.16)	
<input checked="" type="checkbox"/>	Erosion Control (MMC 16.28)	<p>Ensure the bioswale to the north of the project site (#RG081) is protected from sediment loss or other pollutants from the project site.</p> <p>Erosion control and prevention is required as outlined in MMC16.28</p> <p>Standard Erosion Prevention and Sediment Control notes</p> <p>Projects that disturb more than 500 sq ft within the City of Milwaukie limits require an Erosion Control Permit from the City's Building Department. Even projects that are less than 500 sq ft may require a permit based on site conditions and proximity to natural resources such as</p>

		<p>wetlands and waterways. The applicant must submit an erosion control plan for their project that accurately depicts how sediment will be controlled during the duration of the project.</p> <p>Please review the City's Erosion Prevention and Sediment Control requirements. The applicant is encouraged to use the City's adopted Erosion Prevention and Sediment Control Planning & Design Manual (2020) for assistance in designing an erosion control plan.</p> <p>Development sites between 1 acre and 5 acres should apply for a 1200-CN permit as outlined on https://www.milwaukieoregon.gov/publicworks/1200cn. Applicants will use the DEQ 1200-C permit application but submit it to the city for review and approval through the Milwaukie Erosion and Sediment Control Program. A 1200-C permit can be found on the DEQ website at https://www.oregon.gov/deq/wa/wqpermits/Pages/Stormwater-Construction.aspx. Applicants do not need to submit a permit to DEQ if under 5 acres in site size.</p> <p>For more information, please visit https://www.milwaukieoregon.gov/publicworks/erosion-prevention-and-control or contact erosioncontrol@milwaukieoregon.gov.</p>
<input type="checkbox"/>	Tree Code (MMC 16.32)	The property is not zoned for residential use, so the City's tree code requirements (MMC Chapter 16.32) are not applicable.
Public Services (MMC 13)		
<input type="checkbox"/>	Water System (MMC 13.04)	<p>No new or upsized connections to City utilities are proposed as part of this development. New or upsized connection to City utilities is subject to plan and application review. Applications for city utility billing connections shall be made on approved forms: https://www.milwaukieoregon.gov/building/water-connection-application</p> <p>A system development charge (SDC) and a water service connection fee must be paid prior to any new or upsized connections to city water.</p> <p>A 6" water main located in McLoughlin Boulevard is available for connection.</p> <p>A ROW Permit is required to complete this work.</p>
<input type="checkbox"/>	Sewer System (MMC 13.12)	<p>No new or upsized connections to City utilities are proposed as part of this development. Clackamas County wastewater mains are available for connection and subject to plan review for any new or upsized connections.</p> <p>A ROW Permit is required to complete this work.</p>
<input checked="" type="checkbox"/>	Stormwater Management (MMC 13.14)	<p>Stormwater mitigation must meet the city's NPDES permit through design of facilities according to the 2016 City of Portland Stormwater Management Manual. Once treated on site, stormwater can be discharged into the existing stormwater swale along the southern property boundary.</p> <p>As proposed, stormwater runoff will continue to be directly treated onsite. No additional stormwater management methods are required.</p> <p>An SDC must be paid prior to building permit issuance.</p>
<input checked="" type="checkbox"/>	System Development Charge (MMC 13.28.040)	<p>All new development or intensification of use shall be subject to SDCs. Latest charges are determined by the Master Fee Schedule available here: https://www.milwaukieoregon.gov/finance/fees-charges</p> <p>An estimate can be provided upon request.</p>
<input type="checkbox"/>	Fee in Lieu of Construction (MMC 13.32)	

Public Places (MMC 12)

<input type="checkbox"/>	Right of Way Permit (MMC 12.08.020)	A ROW Permit will be required for any frontage improvements, utility work within the ROW, extension of public utilities, and/or driveway construction for the development.
<input type="checkbox"/>	Access Requirements (MMC 12.16.040)	Per MMC 12.16.040, private property must be provided with street access via accessways (driveways). These driveways must be constructed under a ROW permit in accordance with the current Milwaukie Public Works Standards. The proposed development is already serviced by a single accessway, and no new accessways are proposed.
<input checked="" type="checkbox"/>	Clear Vision (MMC 12.24)	A clear vision area shall be maintained at all driveways and accessways.

Additional Engineering & Public Works Notes

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BUILDING COMMENTS

All drawings must be submitted electronically through www.buildingpermits.oregon.gov

New buildings or remodels shall meet all the provisions of the current applicable Oregon Building Codes. All State adopted building codes can be found online at: <https://www.oregon.gov/bcd/codes-stand/Pages/adopted-codes.aspx>.

All building permit applications are electronic and can be applied for online with a valid CCB license number or engineer/architect license at www.buildingpermits.oregon.gov. Each permit type and sub-permit type are separate permits and are subject to the same time review times and will need to be applied for individually. Plans need to be uploaded to their specific permits in PDF format as a total plan set (not individual pages) if size allows.

Note: Plumbing and electrical plan reviews (when required) are done off site and are subject to that jurisdiction's timelines. The City does not have any control over those timelines, so please plan accordingly.

Site utilities require a separate plumbing permit and will require plumbing plan review.

If you have any building related questions, please email us at building@milwaukieoregon.gov.

Please provide as much information about the existing building as possible for the plan review process. By providing the occupancy, square footage, type of construction, and if fire sprinklers are provided in the existing structure will help determine a code compliant path.

OTHER FEES

<input checked="" type="checkbox"/>	Construction Excise Tax Affordable Housing CET – Applies to any project with a construction value of over 100,000.	Calculation: Valuation *12% (.12)
<input checked="" type="checkbox"/>	Metro Excise Tax Metro – Applies to any project with a construction value of over \$100,000.	Calculation: Valuation *.12% (.0012)
<input checked="" type="checkbox"/>	School Excise Tax School CET – Applies to any new square footage.	Calculation: Commercial = \$0.69 a square foot, Residential = \$1.39 a square foot (not including garages)

FIRE DISTRICT COMMENTS

Please see the attached memorandum for fire district comments.

COORDINATION WITH OTHER AGENCIES

Applicant must communicate directly with outside agencies. These may include the following:

- Metro
- TriMet
- North Clackamas School District
- North Clackamas Parks and Recreation District (NCPRD)
- Oregon Parks and Recreation
- ODOT/ODOT Rail
- Department of State Lands
- Oregon Marine Board
- Oregon Department of Fish and Wildlife (ODOT)
- State Historic Preservation Office
- Clackamas County Transportation and Development

MISCELLANEOUS

State or County Approvals Needed

<input type="checkbox"/>	Boiler Approval (State)	
<input type="checkbox"/>	Elevator Approval (State)	
<input type="checkbox"/>	Health Department Approval (County)	

Arts Tax

<input type="checkbox"/>	Neighborhood Office Permit	
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Other Right-of-Way Permits

<input type="checkbox"/>	Major:	
<input type="checkbox"/>	Minor:	
<input type="checkbox"/>	Painted Intersection Program Permits:	
<input type="checkbox"/>	artMOB Application	
<input type="checkbox"/>	Traffic Control Plan (Engineering)	
<input type="checkbox"/>	Parklet:	
<input type="checkbox"/>	Parklet Application/ Planning Approval	
<input type="checkbox"/>	Engineering Approval	

<input type="checkbox"/>	<input type="checkbox"/> Building Approval	
<input type="checkbox"/>	Sidewalk Café:	
<input type="checkbox"/>	Tree Removal Permit:	

Infrastructure/Utilities

Applicant must communicate directly with utility providers. These may include the following:

- PGE
- NW Natural
- Clackamas River Water (CRW)
- Telecomm (Comcast, Century Link)
- Water Environmental Services (WES)
- Garbage Collection (Waste Management, Hoodview Disposal and Recycling)

Economic Development/Incentives

<input type="checkbox"/>	Enterprise Zone:	
<input type="checkbox"/>	Vertical Housing Tax Credit:	
<input type="checkbox"/>	New Market Tax Credits:	
<input type="checkbox"/>	Housing Resources:	

PLEASE SEE NOTE AND CONTACT INFORMATION ON THE FOLLOWING PAGE

This is only preliminary preapplication conference information based on the applicant's proposal and does not cover all possible development scenarios. Other requirements may be added after an applicant submits land use applications or building permits. City policies and code requirements are subject to change. If a note in this report contradicts the Milwaukie Municipal Code, the MMC supersedes the note. If you have any questions, please contact the City staff that attended the conference (listed on Page 1). Contact numbers for these staff are City staff listed at the end of the report.

Sincerely,

City of Milwaukie Development Review Team

BUILDING DEPARTMENT

Patrick McLeod	Building Official	503-786-7611
Harmony Drake	Permit Technician	503-786-7623
Stephanie Marcinkiewicz	Inspector/Plans Examiner	503-786-7636

ENGINEERING DEPARTMENT

Jennifer Garbely	City Engineer	503-786-7534
Jeff Tolentino	Assistant City Engineer	503-786-7605
Jennifer Backhaus	Engineering Technician III	503-786-7608
Eanna Zaya	Engineering Technician I	503-786-7609

PLANNING DEPARTMENT

Laura Weigel	Planning Manager	503-786-7654
Vera Kalias	Senior Planner	503-786-7653
Brett Kelter	Senior Planner	503-786-7657
Adam Heroux	Associate Planner	503-786-7658
Ryan Dyar	Assistant Planner	503-786-7661

COMMUNITY DEVELOPMENT DEPARTMENT

Joseph Briglio	Community Development Director	503-786-7616
Mandy Byrd	Development Programs Manager	503-786-7692
(vacant)	Housing & Econ. Dev. Prog. Mgr.	503-786-7627
Emilie Bushlen	Administrative Specialist II	503-786-7600
Petra Johnson	Administrative Specialist II	503-786-7600

SUSTAINABILITY DEPARTMENT

(vacant)	Climate & Natural Resources Mgr.	503-786-7668
Courtney Wilson	Urban Forester	503-786-7655
Riley Gill	Environmental Services Coordinator	503-786-7660

CLACKAMAS FIRE DISTRICT

Shawn Olson	Fire Marshal	shawn.olson@ClackamasFire.com
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Pre-Application Comments

To: City of Milwaukie

From: Shawn Olson, Fire Marshal, Clackamas Fire District #1

Date: 3-26-2024

Re: 11525 SE McLoughlin Blvd.-WES Building Addition

This review is based upon the current version of the Oregon Fire Code (OFC), as adopted by the Oregon State Fire Marshal's Office. The scope of review is typically limited to fire apparatus access and water supply, although the applicant must comply with all applicable OFC requirements. When buildings are completely protected with an approved automatic fire sprinkler system, the requirements for fire apparatus access and water supply may be modified as approved by the fire code official. The following items should be addressed by the applicant:

Fire Apparatus Access:

No concerns related to fire apparatus access.

Water Supply:

1. Fire Hydrants, Commercial Buildings: Where a portion of the building is more than 400 feet from a hydrant on a fire apparatus access road, as measured in an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided.

Note: This distance may be increased to 600 feet for buildings equipped throughout with an approved automatic sprinkler system. All new buildings shall have a firefighting water supply that meets the fire flow requirements of the Fire Code Appendix B.

2. Maximum spacing between hydrants on street frontage shall not exceed 500 feet. Additional private on-site fire hydrants may be required for larger buildings. Fire sprinklers may reduce the water supply requirements.
3. Minimum fire flow requirements shall be met according to Appendix B of the Oregon Fire Code (22).
 - a. Reductions are allowed when the building is provided with a full fire sprinkler system. (Table B105.2)
 - b. Provide fire hydrant flow testing from the closest fire hydrant. Minimum GPM is 1,500 to meet fire flow.

When ready, submit all fire apparatus access and water supply plans to: [Fire Apparatus Access/Water Supply Plan Submittal](#)

If you have questions, please contact Clackamas Fire District @503-742-2663 or email at shawn.olson@clackamasfire.com