

MILWAUKIE PLANNING
 10501 SE Main St.
 Milwaukie OR 97222
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: VR-2024-007

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| <input type="checkbox"/> Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input type="checkbox"/> Community Service Use | <input type="checkbox"/> Subdivision | <input checked="" type="checkbox"/> Variance: |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Director Determination | <input type="checkbox"/> Natural Resource Review** | <input type="checkbox"/> Willamette Greenway Review |
| <input type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input type="checkbox"/> Historic Resource: | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| <input type="checkbox"/> Status Deletion | | • Appeal |

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): Jennifer Lindsay

Mailing address: 9509 SE Wichita Ave, Milwaukie State/Zip: OR 97222

Phone(s): 503 206 2069 Email: nif.lindsay@gmail.com

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above): Don R Titus, Residential Architect LLC

Mailing address: 5138 SE 115th Ave, Portland State/Zip: OR 97266

Phone(s): 503 621 6085 Email: don@donrtitus.com

SITE INFORMATION:

Address: 9509 SE Wichita Ave, Milwaukie OR 97222 Map & Tax Lot(s): 12E30DA01200

Comprehensive Plan Designation: MD Zoning: R-MD Size of property: .69 acre/29,956 SF

PROPOSAL (describe briefly):

483 SF of existing 775 SF detached garage to remain garage, & 292 SF converted to ADU. 118 SF addition to rear of garage also part of ADU, +77 SF porch addition. Overall new footprint to be 893 SF, +77 SF porch.

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by:

Date: 30 August 2024

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.

** Natural Resource and Transportation Review applications may require a refundable deposit.

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

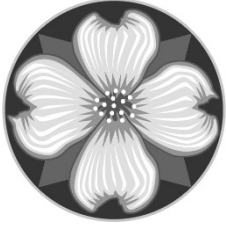
REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

FILE TYPE	FILE NUMBER	AMOUNT <small>(after discount, if any)</small>	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	VR-2024-007	\$ 1,000			
Concurrent application files		\$			
		\$			
		\$			
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$			RECEIPT #:	RCD BY:	
Associated application file #s (appeals, modifications, previous approvals, etc.):					
Neighborhood District Association(s): Lewelling					
Notes:					



MILWAUKIE PLANNING
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planning@milwaukieoregon.gov

Submittal Requirements

**For all Land Use Applications
(except Annexations and Development Review)**

All land use applications must be accompanied by a signed copy of this form (see reverse for signature block) and the information listed below. The information submitted must be sufficiently detailed and specific to the proposal to allow for adequate review. Failure to submit this information may result in the application being deemed incomplete per the Milwaukie Municipal Code (MMC) and Oregon Revised Statutes.

Contact Milwaukie Planning staff at 503-786-7630 or planning@milwaukieoregon.gov for assistance with Milwaukie's land use application requirements.

1. **All required land use application forms and fees**, including any deposits.
Application form included, and deposit authorization form for when fees are due.
Applications without the required application forms and fees will not be accepted.
2. **Proof of ownership or eligibility to initiate application** per MMC Subsection 19.1001.6.A.
Where written authorization is required, applications without written authorization will not be accepted. Written authorization from owner, authorization architect to initiate application, is included.
3. **Detailed and comprehensive description** of all existing and proposed uses and structures, including a summary of all information contained in any site plans.
Depending upon the development being proposed, the description may need to include both a written and graphic component such as elevation drawings, 3-D models, photo simulations, etc. Where subjective aspects of the height and mass of the proposed development will be evaluated at a public hearing, temporary onsite "story pole" installations, and photographic representations thereof, may be required at the time of application submittal or prior to the public hearing. Written description and drawings of proposed structure and uses are included.
4. **Detailed statement** that demonstrates how the proposal meets the following:
Detailed statement describing how proposal meets applicable standards is included.
 - A. All applicable development standards (listed below):
 1. **Base zone standards** in Chapter 19.300.
 2. **Overlay zone standards** in Chapter 19.400.
 3. **Supplementary development regulations** in Chapter 19.500.
 4. **Off-street parking and loading standards and requirements** in Chapter 19.600.
 5. **Public facility standards and requirements**, including any required street improvements, in Chapter 19.700.
 - B. All applicable application-specific approval criteria (check with staff).
 - C. Compliance with the Tree Code (MMC 16.32): www.milwaukieoregon.gov/trees
These standards can be found in the MMC, here: www.qcode.us/codes/milwaukie/
5. **Site plan(s), preliminary plat, or final plat** as appropriate.
Site plan and other drawings describing proposal are included.
See Site Plan, Preliminary Plat, and Final Plat Requirements for guidance.
6. **Copy of valid preapplication conference report**, when a conference was required. **Not applicable.**

APPLICATION PREPARATION REQUIREMENTS:

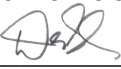
- Electronic copies of all application materials are required at the time of submittal.

ADDITIONAL INFORMATION:

- Neighborhood District Associations (NDAs) and their associated Land Use Committees (LUCs) are important parts of Milwaukie's land use process. The City will provide a review copy of your application to the LUC for the subject property. They may contact you or you may wish to contact them. Applicants are strongly encouraged to present their proposal to all applicable NDAs prior to the submittal of a land use application and, where presented, to submit minutes from all such meetings. NDA information: www.milwaukieoregon.gov/citymanager/what-neighborhood-district-association.
- By submitting the application, the applicant agrees that City of Milwaukie employees, and appointed or elected City Officials, have authority to enter the project site for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

As the authorized applicant I, (print name) Don Titus, attest that all required application materials have been submitted in accordance with City of Milwaukie requirements. I understand that any omission of required items or lack of sufficient detail may constitute grounds for a determination that the application is incomplete per MMC Subsection 19.1003.3 and Oregon Revised Statutes 227.178. I understand that review of the application may be delayed if it is deemed incomplete.

Furthermore, I understand that, if the application triggers the City's sign-posting requirements, I will be required to post signs on the site for a specified period of time. I also understand that I will be required to provide the City with an affidavit of posting prior to issuance of any decision on this application.

Applicant Signature: 

Date: 16 September 2024

Official Use Only

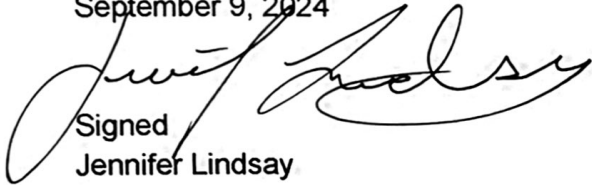
Date Received (date stamp below):

Received by: _____

To whom it may concern:

Don R. Titus, architect, is contracted by Jennifer Lindsay of 9509 SE Wichita Ave Milwaukie OR 97222 to design an ADU in 2024. As part of that contract, he has permission to apply for any necessary permits from appropriate authorities on my behalf.

September 9, 2024

A handwritten signature in black ink, appearing to read "Jennifer Lindsay", written in a cursive style. The signature is positioned above the printed name and the word "Signed".

Signed
Jennifer Lindsay



16 September 2024

Milwaukie Planning
10501 SE Main St
Milwaukie OR 97222

To Whom It May Concern:

This letter is to accompany a Land Use Application for a Type II variance, for a proposed renovation and addition to an existing detached garage located at 9509 SE Wichita Ave. Following is our project narrative:

The homeowners are proposing to convert part of their existing detached garage to an ADU, for their family to use for multi-generational living. To make the ADU more affordable, and single-level for aging-in-place, while maintaining their ability to park in the garage, they propose to add some square footage onto the back of the garage. The proposed development includes removing some pine trees to the west of the garage, and replacing them with new trees to help manage the ADU's exposure to heat and light from the afternoon and evening sun.

This proposed development would require a variance, as it would increase the footprint of the structure from 775 SF to 893 SF, plus an additional 77 SF of porch area. This would exceed the 800 SF allowed maximum footprint for an ADU, or detached accessory structure containing an ADU, per Table 19.910.1.E.4.b.

The proposed area of the ADU would be 410 SF, plus 77 SF of porch area; and the area of the structure that would continue in use as a garage would be 483 SF. Both of these areas are under the maximums allowed for ADUs and garages, respectively; and the combined area is less than the maximum footprint that would generally be allowed for an accessory structure, other than an ADU, on this property. In addition, the proposed structure would be set back from the north property line by 12', exceeding the minimum 5' side setback. And the single-story structure, with an average height of 11'-8", is well below the maximum allowed two stories and 25' height permitted for ADUs.

A pre-application meeting to discuss this proposal was held on 20 August 2024.

Please refer to the responses to each criterion below, along with the attached drawings, to see how the proposed design complies with the approval criteria listed in § 19.911.4.A:

1. Criterion: The proposed variance, or cumulative effect of multiple variances, will not be detrimental to surrounding properties, natural resource areas, or public health, safety, or welfare.

Response: The size and scale of the proposed structure is entirely in keeping with the intent of the Zoning Code, and will not be detrimental to neighbors, their properties, natural resources, or public health, safety, or welfare.

2. Criterion: The proposed variance will not interfere with planned future improvements to any public transportation facility or utility identified in an officially adopted plan such as the Transportation System Plan or Water Master Plan.
Response: The proposed structure is far removed from the public right-of-way, and public utilities, and will not interfere with said planned future improvements.
3. Criterion: Where site improvements already exist, the proposed variance will sustain the integrity of, or enhance, an existing building or site design.
Response: The proposed addition and conversion will both sustain and enhance the integrity of the existing structure.
4. Criterion: Impacts from the proposed variance will be mitigated to the extent practicable.
Response: We are not aware of any negative impacts that would result from the proposed development. If any are brought to our attention, we will mitigate them to the extent practicable.
5. Criterion: The proposed variance would allow the development to preserve a priority tree or trees, or provide more opportunity to plant new trees to achieve 40% canopy, as required by Chapter 16.32 (when applicable).
Response: The proposed development would remove two existing trees, and replace them as described in the narrative above. All other existing trees onsite will be preserved.

Sincerely,
Don R Titus, Residential Architect LLC



Don Titus
Owner



DON R TITUS
RESIDENTIAL ARCHITECT LLC
NEW HOMES ADDITIONS REMODELS
503 621 6085 don@donrtitus.com
www.donrtitus.com

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LINDSAY ADU

9509 SE WICHITA AVENUE, MILWAUKIE OR 97222

ABBREVIATIONS

Ø	DIAMETER
AB	ANCHOR BOLT
ALT	ALTERNATE
APPROX	APPROXIMATE
B.O.	BOTTOM OF
BP	BRACING PANEL
CL	CENTER LINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
d	PENNY
DEMO	DEMOLISH/REMOVE
DF	DOUGLAS FIR
(E)	EXISTING
EQ	EQUAL
EXT	EXTERIOR
F.O.	FACE OF
INSUL	INSULATION
INT	INTERIOR
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MTL	METAL
(N)	NEW
NO.	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
PIP	POURED IN PLACE
PT	PRESSURE TREATED
QTY	QUANTITY
REQ'D	REQUIRED
RO	ROUGH OPENING
SIM	SIMILAR
SQ	SQUARE
STOR	STORAGE
TBD	TO BE DETERMINED
T.O.	TOP OF
TYP	TYPICAL
UNON	UNLESS OTHERWISE NOTED
w/	WITH
w/o	WITHOUT
WRB	WEATHER-RESISTANT BARRIER

SYMBOLS

	SECTION NO. BUILDING SECTION		WINDOW TAG
	DETAIL NO. EXTERIOR ELEVATION		WALL ASSEMBLY TYPE TAG
	DETAIL NO. DETAIL REFERENCE		KEYNOTE TAG
	FLOOR DESIGNATION		NORTH ARROW
	ELEVATION TAG		

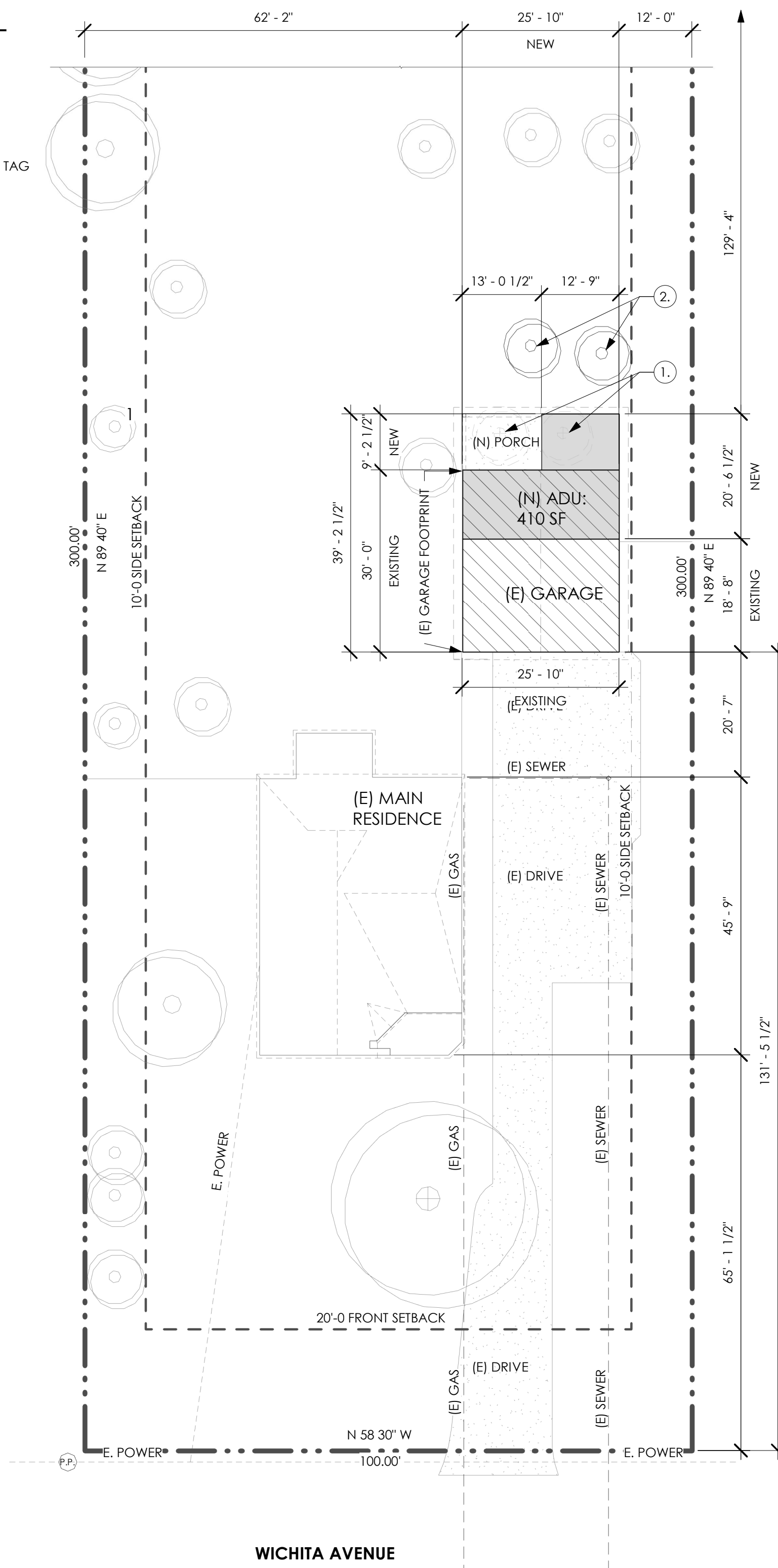
INSPECTIONS & SPECIAL INSPECTIONS

- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL INSPECTIONS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
- SPECIAL INSPECTIONS ARE REQUIRED FOR ALL POST-INSTALLED ANCHORS INTO EXISTING CONCRETE.
- THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.
- SEE TABLE BELOW FOR REQUIREMENTS.

SPECIAL INSPECTIONS	
TYPE OF INSPECTION	REQUIRED?
CONCRETE CONSTRUCTION	NO
ANCHORS - ADHESIVE	NO
ANCHORS - CAST-IN-PLACE	NO
ANCHORS - EXPANSION/SCREW	NO
WOOD CONSTRUCTION	NO
GEOTECHNICAL	NO



1 VICINITY MAP



2 SITE PLAN - PROPOSED
1/16" = 1'-0"

SITE PLAN NOTES

- FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION. IF SITE CONDITIONS VARY FROM CONTRACT DOCUMENTS, NOTIFY DESIGNER IN WRITING IMMEDIATELY.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE/EDGE OF CONCRETE, OR PROPERTY UNLESS OTHERWISE NOTED.

SITE LEGEND

	PROPERTY LINE
	SETBACK LINE

SITE INFORMATION

ADDRESS: 9509 SE WICHITA AVENUE
MILWAUKIE OR, 97222
ZONING: R-MD
PROPERTY ID: C231920
NEIGHBORHOOD: LEWELLING
PARCEL NUMBER: 00080619
CENSUS TRACT: 021000
STATE ID: 12E30DA01200
LOT SIZE: 0.69 ACRES (29,956 SF)

SITE PLAN KEYNOTES

- (E) TREES TO BE REMOVED
- (N) TREES - SPECIES, COUNT, & FINAL LOCATION(S) TBD

APPLICABLE CODE

2023 OREGON RESIDENTIAL SPECIALTY CODE (ORSC)

PRESCRIPTIVE ENVELOPE PER TABLE N1101.1(1)

EXTERIOR WALLS	R-21 INTERMEDIATE
FLAT CEILINGS	U-0.021 / R-49
VAULTED CEILINGS	R-30
UNDER FLOORS	R-30
FENESTRATION	U-0.27
SKYLIGHTS	U-0.50
EXTERIOR DOORS	U-0.20
EXTERIOR DOORS w/ >2.5SF GLAZING	U-0.40

BUILDING SUMMARY

PROJECT SCOPE OF WORK: 483 SF OF EXISTING 775 SF DETACHED GARAGE TO REMAIN UNCHANGED, CONVERT 292 SF OF GARAGE TO ADU, ADU ADDITION OF 118 SF, PLUS PORCH ADDITION OF 77 SF, ONTO REAR OF GARAGE. PROPOSED STRUCTURE AT COMPLETION TO HAVE 483 SF GARAGE AND 410 SF ADU, FOR OVERALL FOOTPRINT OF 893 SF, PLUS 77 SF PORCH.

IMPERVIOUS COVERAGE (SITE 29,956 SF):	EXISTING	PROPOSED
BUILDING / ROOF	2381 SF	2616 SF
DRIVE, PAD, STEPS	2341 SF	2341 SF
PORCH	77 SF	77 SF
TOTAL	4799 SF	5054 SF

DIFFERENCE: +255 SF

BUILDING HEIGHT (MAX 30') 11'-8" (APPROX)

ENERGY EFFICIENCY: PRESCRIPTIVE ENVELOPE N1101.1(1)

EXTERIOR WALLS	U-0.059 / R-21
FLAT CEILINGS	U-0.021 / R-49
VAULTED CEILINGS	U-0.033 / R-30
WINDOWS	U-0.27
EXTERIOR DOORS GLAZING >2.5 SF	U-0.40
FORCED AIR DUCT	R-8

DESIGN CRITERIA:

SEISMIC DESIGN CATEGORY	D1
WIND DESIGN SPEED	EXPOSURE CLASSIFICATION B / 120 MPH
SOIL LOAD BEARING VALUE	1500 PSF (PRESUMPTIVE)
ROOF SNOW LOAD	25 PSF
GROUND SNOW LOAD	36 PSF
FOUNDATION FROST PROTECT.	18 INCHES FOOTING DEPTH (MIN)

INDEX OF DRAWINGS

A0.2	COVER & SITE PLAN
A0.6	SITE PLAN - FULL
A1.4	FLOOR PLANS EXISTING & DEMO.
A2.1	FLOOR PLANS PROPOSED
A5.0	ELEVATIONS EXISTING
A5.1	ELEVATIONS PROPOSED

PROJECT TEAM

OWNERS

JENNIFER LINDSAY &
EDWIN WONG
9509 SE WICHITA AVENUE
MILWAUKIE OR, 97222
503 206 2069
nif.lindsay@gmail.com

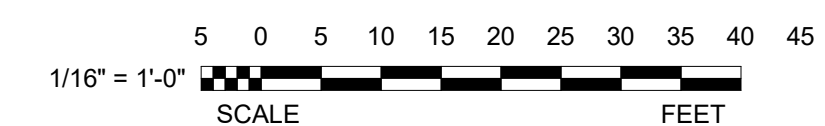
ARCHITECT

DON R TITUS, RESIDENTIAL ARCHITECT LLC
ATTN: DON TITUS
5138 SE 115TH AVE
PORTLAND OR 97266
503 621 6085
don@donrtitus.com

CONTRACTOR

BONITA WILCOX
PDX TOUCH-UP
PO Box 301653
Portland, OR 97230
503.481.4399
pdxtouchup@gmail.com

STRUCTURAL ENGINEER



SCHEMATIC

LINDSAY ADU
9509 SE Wichita Ave Milwaukie OR 97222

REVISIONS

NO.	DESCRIPTION / DATE

DRAWN BY: C. Loomis
PROJECT NO: 24-014
DATE: 06/07/2024

A0.2
COVER & SITE
PLAN

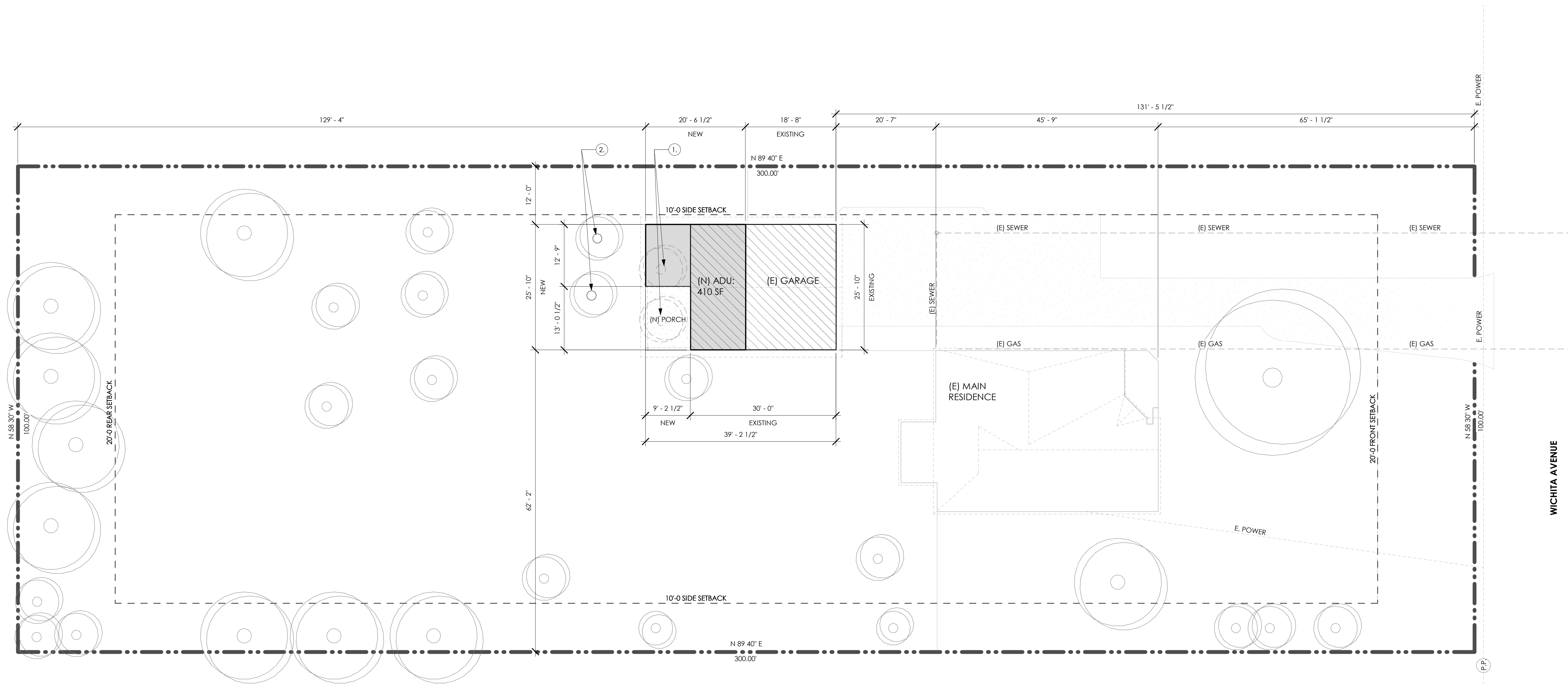


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SITE PLAN KEYNOTES

- (E) TREES TO BE REMOVED
- (N) TREES - SPECIES, COUNT, & FINAL LOCATION(S) TBD



① SITE PLAN PROPOSED FULL
 3/32" = 1'-0"



SCHEMATIC

LINDSAY ADU
 9509 SE Wichita Ave Milwaukie OR 97222

REVISIONS

NO.	DESCRIPTION / DATE

DRAWN BY: C. Lissner
 PROJECT NO: 24-014
 DATE: 06/07/2024


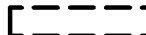
A0.6
 SITE PLAN FULL

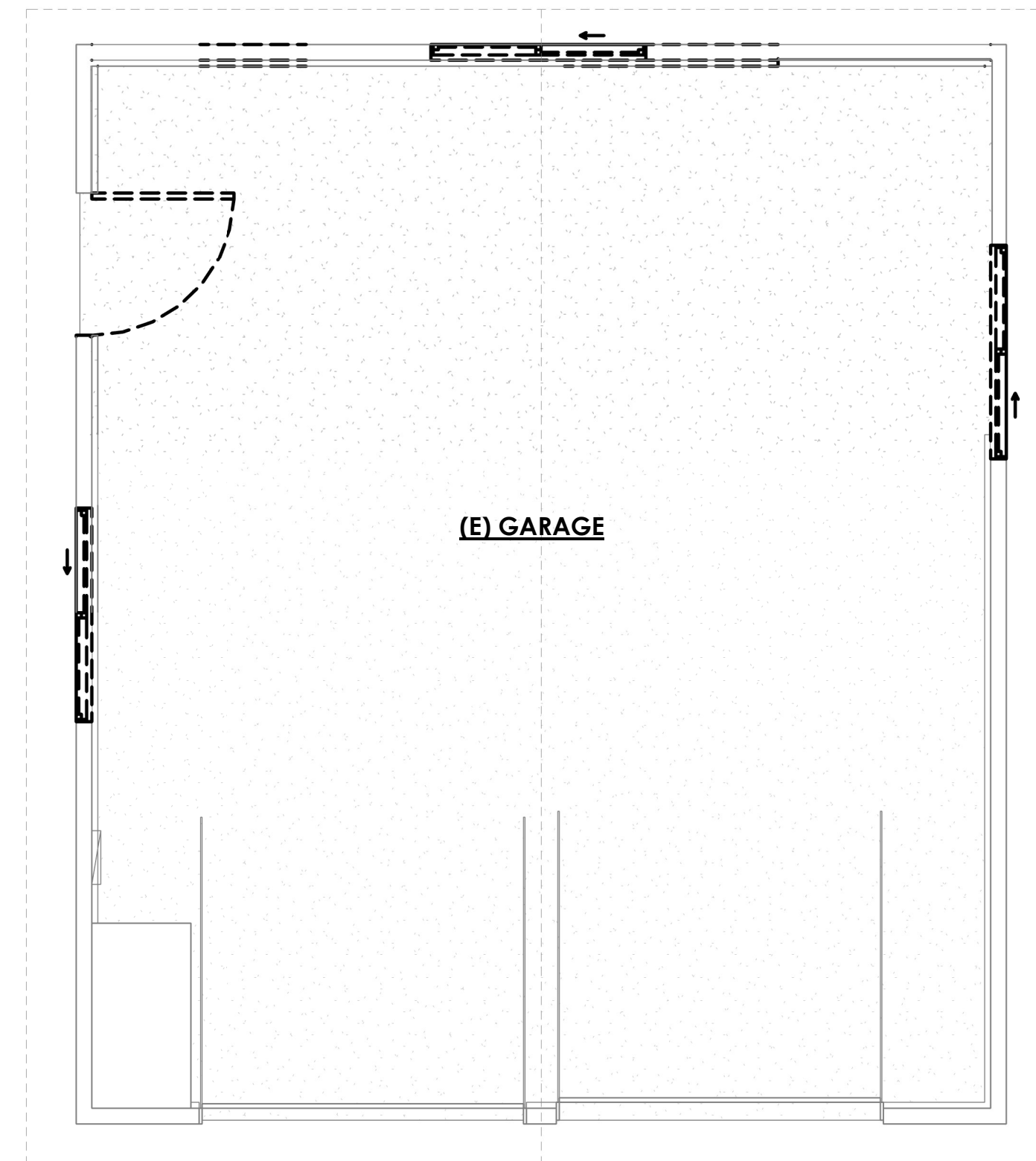


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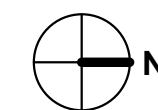
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FLOOR PLAN WALL LEGEND

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE DEMOLISH



① FIRST FLOOR EXISTING
 1/4" = 1'-0"



SCHEMATIC

LINDSAY ADU
 9509 SE Wichita Ave Milwaukie OR 97222

REVISIONS

NO.	DESCRIPTION / DATE

DRAWN BY: C. Lissner
 PROJECT NO: 24-014
 DATE: 06/07/2024

A1.4
 FLOOR PLANS
 EXISTING &
 DEMO.



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FLOOR PLAN KEYNOTES

- OPTIONAL SOLAR TUBE(S) OR SKYLIGHT(S) ABOVE LIVING/KITCHEN AREA, TBD

DOOR SCHEDULE

NUM.	COUNT	FAMILY & TYPE	HEADER	HEAD HT.
1	1	DOOR-EXTERIOR-DOUBLE-SLIDING: 60"W x 80" H		6' - 8"
2	1	DOOR-INTERIOR-SLIDING-CLOSET: 72"W x 80"H		6' - 8"
3	1	DOOR-INTERIOR-SINGLE: 30"W x 80"H		6' - 8"
4	1	DOOR-EXTERIOR-SINGLE-ENTRY-HALF GLASS: 34"W x 80"H		6' - 8"
5	1	DOOR-2-PANEL-BIFOLD: 30"W x 80"H		6' - 8"
6	1	DOOR-EXTERIOR-SINGLE-ENTRY-HALF GLASS: 34"W x 80"H	EXISTING	6' - 8"

WINDOW SCHEDULE

NUM.	COUNT	FAMILY & TYPE	SILL HT.	HEADER	HEAD HT.
1	1	WINDOW-AWNING-SINGLE: 24" W x 18" H	5' - 2"		6' - 8"
2	2	WINDOW-SLIDING-SINGLE: 60" W x 44" H	3' - 0"		6' - 8"
3	1	WINDOW-SLIDING-SINGLE: 48" W x 36" H	3' - 8"	EXISTING	6' - 8"

FLOOR PLAN WALL LEGEND

EXISTING WALL TO REMAIN

NEW WALL

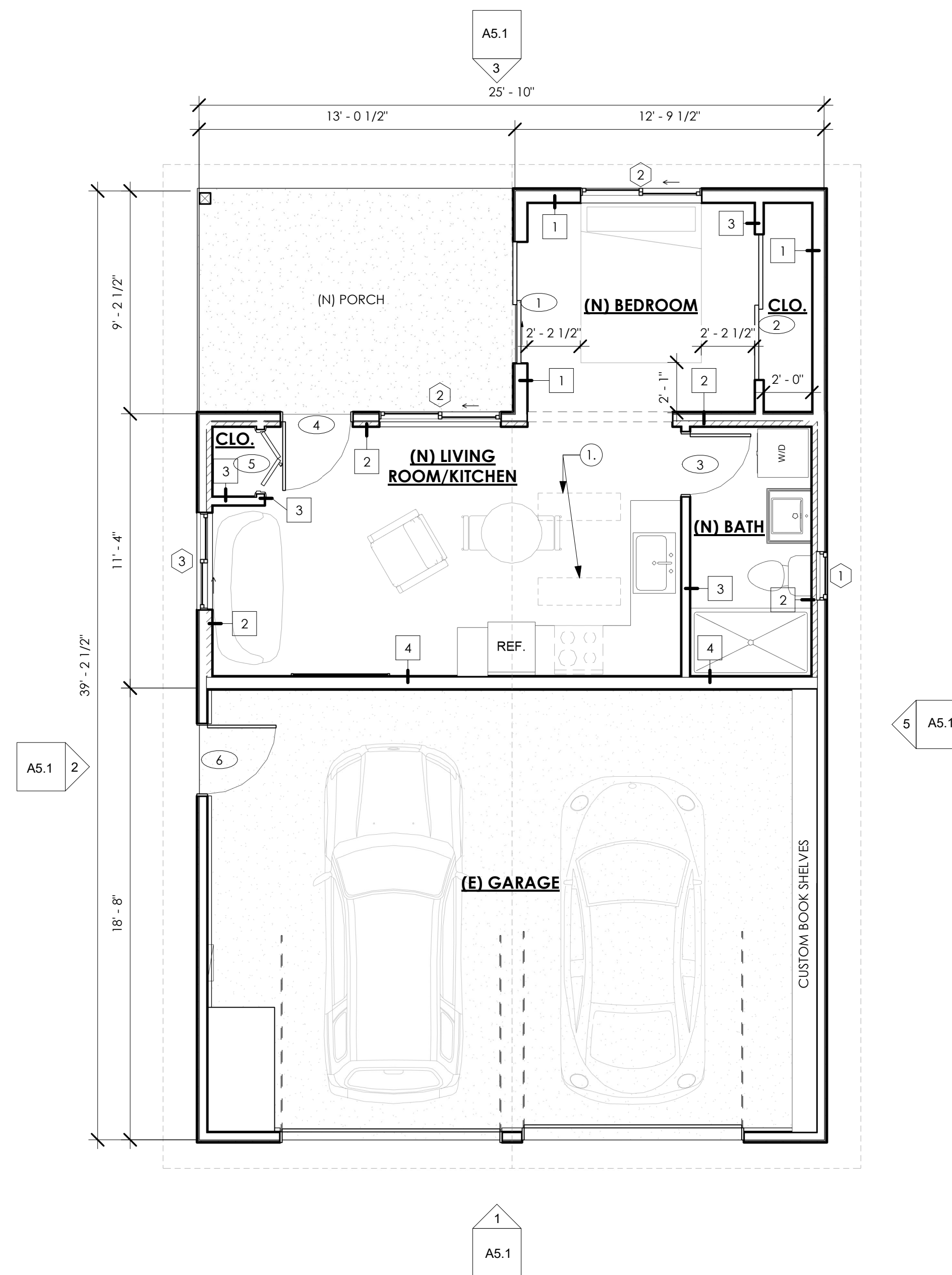
NEW FURRING WALL

(N) EXTERIOR - 2X6 WD STUDS @ 16" O.C. w/ R21 INSULATION

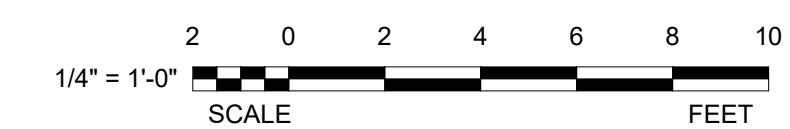
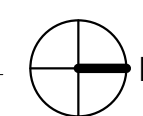
(N) FURRING WALL - 2X WD STUDS TO ALIGN WITH (E) 2X4 STUDS IN WALL, w/ MIN. R21 INSULATION

(N) INTERIOR - 2X4 WD STUDS @ 24" O.C. w/ 1/2" GYP ON BOTH SIDES

(N) INTERIOR - 2X6 WD STUDS @ 24" O.C. w/ MIN. R21 INSULATION & 1/2" GYP ON BOTH SIDES



1 FIRST FLOOR PROPOSED
1/4" = 1'-0"



SCHEMATIC

LINDSAY ADU
9509 SE Wichita Ave Milwaukie OR 97222

REVISIONS

NO.	DESCRIPTION / DATE

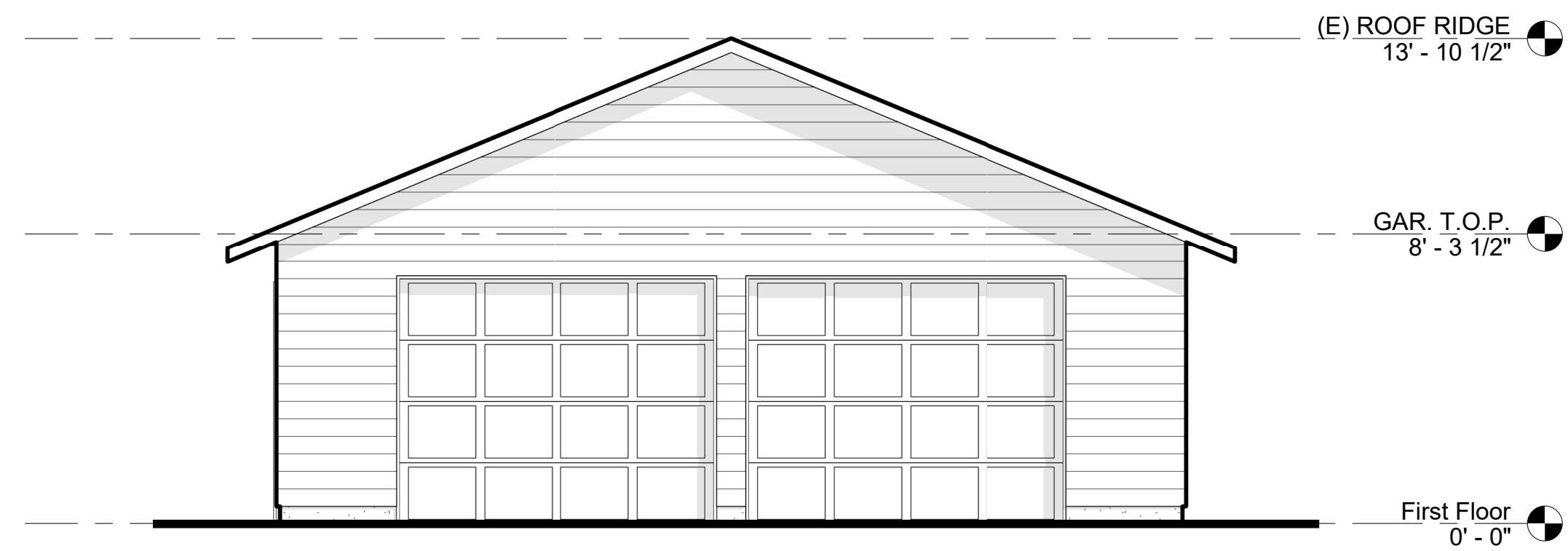
DRAWN BY: C. Lissner
PROJECT NO: 24-014
DATE: 06/07/2024

A2.1
FLOOR PLANS
PROPOSED



DON R TITUS
RESIDENTIAL ARCHITECT LLC
NEW HOMES ADDITIONS REMODELS
503 421 6085 don@donrtitus.com
www.donrtitus.com

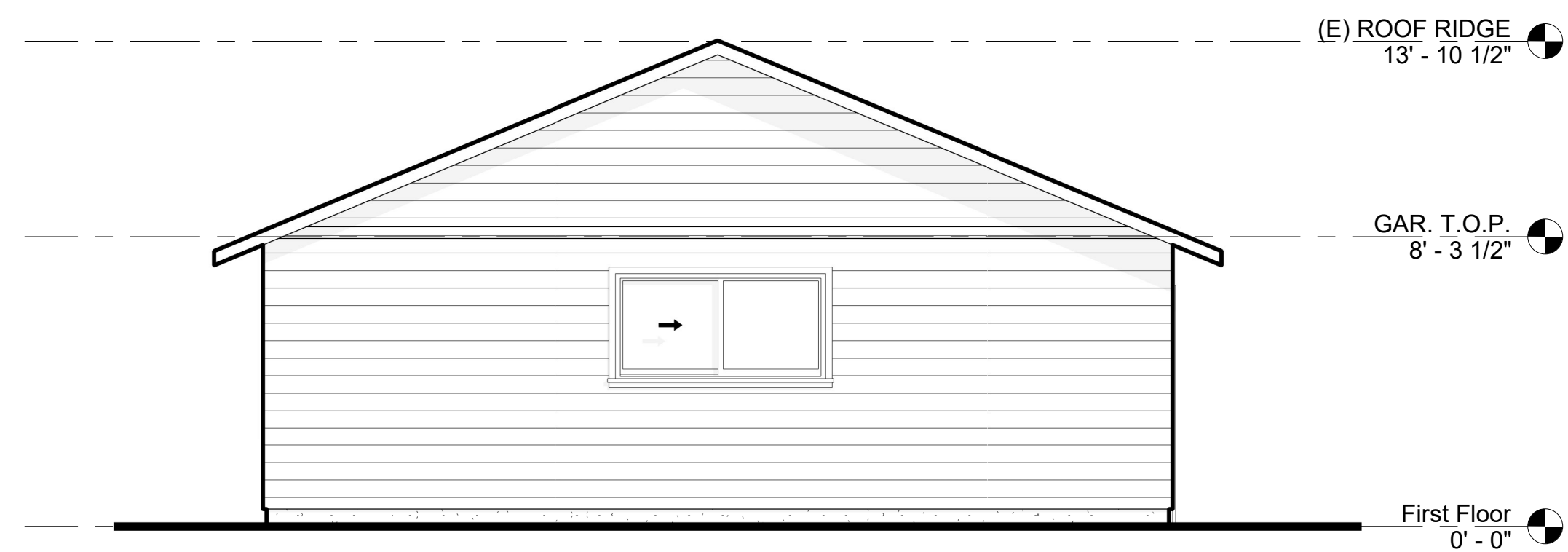
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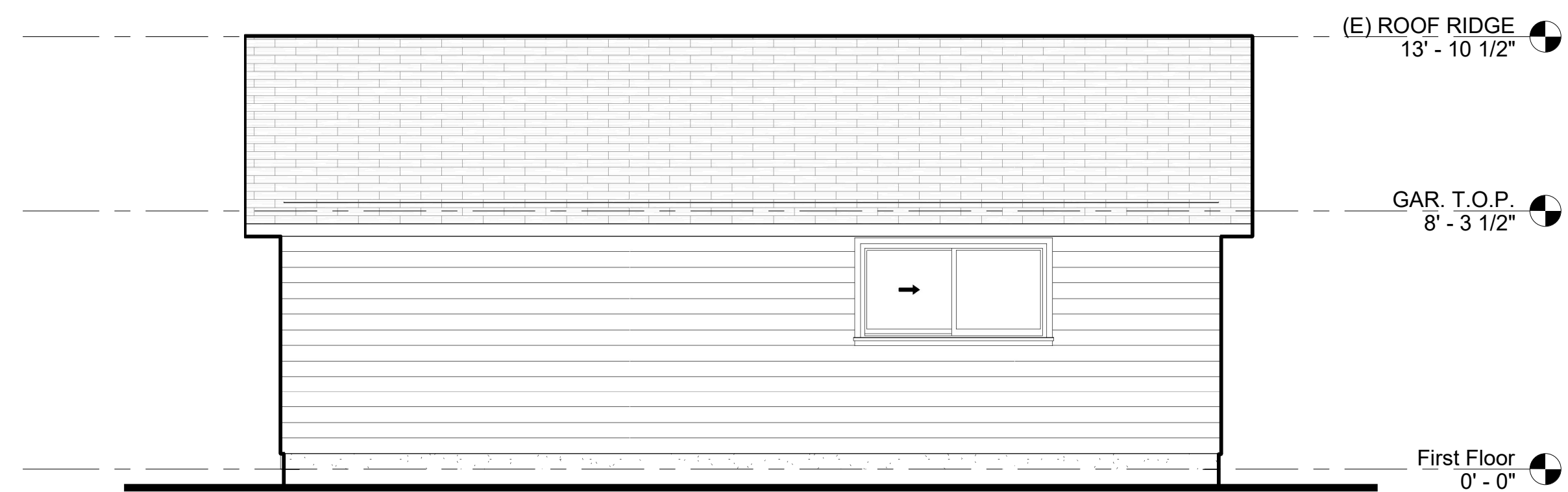
① EAST EXISTING
1/4" = 1'-0"



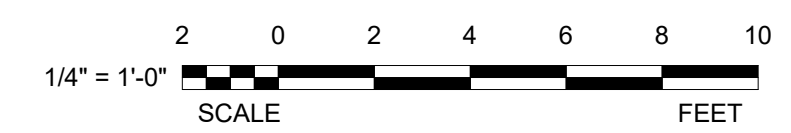
② SOUTH EXISTING
1/4" = 1'-0"



③ WEST EXISTING
1/4" = 1'-0"



④ NORTH EXISTING
1/4" = 1'-0"



SCHEMATIC

LINDSAY ADU
9509 SE Wichita Ave Milwaukie OR 97222

REVISIONS

NO.	DESCRIPTION / DATE

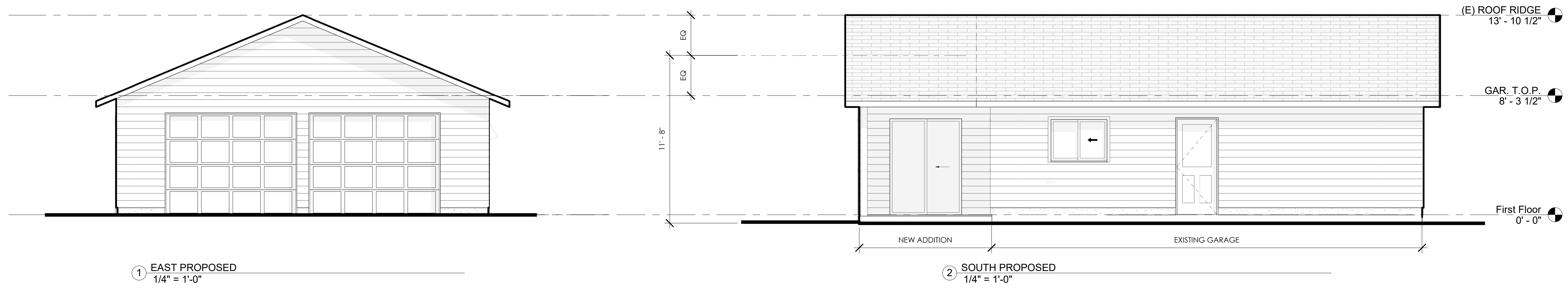
DRAWN BY: C. Lissner
PROJECT NO: 24-014
DATE: 06/07/2024

A5.0
ELEVATIONS
EXISTING



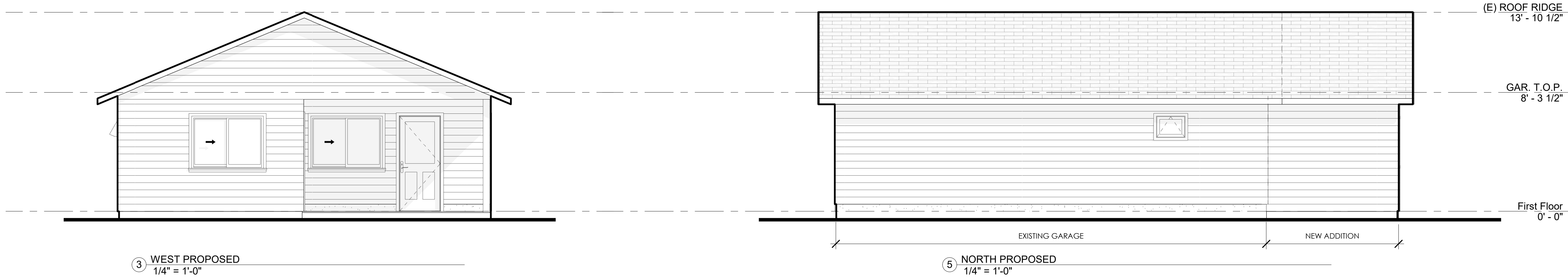
DON R TITUS
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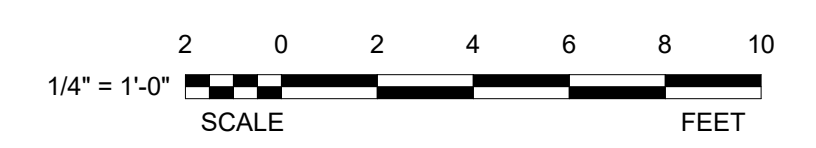
① EAST PROPOSED
1/4" = 1'-0"

② SOUTH PROPOSED
1/4" = 1'-0"



③ WEST PROPOSED
1/4" = 1'-0"

⑤ NORTH PROPOSED
1/4" = 1'-0"



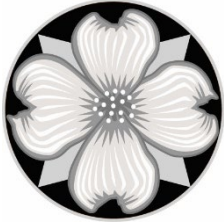
SCHEMATIC

LINDSAY ADU
9509 SE Wichita Ave Milwaukie OR 97222

REVISIONS	
NO.	DESCRIPTION / DATE

DRAWN BY: C. Lissen
PROJECT NO: 24-014
DATE: 06/07/2024

A5.1
ELEVATIONS PROPOSED



MILWAUKIE PLANNING
10501 SE Main St.
Milwaukie OR 97222
503.786.7630
planning@milwaukieoregon.gov

Accessory Dwelling Units: Detached

This handout summarizes the accessory dwelling unit (ADU) regulations for residential properties in the city of Milwaukie. Please refer to Milwaukie Municipal Code (MMC) Subsection 19.910.1. ADUs are allowed in all residential zones. ADUs must follow all of the zoning requirements of the residential zone they are located in, as well as the additional requirements in MMC 19.910.1.

Definition of Accessory Dwelling Unit

1. An “accessory dwelling unit” is an additional dwelling unit on a lot with a single-unit detached dwelling. An ADU is incidental to, and smaller than, the main dwelling unit. An ADU can either be attached to the main structure or in a detached structure.
2. The City has different regulations based on whether the ADU is attached or not.
3. An ADU includes areas and equipment for sleeping, cooking, and sanitation (bathrooms and toilets). A structure without these areas and equipment is an “accessory structure,” not an ADU, and is subject to the provisions of MMC Section 19.502 Accessory Structures.

Standards for All ADUs

1. The primary use on the property must be a single-unit detached house.
2. Two ADUs are allowed per lot. If there are two ADUs on the site, only one may be attached to or within the primary structure.
3. An ADU is limited to the lesser of 800 sq ft in floor area.

Review and Approval of Detached ADUs

Footprint, Height, and Required Yards for Detached Accessory Dwelling Units	
Standard	ADU
Maximum Structure Footprint	800 sq ft
Maximum Structure Height	25 ft, limited to 2 stories
Required Side and Rear Yard	5 ft
Required Front Yard	Base zone requirement for front yard
Required Street Side Yard	Base zone requirement for street side yard

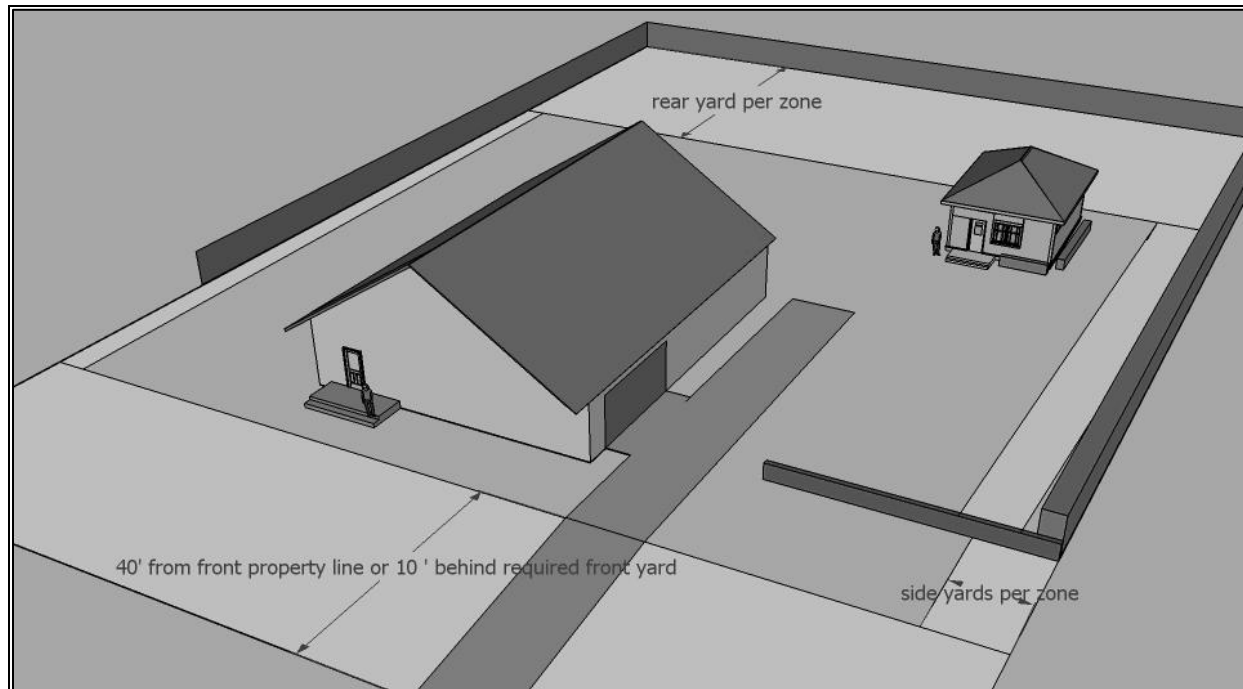
Development Standards for Detached ADUs

ADUs that are detached (a separate structure) from the primary residence must meet the development standards outlined in Table 1, below.

TABLE 1. DEVELOPMENT STANDARDS FOR DETACHED ACCESSORY DWELLING UNITS

Requirement	Allowed by Code	Subject Property Requirements	Proposed	Comments Staff Use Only
Maximum Lot Coverage ¹	Same as base zone	30% = 8,986 SF (-10% for lot >10k SF, +10% for accessory structure)	2,616 SF	
Minimum Landscaped Area ¹		40% front yard, 30% overall	~87% front yard, ~83% overall	
Setbacks: Front Property Line	Same as base zone	20'	131'-5 1/2"	
Setbacks: Street Side Property Line	Same as base zone	N/A	N/A	
Setbacks: Rear and Side Property Lines	5 ft min.	5' side 20' rear	12' side 129'-4" rear	
Maximum Allowed Floor Area	800 sq ft	800 SF	893 SF ADU/garage +77 SF porch	
Building Height of detached ADU ²	25 ft 2-story max.	25' 2 stories	11'-8" 1 story	

1. See Zoning Worksheets for requirements.
2. See page 4 of this handout for how to measure building height.



Required Design Elements for Detached ADUs

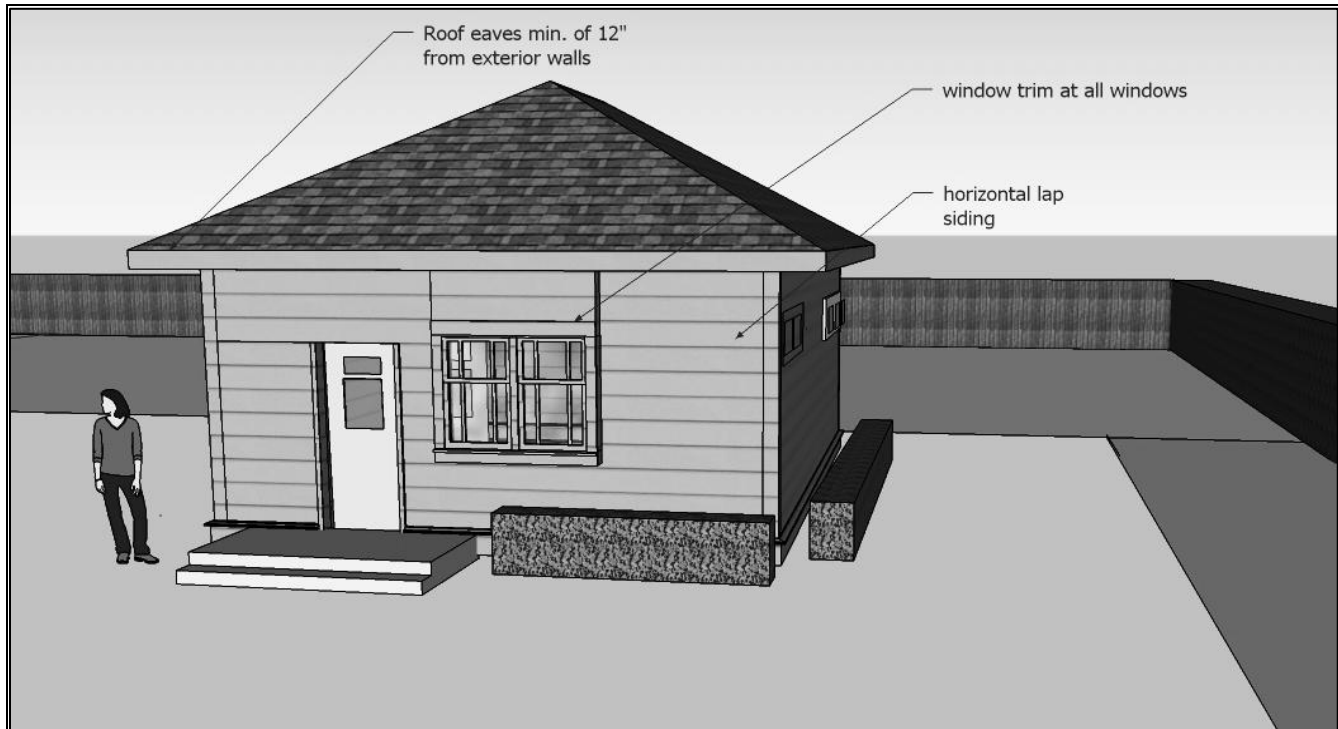
Detached ADUs must include at least 2 of the design details from Table 2, below.

TABLE 2. DESIGN STANDARDS FOR DETACHED ACCESSORY DWELLING UNITS

Requirement	Required by Code	Existing	Proposed	Comments Staff Use Only
Minimum roof pitch if floor-to-ceiling height is 9 ft or more ¹	4" rise for every 12" of run (4/12 pitch)	N/A	N/A floor-to-ceiling height <9'	
Privacy standard (for walls within 20 ft of adjacent residential property line)	All windows placed on upper 1/3 of wall, OR 6 ft visual screening	(E) garage window in upper 1/2 of wall	demo (E) window, (N) bath window in upper 1/3 of wall	
All detached ADUs shall include at least 2 of the following (check at least 2):				
Covered porch	5 ft min. depth	none	13' x 9' covered porch	
Recessed entry	2 ft min. from exterior wall to door	none	entry recessed under porch roof	
Roof eaves	12" min. projection	18" eaves, 12" rakes	18" eaves, 12" rakes	
Horizontal lap siding	Siding between 3-7" wide	lap siding ~8"-9" wide	lap siding TBD, will be 3"-7" wide	
Window trim at all windows	3" wide and 5/8" deep	none	trim will be min. 3" wide x 5/8" deep	

1. A minimum 4/12 roof pitch is required for an accessory structure greater than 10 ft and for ADUs with a floor-to-ceiling height greater than 9 ft.

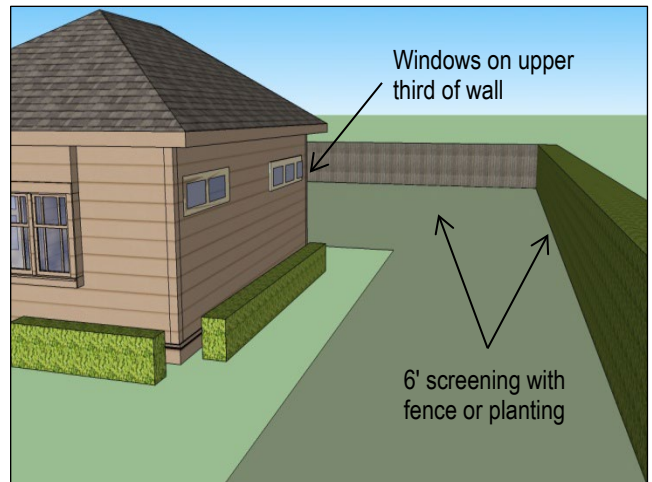
ILLUSTRATION OF DESIGN STANDARDS FOR DETACHED ACCESSORY DWELLING UNITS



Privacy Standards for Detached ADUs

If a detached ADU has a wall within 20 ft of a side or rear lot line of an adjacent residential property and is a 45-degree angle or less to the property line, at least one of the following privacy standards are required:

1. All windows on the wall shall be placed in the upper third of the distance between floor and ceiling.
2. Opaque visual screening with a minimum height of 6 ft is required along the property line next to the wall of the ADU. Screening may consist of a fence, wall, or evergreen shrubs. If newly planted shrubs are used, they must be at least 5 ft above grade at time of planting, and they must reach 6 ft high within one year. Existing features of the site may be used to meet this requirement.



Converting an Existing Accessory Structure into a Detached ADU

An existing structure can be converted to a detached ADU subject to the following standards.

1. If the existing accessory structure was legally established on or after June 3, 2022, the effective date of Ordinance #2216, it must meet all applicable standards for a new detached ADU.
2. If the existing accessory structure was legally established prior to June 3, 2022, the effective date of Ordinance #2216, it must meet all applicable standards for a new detached ADU, except for the design standards listed in Table 2 above, the maximum structure footprint, and minimum setbacks. However, the floor area of the ADU must not exceed the maximum floor area standard in Table 1 above. The conversion must not bring the accessory structure out of conformance, or further out of conformance, with any of the design standards listed in Table 2.

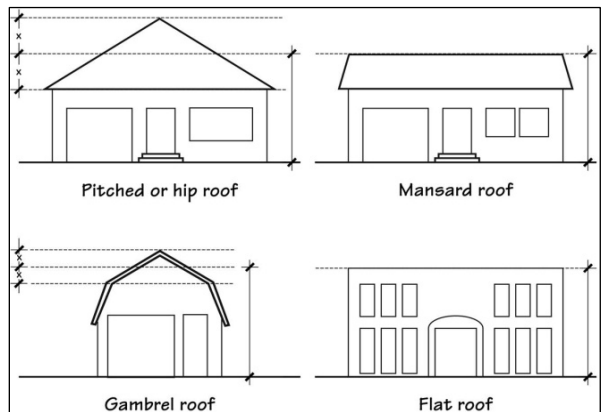
Other Requirements

A new dwelling unit within the city must also meet all applicable building codes and engineering requirements, which may include system development charges (SDCs) and street frontage improvements. Please be sure to contact these departments for applicable requirements: the Building Division can be contacted at 503-786-7623 or building@milwaukieoregon.gov, and the Engineering Department can be contacted at 503-786-7609 or engineering@milwaukieoregon.gov.

How to Measure Building Height

The top of building shall be determined based on the specific roof types listed below.

1. Flat roof: Measure to the top of the parapet or, if there is no parapet, to the highest point of the roof. If a roof includes multiple flat roofs at different elevations, measure to the top of the highest parapet or highest point of the highest roof.
2. Mansard roof: Measure to the deck line.
3. Pitched, hipped, or gambrel roof where roof pitch is 12/12 or less: Measure to the average height of the highest gable.
4. Pitched or hipped roof with a pitch steeper than 12/12: Measure to the highest point.
5. Gambrel roof where both pitches are steeper than 12/12: Measure to the highest point.



6. Other roof shape, such as domed, vaulted, or pyramidal: Measure to the highest point.
7. Stepped or terraced building: Measure to the highest point of any segment of the building.