

MILWAUKIE PLANNING
 10501 SE Main St.
 Milwaukie OR 97222
 503-786-7630
 planning@milwaukieoregon.gov

Application for Land Use Action

Primary File #: HR-2024-002

Review type*: I II III IV V

CHECK ALL APPLICATION TYPES THAT APPLY:

- | | | |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or | <input type="checkbox"/> Land Division: | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Comprehensive Plan Map Amendment | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Residential Dwelling |
| <input type="checkbox"/> Zoning Text Amendment | <input type="checkbox"/> Lot Consolidation | <input type="checkbox"/> Manufactured Dwelling Park |
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Partition | <input type="checkbox"/> Manufactured Dwelling |
| <input type="checkbox"/> Code Interpretation | <input type="checkbox"/> Property Line Adjustment | <input type="checkbox"/> Temporary Dwelling Unit |
| <input type="checkbox"/> Community Service Use | <input type="checkbox"/> Replat | <input type="checkbox"/> Transportation Facilities Review** |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance: |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Mixed Use Overlay Review | <input type="checkbox"/> Use Exception |
| <input type="checkbox"/> Director Determination | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Downtown Design Review | <input type="checkbox"/> Natural Resource Review** | <input type="checkbox"/> Willamette Greenway Review |
| <input type="checkbox"/> Extension to Expiring Approval | <input type="checkbox"/> Nonconforming Use Alteration | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Historic Resource: | <input type="checkbox"/> Parking: | Use separate application forms for: |
| <input checked="" type="checkbox"/> Alteration | <input type="checkbox"/> Quantity Determination | Annexation and/or Boundary Change |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Quantity Modification | • Compensation for Reduction in Property |
| <input type="checkbox"/> Status Designation | <input type="checkbox"/> Shared Parking | • Value (Measure 37) |
| <input type="checkbox"/> Status Deletion | <input type="checkbox"/> Structured Parking | Daily Display Sign |
| | | • Appeal |

RESPONSIBLE PARTIES:

APPLICANT (owner or other eligible applicant—see reverse): **Mark Eklund**

Mailing address: **1322 SE Lexington St., Portland** State/Zip: **OR, 97202**

Phone(s): **503-420-6902** Email: **markeklund96@gmail.com, aprileklund@gmail.com, troy@fowlerhomedesign.com, ag.brown143@gmail.com**

Please note: The information submitted in this application may be subject to public records law.

APPLICANT'S REPRESENTATIVE (if different than above):

Mailing address: State/Zip: .

Phone(s): Email:

SITE INFORMATION:

Address: **1620 SE Waverly Dr., Milwaukie, OR 97222** Map & Tax Lot(s): **11E26DB00300**

Comprehensive Plan Designation: **MD** Zoning: **R-MD** Size of property: **0.84 acres**

PROPOSAL (describe briefly):

A 1784 S.F. ADDITION TO THE EXISTING RESIDENCE. IT ALSO INCLUDES THE ADDITION OF A 306 S.F. PRE-FABRICATED CONSERVATORY.

SIGNATURE: I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by: *Mark Eklund* Date: *9/3/2024*

IMPORTANT INFORMATION ON REVERSE SIDE

*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.
 ** Natural Resource and Transportation Review applications may require a refundable deposit.

WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION (excerpted from MMC Subsection 19.1001.6.A):

Type I, II, III, and IV applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

Type V applications may be initiated by any individual.

PREAPPLICATION CONFERENCE:

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

DEPOSITS:

Deposits require completion of a Deposit Authorization Form, found at www.milwaukieoregon.gov/building/deposit-authorization-form

REVIEW TYPES:

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

THIS SECTION FOR OFFICE USE ONLY:

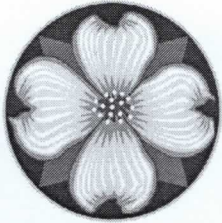
FILE TYPE	FILE NUMBER	AMOUNT <small>(after discount, if any)</small>	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	HR-2024-002	\$ 2,000			Application materials received on 9/4/24. Payment received on 9/xx/24.
Concurrent application files		\$			
		\$			
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	

TOTAL AMOUNT RECEIVED: \$	RECEIPT #:	RCD BY:
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Associated application file #s (appeals, modifications, previous approvals, etc.):

Neighborhood District Association(s): Historic Milwaukie NDA

Notes: The applicant is proposing to alter a historic resource (1620 SE Waverly Dr) listed as significant on Milwaukie's local inventory.



MILWAUKIE PLANNING

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Submittal Requirements

For all Land Use Applications
(except Annexations and Development Review)

All land use applications must be accompanied by a signed copy of this form (see reverse for signature block) and the information listed below. The information submitted must be sufficiently detailed and specific to the proposal to allow for adequate review. Failure to submit this information may result in the application being deemed incomplete per the Milwaukie Municipal Code (MMC) and Oregon Revised Statutes.

Contact Milwaukie Planning staff at 503-786-7630 or planning@milwaukieoregon.gov for assistance with Milwaukie's land use application requirements.

1. **All required land use application forms and fees**, including any deposits.

Applications without the required application forms and fees will not be accepted.

2. **Proof of ownership or eligibility to initiate application** per MMC Subsection 19.1001.6.A.

Where written authorization is required, applications without written authorization will not be accepted.

3. **Detailed and comprehensive description** of all existing and proposed uses and structures, including a summary of all information contained in any site plans.

Depending upon the development being proposed, the description may need to include both a written and graphic component such as elevation drawings, 3-D models, photo simulations, etc. Where subjective aspects of the height and mass of the proposed development will be evaluated at a public hearing, temporary onsite "story pole" installations, and photographic representations thereof, may be required at the time of application submittal or prior to the public hearing.

4. **Detailed statement** that demonstrates how the proposal meets the following:

A. All applicable development standards (listed below):

1. **Base zone standards** in Chapter 19.300.
2. **Overlay zone standards** in Chapter 19.400.
3. **Supplementary development regulations** in Chapter 19.500.
4. **Off-street parking and loading standards and requirements** in Chapter 19.600.
5. **Public facility standards and requirements**, including any required street improvements, in Chapter 19.700.

B. All applicable application-specific approval criteria (check with staff).

C. Compliance with the Tree Code (MMC 16.32): www.milwaukieoregon.gov/trees

These standards can be found in the MMC, here: www.qcode.us/codes/milwaukie/

5. **Site plan(s), preliminary plat, or final plat** as appropriate.

See Site Plan, Preliminary Plat, and Final Plat Requirements for guidance.

6. **Copy of valid preapplication conference report**, when a conference was required.

APPLICATION PREPARATION REQUIREMENTS:

- Electronic copies of all application materials are required at the time of submittal.

ADDITIONAL INFORMATION:

- Neighborhood District Associations (NDAs) and their associated Land Use Committees (LUCs) are important parts of Milwaukie's land use process. The City will provide a review copy of your application to the LUC for the subject property. They may contact you or you may wish to contact them. Applicants are strongly encouraged to present their proposal to all applicable NDAs prior to the submittal of a land use application and, where presented, to submit minutes from all such meetings. NDA information: www.milwaukieoregon.gov/citymanager/what-neighborhood-district-association.
- By submitting the application, the applicant agrees that City of Milwaukie employees, and appointed or elected City Officials, have authority to enter the project site for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

As the authorized applicant I, (print name) MARK EKLUND, attest that all required application materials have been submitted in accordance with City of Milwaukie requirements. I understand that any omission of required items or lack of sufficient detail may constitute grounds for a determination that the application is incomplete per MMC Subsection 19.1003.3 and Oregon Revised Statutes 227.178. I understand that review of the application may be delayed if it is deemed incomplete.

Furthermore, I understand that, if the application triggers the City's sign-posting requirements, I will be required to post signs on the site for a specified period of time. I also understand that I will be required to provide the City with an affidavit of posting prior to issuance of any decision on this application.

Applicant Signature: Mark Eklund

Date: 9/13/2024

Official Use Only

Date Received (date stamp below):

<p>Application materials received on 9/4/24.</p> <p>Payment received on 9/xx/24.</p>
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Received by: Ryan Dyar, Associate Planner

Detailed Statement

Proposed Alterations at 1620 SE Waverly Dr.

9/4/2024

Prepared For: City of Milwaukie, Oregon

Prepared By: Fowler Home + Design

The summary of proposed alterations to the existing residence on the main floor include the addition of a primary wing located on the far east side of the residence that houses a bedroom, bath, and walk-in closet, the addition of a 306 s.f. prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6', and extending the south kitchen and nook walls 8.5' and 6' respectively. The total main floor additions including the conservatory amounts to 1,436 s.f.

On the upper floor, slight wall extensions are made on the north wall above the porch, the east wall at the existing bath, the south wall, and west wall which amounts to a total of 348 s.f. additional area. The upper floor also includes the additions of a deck on the northwest and the south. All existing roofs are kept as existing as much as possible, such as the tallest roof form over the primary mass of the existing residence. The proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The two most critical elements outlined in the 1988 historic resource survey are the PERSON and STYLE categories. The STYLE category states the residence as Colonial Revival style with elements of interest centered primarily around the entrance of the residence such as the paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters. Additional noted elements of interest include quoining at the entrance, an endwall chimney, a palladian window, the polygonal bay window with tent roof and spandrel, and the belt course over the second story windows.

The proposed alterations have little to no impact on the PERSON category as the overall character and layout of the existing residence is maintained. For the STYLE category, the proposed alterations enhance and add to the existing style by an increased number of Colonial Revival design elements than found in the existing residence. The proposed alteration Colonial Revival Design elements include an arched keystone entryway with full entablature and doric pilasters, curved molding around an oval window above the entrance, an arched entry door, gridded windows throughout, two curved copper roofs with oval windows below, an exposed stone chimney with a copper chimney cap, a tile clad curved bay with a full entablature off the dining room, colonial wooden balusters, and a more extensive usage of materials that better reflect the Colonial Revival style such as brick, stone, copper, and painted cedar siding.

In addition to the increased Colonial Revival design elements in the proposed alterations, the alterations will also create a more efficient and safe residence through better insulation, higher performance windows, seismic fortification of the structure, and usage of high quality exterior materials that align with the Colonial Revival style.

The proposed alterations adhere to all relevant zoning and development standards. Refer to the plans and elevations for further information.

Approval Criteria:

1. *Retention of Original Construction*

Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.

Response: The majority of the existing walls and the primary and tallest portion of the roof will remain. The Colonial Revival design elements are proposed to be replaced with different, yet appropriate design elements of the Colonial Revival style. The original design elements may be re-used or replicated in the alterations if it is preferable.

2. *Building Height*

Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.

Response: The tallest roof form will remain, thus maintaining the existing buildings highest elevation. All proposed roofs match the existing roof pitches.

3. *Horizontal Additions*

The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.

Response: All proposed alterations, including the relationship of windows to walls, remain compatible with the original architectural character, scale, materials, and proportions of the historic residence.

4. *Windows*

Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.

Response: The window replacements will match the frames and gridded style of the original windows as shown in the elevations on the plans.

5. *Restoration Possible*

Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.

Response: The proposed alterations and additions shall be constructed in such a manner that the additions and alterations could be removed and restored to its existing condition, thus preserving the essential form and integrity of the original building.

6. *Signs and Lighting*

Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.

Response: There is no proposed signage. The proposed lighting and other appurtenances will be visually compatible with the original character of the building.

7. *Time Period Consistency*

Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.

Response: All proposed alterations and additions are deeply based in the Colonial Revival style.

8. *Visual Integrity/Style*

Application materials received on 9/4/24.
Payment received on 9/xx/24.
Buildings shall maintain or restore as far as is practicable the original stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building.

Response: The proposed alterations and additions replace existing stylistic features with different, equivalent features of the same style. Re-using and/or replicating the exact existing stylistic features may be done if preferred.

9. *Replacement or Additional Materials*

Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is

proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.

Response: The proposed alterations and additions match the existing materials of the historic residence. The new proposed materials are all commonplace within the Colonial Revival style.

10. Buffering

An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.

Response: Our current proposal does not include any buffering or screening. However, if required, the buffering or screening will be consistent with requirements from NPS.

The applicant is applying to alter a resource listed as significant on the city's historic inventory. The applicant is proposing a horizontal addition, a rear addition, replacement of exterior siding, a new front entry, window replacement, new pat and a reorientation of the garage entry.

1620 SE WAVERLY DRIVE MILWAUKIE, OR. 97222



- ALL EXCESS GRADING MATERIAL TO BE EXPORTED TO AN APPROVED DISPOSAL LOCATION.
- ALL FILL AREAS (UNDER GARAGE FLOORS, SIDEWALKS, DRIVEWAYS, ETC.) TO BE COMPACTED GRANULAR FILL.
- THERE WILL BE A SLIGHT OVER EXCAVATION TO PROVIDE CONCRETE FORMING AND AROUND NEW STRUCTURE.
- PROVIDE COUNTY/CITY APPROVED SEDIMENT FENCES AROUND EXCAVATED AREA PRIOR TO EXCAVATION AND CONSTRUCTION.
- PROVIDE COUNTY/CITY APPROVED ESTABLISHED GRAVELLED CONSTRUCTION ENTRANCE PRIOR TO EXCAVATION AND CONSTRUCTION.
- STOCKPILES MUST BE COVERED WITH MULCH OR PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30.
- CONTRACTOR/SUB-CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO FOWLER HOME DESIGN INC. FOWLER HOME DESIGN INC. SHALL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY ALL SITE CONDITIONS INCLUDING FILL PLACED ON SITE.

- ELEVATION LEGEND:**
- BE - EXISTING GRADE ELEVATION
 - FE - FINAL GRADE ELEVATION
 - FF - FINISHED FLOOR ELEVATION
- PROVIDE A MINIMUM GRAVEL BASE UNDER ALL DRIVEWAY AREAS.
 - PROVIDE A 4" MINIMUM GRAVEL BASE UNDER ALL SIDEWALK AND PATIO AREAS.
 - RERE ALL STORM DRAINAGE FROM THE BUILDING TO A COUNTY/CITY DISPOSAL POINT/CONNECTION.
 - MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
 - PROVIDE AND MAINTAIN FINISH GRADE WITH POSITIVE DRAINAGE AWAY FROM STRUCTURE ON ALL SIDES WITH A SLOPE OF AT MINIMUM IN 10'-0".

EROSION CONTROL PLAN

- COVERED STOCKPILES - COVER WITH PLASTIC OCT. 1 - MAY 31.
 - SEDIMENT FENCE
 - CONSTRUCTION ENTRANCE (ACCESS POINT)
 - WORK STAGING/MATERIAL STORAGE
 - N.B.** 3" APPROVED COVER ON ALL AREAS OF BARE SOIL UNTIL PERMANENT LANDSCAPE IS IN PLACE.
 - NON-LOZEN INLET PROTECTION AT THE FIRST DOWNSTREAM CATCH BASIN
 - WOODEN CURB RAMP
 - DIRECTION OF STORM-WATER FLOW ON SITE
- NO STOCKPILES ARE TO BE LOCATED IN THE SIDE SETBACK AREAS.

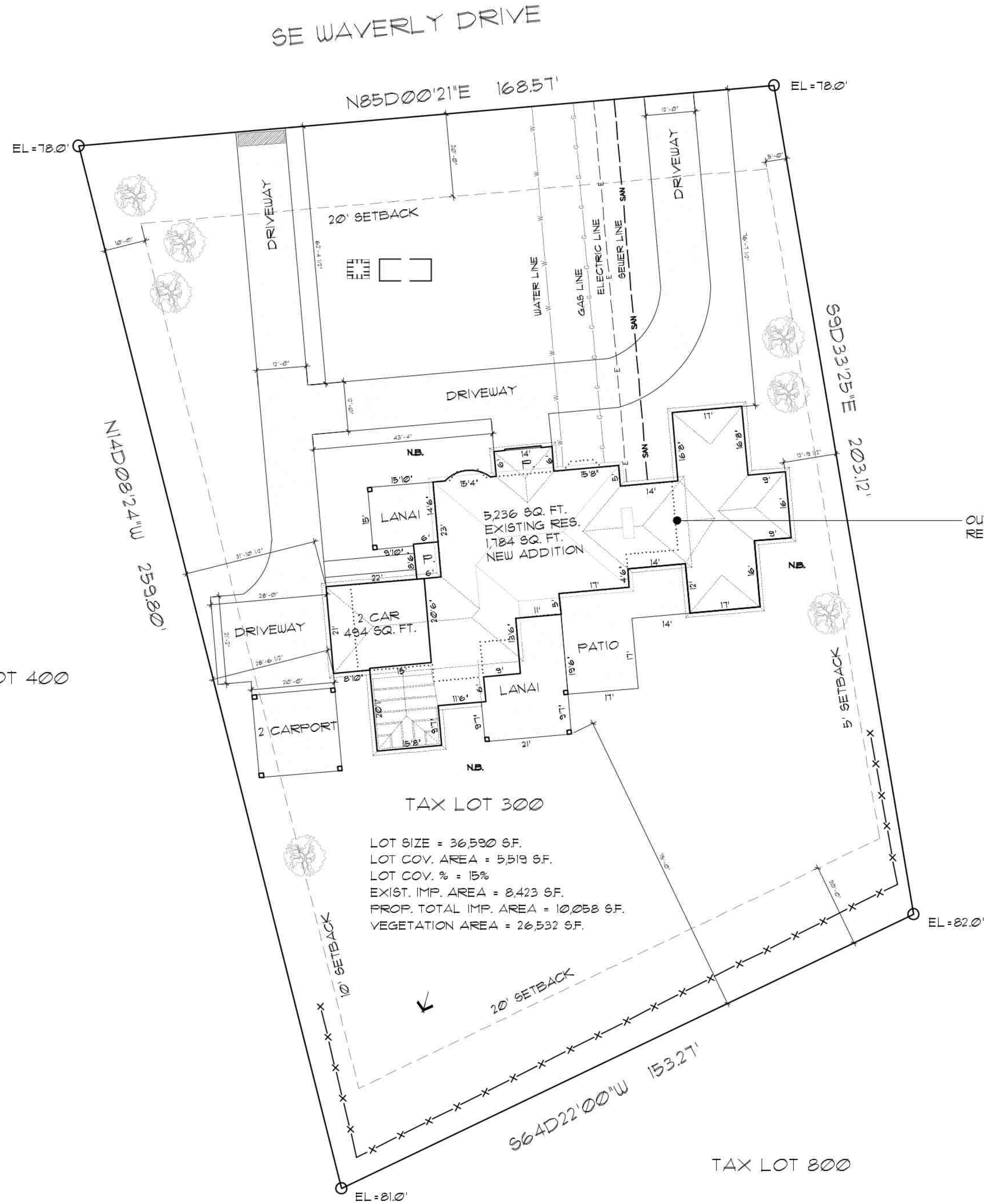


IMPORTANT DISCLOSURE - PLEASE READ:

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF THE PROJECT ONLY. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE USER OF THESE PLANS ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS. THE USER OF THESE PLANS AGREES TO HOLD THE DESIGNER HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING FROM OR RESULTING FROM THE USE OF THESE PLANS. FOWLER HOME DESIGN LLC SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE MADE BY THE USER OF THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE GOVERNING AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE DESIGNER. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR THE COMPLETION OF THIS PLAN TO ANY CODE OR ANY REGULATORY AGENCY.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND UTILITIES, TYP.

TAX LOT 400



TAX LOT 300

LOT SIZE = 36,590 SF.
 LOT COV. AREA = 5,519 SF.
 LOT COV. % = 15%
 EXIST. IMP. AREA = 8,423 SF.
 PROP. TOTAL IMP. AREA = 10,258 SF.
 VEGETATION AREA = 26,532 SF.

TAX LOT 800

THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97222

PLAN No:
 DRAWN: TF
 DATE: 9/3/2024
 SCALE: 1"=10'-0"
 FILE:

PLOT PLAN



THESE PLANS AND DESIGNS
 HEREIN ARE COPYRIGHTED
 UNDER FEDERAL LAW BY
 TROY FOWLER & FOWLER HOME
 DESIGN LLC 2024

ELEVATION NOTES:

- ROOFING MATERIAL TO BE ARCHITECTURAL COMPOSITION MATERIALS AND 5/8" STANDING SEAM METAL ROOFING SEE ELEVATION PAGE. ROOF SHINGLES TO BE NAILED PER MANUFACTURER'S INSTRUCTIONS FOR 80 MPH MINIMUM WIND AREAS.
- ROOF PITCH TO BE SHOWN ON PLANS
- ALL EAVES TO BE NOTED ON PLANS WITH A 6" GALVANIZED FACIA GUTTER ON SPECIFIED FACIA BD. PROVIDE 3" GALVANIZED DOWNSPOUTS (DB) AS SHOWN ON ROOF FRAMING PLAN.
- SIDING NOTED ON PLANS
- ALL WINDOW & DOOR TRIM TO BE 5/4 X 4 AT SIDES AND 5/4 X 6 CROWN & SILL.
- SIDING TO BE SPECIFIED ON PLAN. CALC. ALL CORNER BOARDS, JOINTS, WINDOWS, DOORS AND SURROUNDS.
- ALL CORNER BOARD TRIM TO BE 2 X 4 PILED BD. AS SHOWN ON PLAN.
- COVERED PORCHES AND EAVE SOFFITS TO BE 1/2" EXT. PLYWOOD OR EQUAL TOO. CALC. ALL JOINTS.
- MASONRY VENEER TO BE CULTURED STONE OR EQUAL AS SHOWN ON PLAN. PROVIDE GALVANIZED FLASHING ON A MASONARY BILL CAP OVER VENEER. VERIFY LOCATION AND TYPE OF MASONRY WITH BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE 2 X 10 ROUGH SAWN CEDAR OR EQUAL AT ALL BELLY BANDS WITH A GALVANIZED 1/2" FLASHING AT EXPOSED TOP. LOCATIONS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED.
- PROVIDE VENTS AS SHOWN, SHUTTERS AND TRIMS ON ELEVATIONS AS SHOWN ON PLAN.
- PROVIDE VINYL WINDOWS AS SHOWN ON PLAN.
- EXPOSED CONCRETE WALKS TO BE BROOKE FINISH AS SHOWN ON PLAN.
- MAXIMUM FOUNDATION EXPOSURE TO BE 8" FROM FINISHED GRADE.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- FINISH GRADE TO BE 1% MAXIMUM SLOPE WITH A 6" MINIMUM IN 10'-0" MINIMUM SLOPE AWAY FROM STRUCTURE ALL AROUND.
- SEE ELEVATIONS FOR ANY ADDITIONAL NOTATIONS THAT MAY BE OF IMPORTANCE.
- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE, UNIFORM BUILDING CODE OF ANY APPLICABLE STATE, COUNTY OR LOCAL JURISDICTION.
- BEFORE BEGINNING CONSTRUCTION, THE PLANS AND SPECIFICATIONS SHALL BE APPROVED BY THE LOCAL BUILDING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START AND/OR DURING CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
- BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR IS RESPONSIBLE TO REVIEW SPECIFIC SITE CONDITIONS WITH THE DESIGNER BEFORE CONSTRUCTION.
- VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH. PLUMBING, ELECTRICAL, AND/OR OTHER SUBCONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
- PLUMBING, ELECTRICAL, AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
- ENGINEERED PRODUCTS (ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB.
- SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DEVIATIONS FROM THE ORIGINAL PLANS WITHOUT WRITTEN CONFIRMATION FROM THE DESIGNER.
- ALL DIMENSIONS AND SQUARE FOOTAGE MAY VARY.
- THE TYPE OF EXTERIOR FINISH, THE INSTALLATION, AND THE WATERPROOFING DETAILS ARE TO BE THE FULL RESPONSIBILITY OF THE GENERAL BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY OF THE BUILDING ENVELOPE.

DESIGN LOADS:

WIND	10 MPH OR LESS
SEISMIC DESIGN CATEGORY	D2
FROST DEPTH	16 INCHES
ROOF DEAD LOAD	17 PSF
ROOF LIVE LOAD	10 PSF
ROOF SNOW LOAD	19 PSF
FLOOR DEAD LOAD	9 PSF
FLOOR LIVE LOAD	40 PSF
STAIRS	40 PSF
EXTERIOR BALCONIES	60 PSF
DECKS	60 PSF

IMPORTANT DISCLOSURE PLEASE READ:

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. NO OTHER PROFITS (AND/OR) IS LEGAL TO BUILD FROM THESE PLANS OTHER THAN ONE WITHIN THE WRITTEN CONSENT FROM THE DESIGNER, TROY FOWLER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAW TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED DESIGN AND PLANS. HOWEVER, IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONTRACT THE HOME DESCRIBED HEREIN, ON ANY PARTICULAR SITE AND WITHIN THE CONFINES OF THE GOVERNING JURISDICTION. FOWLER HOME DESIGN LLC, TANGS NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODES ON ANY BUILDING SITE.



FRONT ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
A	3/8x6/8 OVAL PK.	2
B	3-2/8x6/8 PK. MULLED	1
C	4-2/8x6/8 MULLED PK-CENT-CENT-PK.	4
D	2/8x6/8 PK.	3
E	2/8x6/8 CBMT.	4
F	3-2/8x6/8 MULLED PK-CENT-PK.	4
G	2/8x6/8 CBMT.	5
H	3-2/8x6/8 MULLED PK-CENT-PK.	2
I	2/8x6/8 CBMT. MULLED	2
J	2/8x6/8 CBMT.	1
K	2-2/8x6/8 CBMT. MULLED	1
L	2/8x6/8 PK.	6
M	3/8x2/8 PK.	1
N	3-2/8x6/8 PK. MULLED	1
O	2/8x2/8 PK.	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNCO.



EXIST. FRONT ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE



EXIST. RIGHT SIDE ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE



RIGHT SIDE ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL

CONTRACTOR TO SELECT 1 OPTION

(ORIG. 2017 TABLE NUMBER)

1	HIGH EFFICIENCY HVAC SYSTEM: GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 94% OR AIR-SOURCE HEAT PUMP WITH COP OF 10.0 OR ENERGY STAR RATED.
2	HIGH EFFICIENCY WATER HEATING SYSTEM: NATURAL GAS PROPANE WATER HEATER WITH MIN. EFF. OF 90% OR ELECTRIC HEAT PUMP WATER HEATER WITH 1.5 COP. OR NATURAL GAS PROPANE TANKLESS INSTANT WATER HEATER WITH MIN. EFF. OF 90% OR ELECTRIC WATER HEAT RECOVERY UNIT INSTALLED ON H.R. OF ONE BATHROOM.
3	WALL INSULATION UPGRADE: EXTERIOR WALLS U-20-0-20-3 CONVENTIONAL FRAMING WITH R-50 CONTINUOUS INSULATION.
4	ADVANCED ENVELOPE: CEILING: 100% R-50 INSULATION UPGRADE AND FLAT CEILING 4-INCHER 4-IN. AND RELATED FLOOR: U-20-0-20-3 OR GLAZED INSULATION TO R-24. OR 1.50 IN. U-20-0-20-3 OR R-8 R-11 INSULATED GLAZ.
5	DUCTLESS HEAT PUMP: FOR HEATING WITH ALL-ELECTRIC HEAT PROVIDE DUCTLESS HEAT PUMP OF FIN. HPF OF 10 IN PRIMARY ZONE, REPLACES ZONE, ELECTRIC HEAT SOURCE, AND PROGRAMMABLE THERMOSTAT FOR ALL HEATERS IN BEDROOMS.
6	HIGH EFFICIENCY THERMAL ENVELOPE U.A. PROPOSED U.A. IS AS LOW AS THE CODE U.A.
7	GLAZING AREA: GLAZING AREA MEASURED AS THE TOTAL OF FRAMED OPENINGS IS LESS THAN 2% OF CONDITIONED FLOOR AREA.
8	3 ACH AIR LEAKAGE CONTROL, 4 EFFICIENT VENTILATION: ACHIEVE A MAX. OF 3.0 ACH50 SINGLE HOUSE AIR LEAKAGE WITH THIRD-PARTY TESTED AND PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM INCLUDING HEAT RECOVERY WITH A MINIMUM VENTILATION HEAT RECOVERY EFFICIENCY OF NOT LESS THAN 66%.

IMPORTANT DISCLOSURE PLEASE READ:
THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. YOU MAY NOT REPRODUCE OR REUSE THESE PLANS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER. YOU WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ANY VIOLATION OF FEDERAL, STATE OR LOCAL LAWS TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL NOT BE RESPONSIBLE FOR ANY VIOLATION OF FEDERAL, STATE OR LOCAL LAWS TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL NOT BE RESPONSIBLE FOR ANY VIOLATION OF FEDERAL, STATE OR LOCAL LAWS TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL NOT BE RESPONSIBLE FOR ANY VIOLATION OF FEDERAL, STATE OR LOCAL LAWS TO REPRODUCE THESE PLANS.

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
A	3/8x4/8 OVAL FX	2
B	3-2/8x8/8 FX MULLED	1
C	4-2/8x8/8 MULLED FX-CENT-CENT-FX	4
D	2/8x8/8 FX	3
E	2/8x8/8 CENT.	4
F	3-2/8x8/8 MULLED FX-CENT-FX	4
G	2/8x8/8 CENT.	5
H	3-2/8x8/8 MULLED FX-CENT-FX	2
I	2-2/8x8/8 CENT. MULLED	2
J	2/8x8/8 CENT.	1
K	2/8x8/8 CENT. MULLED	1
L	2/8x8/8 FX	6
M	2/8x8/8 FX	1
N	3-2/8x8/8 FX MULLED	1
O	2/8x8/8 FX	1

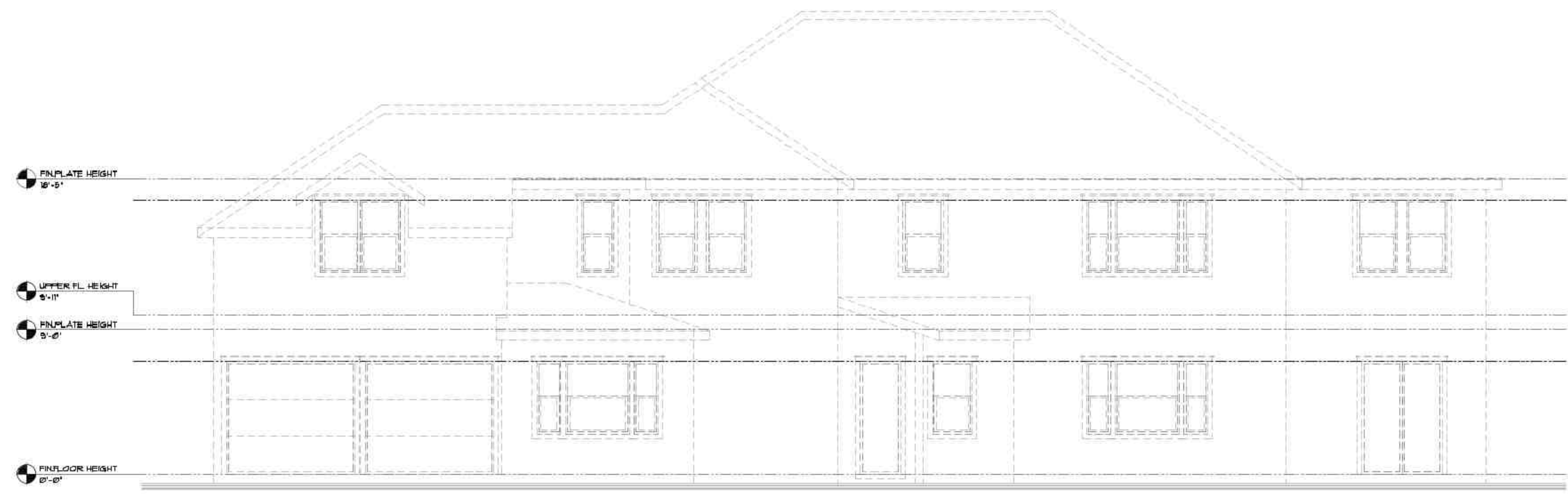
NOTE: ALL WINDOWS TO HAVE BRISB UNLO.



EXIST. LEFT SIDE ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE



REAR ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL



EXIST. REAR ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE



LEFT SIDE ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL



THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

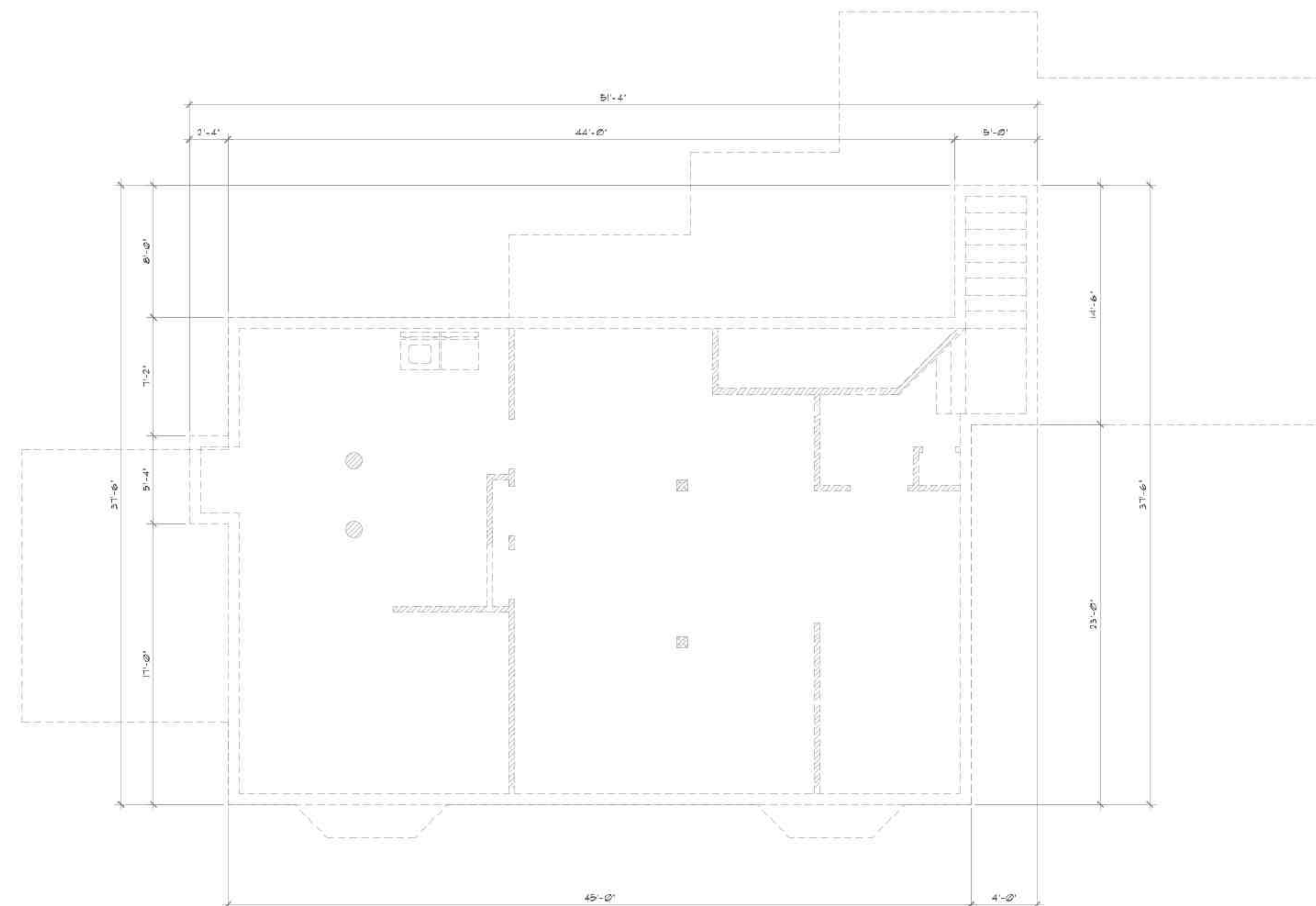
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DRAWN: _____ TF
DATE: 9/3/2024
SCALE: 1/4"=1'-0"
FILE: _____

EXTERIOR ELEVATION

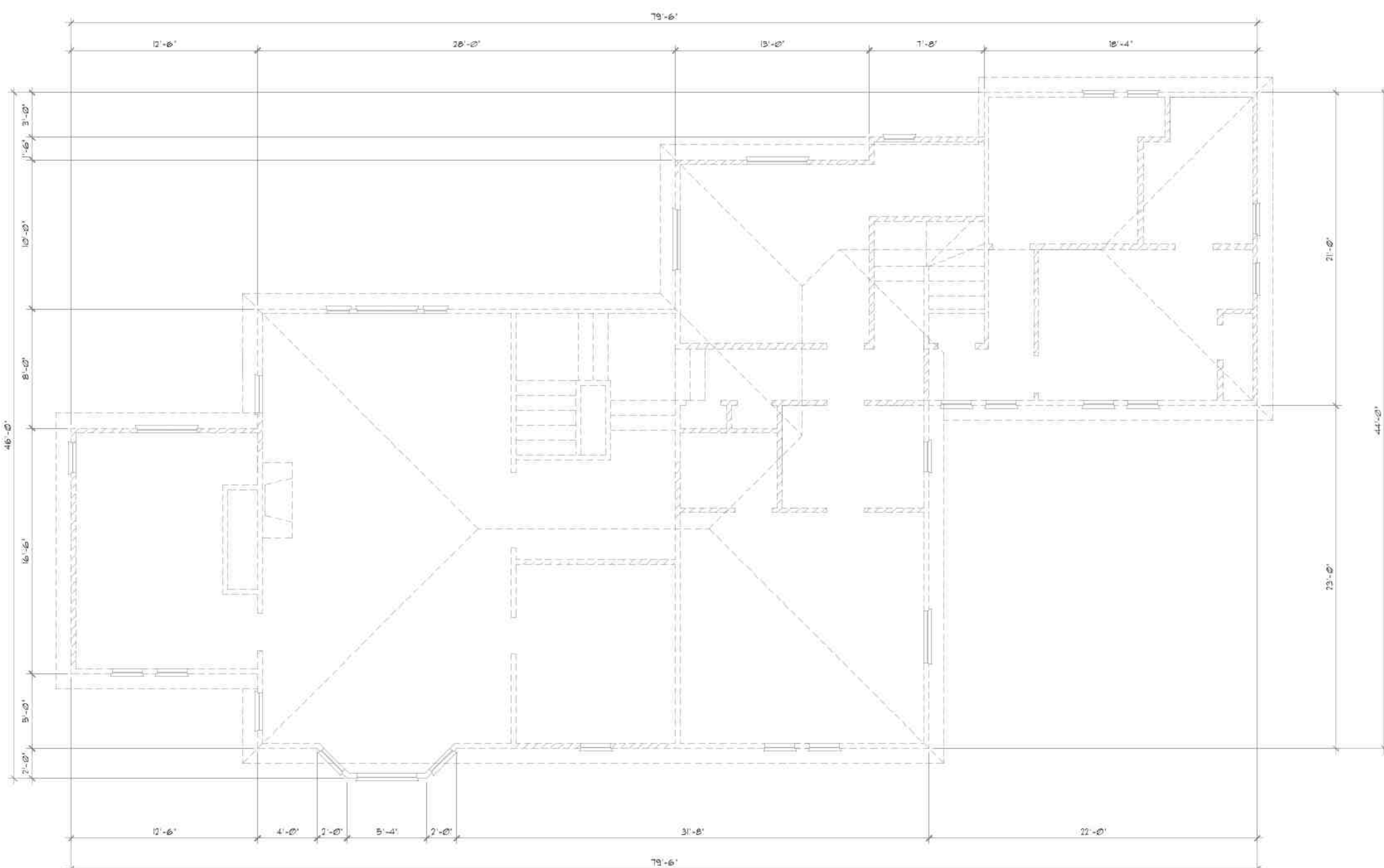
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EXIST. MAIN FLOOR PLAN
1,936 SQ. FT. EXISTING 1/4" = 1'-0"



EXIST. LOWER FLOOR PLAN
1,226 SQ. FT. EXISTING 1/4" = 1'-0"



EXIST. UPPER FLOOR PLAN
2,054 SQ. FT. EXISTING 1/4" = 1'-0"

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WALL LEGEND

	- NEW (N) WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97222

PLAN No:
DRAWING: TF
DATE: 4/30/2024
SCALE: 1/4" = 1'-0"
FILE:

EXISTING FLOOR PLANS

FLOOR PLAN FRAMING NOTES:

- ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE 4 X 10 DFL NO. 1 UNLESS OTHERWISE NOTED. (UON)
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS @ 16" O.C. AND INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" O.C. FOUNDATION PARTY WALLS SHALL BE FRAMED OF 2 X 6 STUDS.
- STANDARD STUD HEIGHT FOR UPPER FLOOR TO BE 9'-0" CEILING HEIGHT.
- STANDARD STUD HEIGHT FOR MAIN FLOOR TO BE 9'-0" CEILING HEIGHT.
- WINDOW AND DOOR HEADER HEIGHTS TO BE 8'-0" @ UPPER FLOOR AND 8'-0" @ LOWER FLOOR UON. DOOR OPENINGS AND OTHER OPENING TO BE ALIGNED WITH WINDOW HEIGHTS UON.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- PROVIDE POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES. OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/2 THE MEMBERS WITH SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1/2 MIN. BEARING U ON.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER 2021 IRC SECTION 607A.
- BLOCK ALL STUD WALLS AT SHEATHING SPLICES OR AS REQUIRED.
- INTERIOR PASSAGE DOORS TO HAVE 4 MINIMUM (2) 2 X TRIMMERS EACH SIDE OF DOOR AND TO BE CENTERED IN WALLS.
- ALL HOLD-DOWNS, JOIST HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE "SIMPSON" OR EQUAL.
- ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF THE SAME DIMENSION AS THE WALL FINISHING. PLATES SHALL OVERLAP A MINIMUM OF 16" BETWEEN SPLICES WITH AT LEAST (8) 16D NAILS THROUGH BOTH PLATES OF SPLICE.
- DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLLARS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IN ANY SUCH SITUATIONS ARISE.
- THIS STRUCTURE TO BE ADEQUATELY BRACED FOR WIND AND GRAVITY LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

LUMBER SPECIES AND GRADING:

- A. POSTS, BEAMS, HEADERS: DFL NO. 2
- B. FLOOR JOISTS, CEILING JOISTS, RAPTERS: DFL NO. 2
- C. BILLS, PLATES, BLOCKING, BRIDGING: DFL NO. 3
- D. STUDS: DFL NO. 2
- E. STUDS OVER 12" HIGH: DFL UTILITY GRADE
- F. FLOOR DECKING: CDX EXT. APA RATED PLY OR OSB 2-1/4"
- G. WALL, ROOF SHEATHING: FB-2400 DRY ADH. INTERIOR (EXT. ADH. AT EXT. COND.) FB-2800 E-28 FV-280 UNLESS OTHERWISE NOTED. FB-2400 E-18 FV-280 UNLESS OTHERWISE NOTED.
- H. GULY-LAY BEAMS
- I. PARALLEL STRAND LUMBER (PSL) MATERIALS
- J. LAMINATED VENEER LUMBER (LVL) MATERIALS

NAILING SCHEDULE:

REFER TO IRC SECTION 2021 TABLE R602.3(1)

WINDOW SCHEDULE

HAWK	SIZE & TYPE	QUANTITY
A	3'-0" X 4'-0" OVAL PK	2
B	3'-2 1/2" X 6'-0" PK MILLED	1
C	4'-2 1/2" X 6'-0" MILLED PK-CBTT-PK	4
D	2'-6" X 6'-0" PK	3
E	2'-6" X 6'-0" CBTT	4
F	3'-2 1/2" X 6'-0" MILLED PK-CBTT-PK	4
G	2'-6" X 6'-0" CBTT	5
H	3'-2 1/2" X 6'-0" MILLED PK-CBTT-PK	2
I	3'-2 1/2" X 6'-0" CBTT MILLED	2
J	2'-6" X 6'-0" CBTT	1
K	2'-2 1/2" X 6'-0" CBTT MILLED	1
L	2'-6" X 6'-0" PK	6
M	2'-6" X 3'-0" PK	1
N	3'-2 1/2" X 6'-0" PK MILLED	1
O	2'-6" X 3'-0" PK	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNL

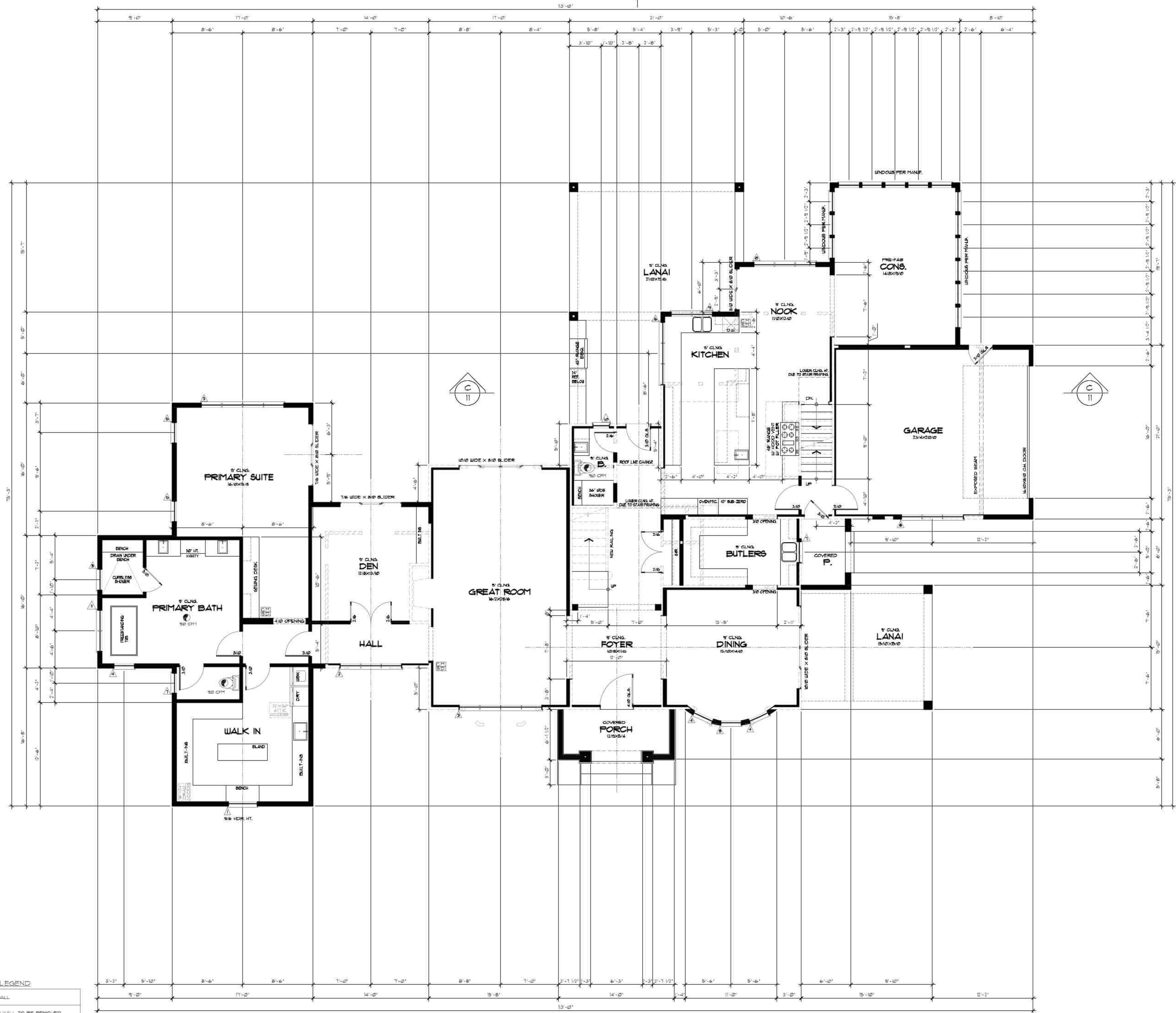
WALL LEGEND

	NEW (N) 2X WALL
	EXISTING (E) WALL TO BE REMOVED
	(E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

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MAIN FLOOR PLAN

1,956 SQ. FT. EXISTING
3,086 SQ. FT. LOWER TOTAL
306 SQ. FT. CONSERVATORY
1,130 SQ. FT. NEW ADDITION

1/4" = 1'-0"

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No:
DRAWN: TF
DATE: 4/10/2024
SCALE: 1/4" = 1'-0"
FILE:

MAIN FLOOR

4

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FLOOR PLAN FRAMING NOTES CONT.:

INSULATION:

- USE PATH 1 OF 2021 IRC & ENERGY CODE AND THE FOLLOWING INSULATION VALUES TABLE (NFIU):

ENERGY COMPLIANCE	PATH 1
WALL INSULATION	R-21/R-23
WALL INSULATION BELOW GRADE	R-15/R-21
FLAT CEILINGS	R-49
VAULTED CEILINGS	R-30
UNDERFLOORS	R-30
SLAB EDGE PERIMETER	R-15
HEATED SLAB INTERIOR	R-10
WINDOWS	U-0.27
WINDOW AREA LIMITATION	N/A
SKYLIGHTS	U-0.50
EXTERIOR DOORS	U-0.20
EXTERIOR DOORS W/ >2.5 FT. GLAZING	U-0.40
FORCED AIR DUCT	R - 8

- INSULATION:
 - R-49 ROOF (FLAT CEILING)
 - R-30 ROOF (VAULT CEILING)
 - R-30 FLOORS OVER UNHEATED SPACES
 - R-15 EXTERIOR WALLS
 - R-15/1 EXTERIOR WALLS (INTERIOR OR EXTERIOR)
 - R-15 (RIGID) CONCRETE FLOOR SLAB EDGES AT PERIMETER UNDER HEATED AREAS
 - R-8 EXPOSED FURNACE DUCTS IN UNHEATED AREAS
- GLAZING DOORS:
 - NO LIMITS WINDOW AREA LIMIT
 - U-30 ENTRY DOOR CLASS (24 SQ. FT. MAX)
 - U-14 FULL LIGHT GLASS DOOR CLASS
 - U-20 OTHER DOORS (50% MAX. GLAZING)
 - U-40 SKYLIGHT CLASS (1% MAX. OF HEATED SPACE)
- ALL AIR INfiltrations IN THE EXTERIOR ENVELOPE SHALL BE SEALED, INCLUDING WINDOW AND DOOR FRAMES, WALLS, FOUNDATIONS, VENTING AND UTILITY PENETRATIONS. ACCESS DOORS TO CRAWL SPACE AND ATTIC AREAS TO HAVE THE SAME EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.
- PROVIDE AN APPROVED INSULATION VAPOR BARRIER WITH A ONE PERCENT DRY CUP RATING OR LESS AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION.
- INSULATE ALL ACCESS DOORMATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATINGS NOT TO EXCEED 25. A BROWN-DEVELOPED FACTOR NOT TO EXCEED 400 AND CRITICAL RADIANT FLUX NOT LESS THAN 0.1 WATTS PER SQUARE CENTIMETER.

MISCELLANEOUS:

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE WIDTH OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THAN 44 IN. ABOVE FINISHED FLOOR.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1" DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE PEEP HOLES # 2-4" ABOVE FINISHED EXT. DOOR FLOOR.
- WINDOWS MUST MEET THE U-VALUE OR CLASS REQUIREMENT FOR THE APPROPRIATE ENERGY PATH AND BE LABELED ACCORDINGLY. SITE BUILT WINDOWS MAY BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN 901.0.6.2.1.1.
- WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 8 INCHES OF THE FLOOR WITHIN A 24 INCH ARCH OF ANY DOOR IN A CLOSED POSITION. GLAZING USED IN RAILINGS, GLAZING IN FIXED OR SLIDING DOORS, WHERE THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHUBS, WHIRLPOOLS, AND/OR SHOWERES.
- SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE UNLESS PLEXIGLASS. GLASS TO HAVE A MAXIMUM CLEAR SPAN OF 15 INCHES. SKYLITE FRAME IS TO BE ATTACHED TO A 2 X 4 CURB AND TO BE 4 INCHES MINIMUM ABOVE ROOF FLASH. MIN. 7/8" DIA. PIP. SNOW LOAD ADDITIONAL.
- ALL TUB AND SHOWER ENCLOSURE DOORS TO BE GLAZED WITH SAFETY GLASS.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED DIRECTLY TO THE OUTSIDE VIA METAL DUCTING WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 3 AIR EXCHANGES PER HOUR (30 CFM). DRYER AND RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. VENTS TO BE PROVIDED WITH BACK-DRAFT DAMPERS.
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE THE IMMEDIATE VICINITY OF EACH BEDROOM AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED TO MAIN POWER SOURCE AS THE PRIMARY POWER AND BATTERY BACKUP AS SECONDARY POWER. ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL BEDROOMS.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE GFCI PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY INSULATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (IC LABEL) FOR DIRECT CONTACT WITH INSULATION.
- ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.
- USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILINGS AND UNDER STAIRS. USE 5/8" TYPE X GYPSUM BO. ON WALLS AND CEILINGS BETWEEN GARAGE AND LIVING AREAS. PROVIDE 1/2" WATERPROOF GYPSUM BO. ABOVE ALL SHOWER AND TUBSHOWER AND TUBSHOWER UNITS AND IN ANY WATER FLASH AREAS.
- ALL FIREPLACE OPENINGS SHALL HAVE TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR VENTS (WITH SCREENS) AND BACK DAMPERS FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH OPEN FLAME.
- APPLIANCES PRODUCING A SPARK GLOW OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL NOT BE INSTALLED IN A GARAGE UNLESS THE PILOTS, BURNERS, HEATING ELEMENTS OR SWITCHES ARE AT LEAST 18 INCHES ABOVE THE FLOOR.
- PROVIDE 80% MIN. EFFICIENT NATURAL GAS FURNACE WITH BACKDRAFT DAMPER AND NATURAL GAS HOT WATER HEATER WITH BACKDRAFT DAMPER. PROVIDE R-4 INSULATION AROUND HOT WATER LINES IN UNHEATED AREAS. ELEVATE FLAME IN UNITS 10" ABOVE FINISH FLOOR.
- ALL WINDOW HDRS TO BE 4 X 10 UNO.
- FRONT PORCH TO BE CONCRETE SLAB UNO.

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	3/8x4 1/8 OVAL RK	2
△	3-2/8x8/8 PK MILLED	1
△	4-2/8x8/8 MILLED FX-CENT-CENT-PK	4
△	2/8x8/8 FX	3
△	2/8x8/8 CENT.	4
△	3-2/8x8/8 MILLED PK-CENT-PK	4
△	2/8x8/8 CENT.	5
△	3-2/8x8/8 MILLED PK-CENT-PK	2
△	2-2/8x8/8 CENT. MILLED	2
△	2/8x8/8 CENT.	1
△	2-2/8x8/8 CENT. MILLED	1
△	2/8x8/8 PK	6
△	2/8x8/8 FX	1
△	3-2/8x8/8 PK MILLED	1
△	2/8x8/8 PK	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNO.

WALL LEGEND

	NEW 1/2" WALL
	EXISTING (E) WALL TO BE REMOVED
	(E) WALL TO REMAIN

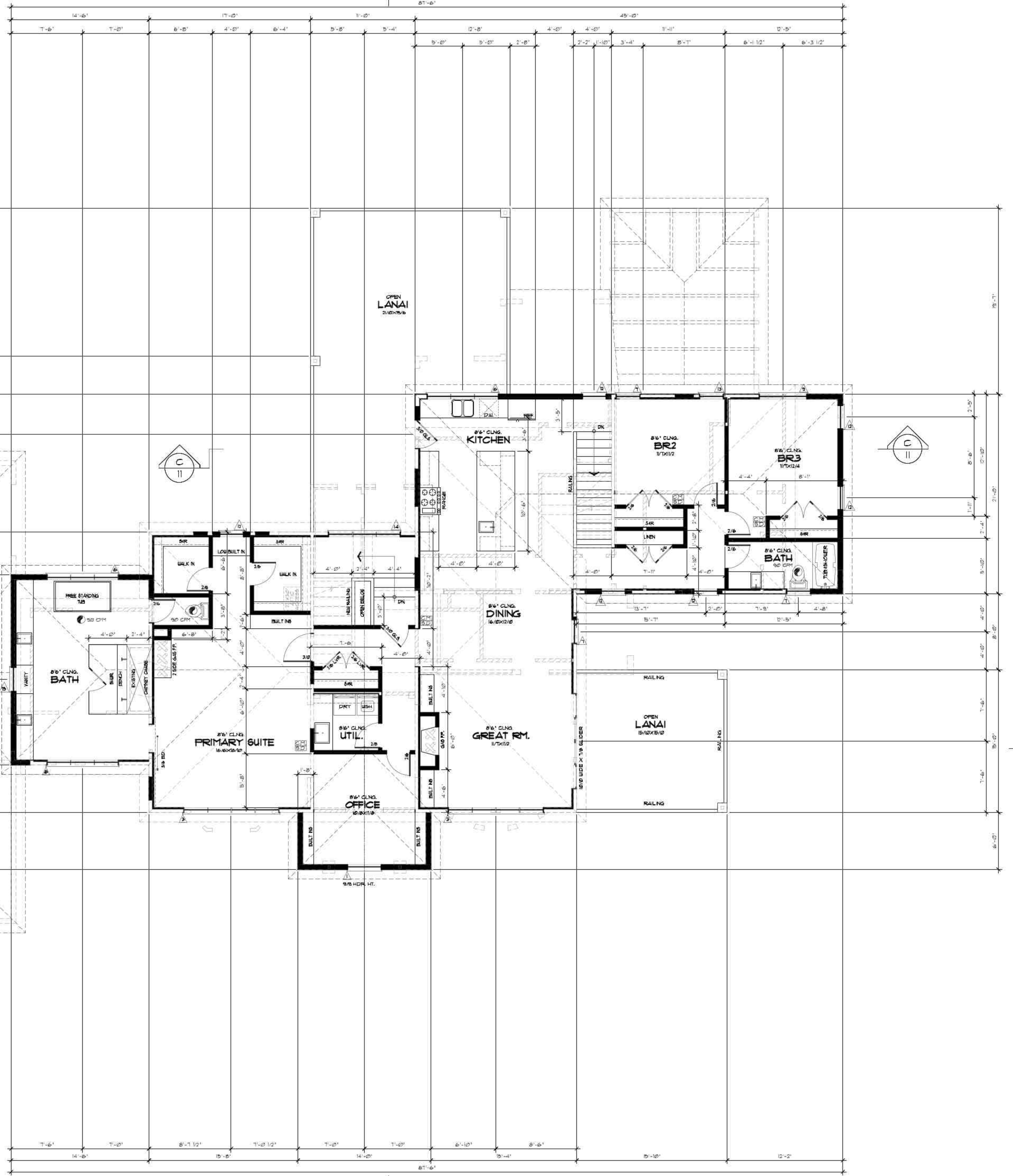
NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY

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ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.



UPPER FLOOR PLAN

2,054 SQ. FT. EXISTING
2,401 SQ. FT. UPPER TOTAL
348 SQ. FT. NEW ADDITION

1/4"=1'-0"



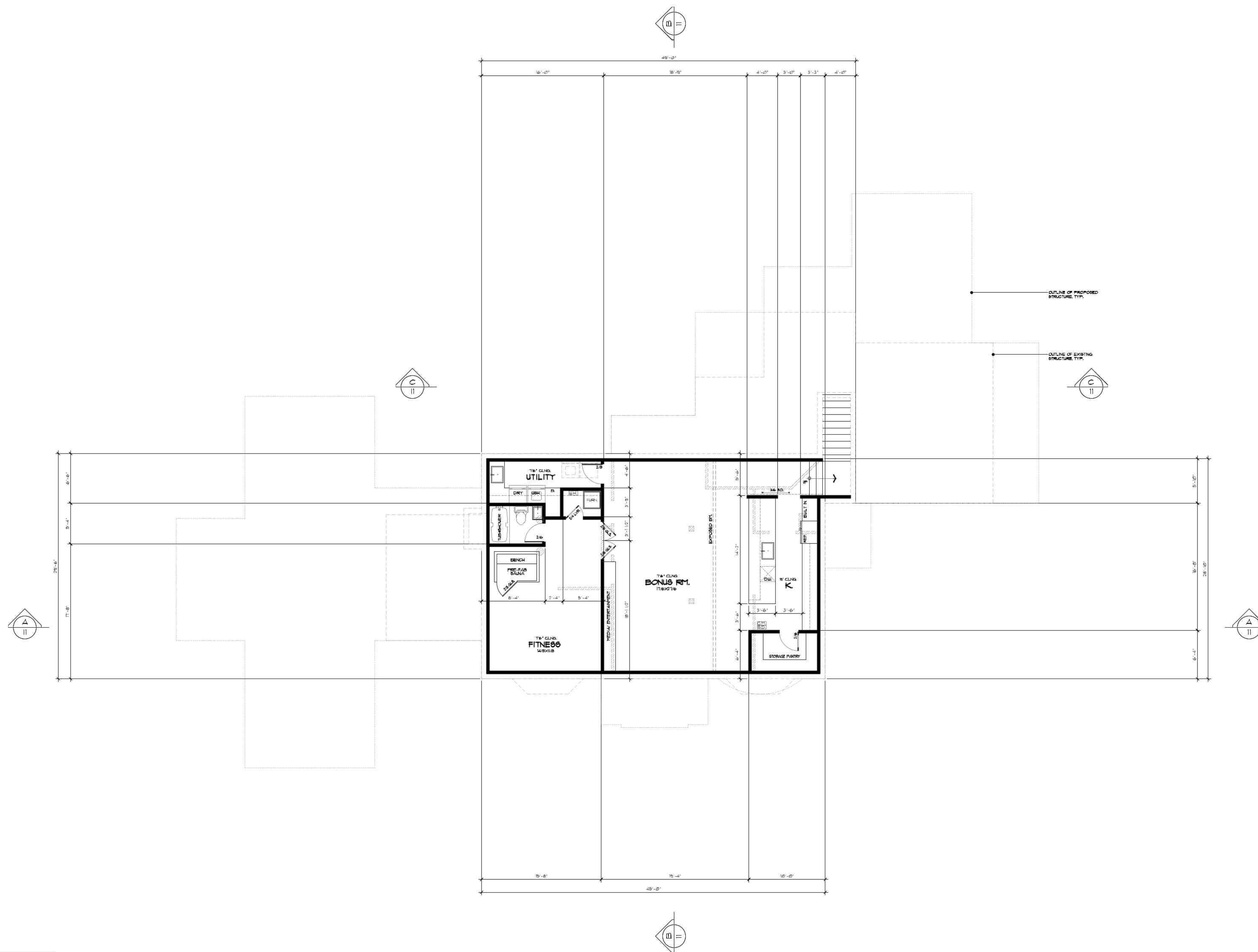
THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No.:
DRAWN: TF
DATE: 4/30/2024
SCALE: 1/4"=1'-0"
FILE:

UPPER FLOOR

5

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IMPORTANT DISCLOSURE
- PLEASE READ:
THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONE WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAWS TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED DESIGNS AND PLANS. FURTHERMORE, IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT THE HOME DISCOVERY VISIT ON ANY PIANO CLARITY SITE AND WITHIN THE JURISDICTION OF THE GOVERNING JURISDICTION. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODE OR ANY REGULATORY AGENCY.

WALL LEGEND

	- NEW (N) 2x WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

LOWER FLOOR PLAN

1226 SQ. FT. EXISTING

1/4" = 1'-0"

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No:
DRAWN: TF
DATE: 4/10/2024
SCALE: 1/4" = 1'-0"
FILE:

LOWER FLOOR

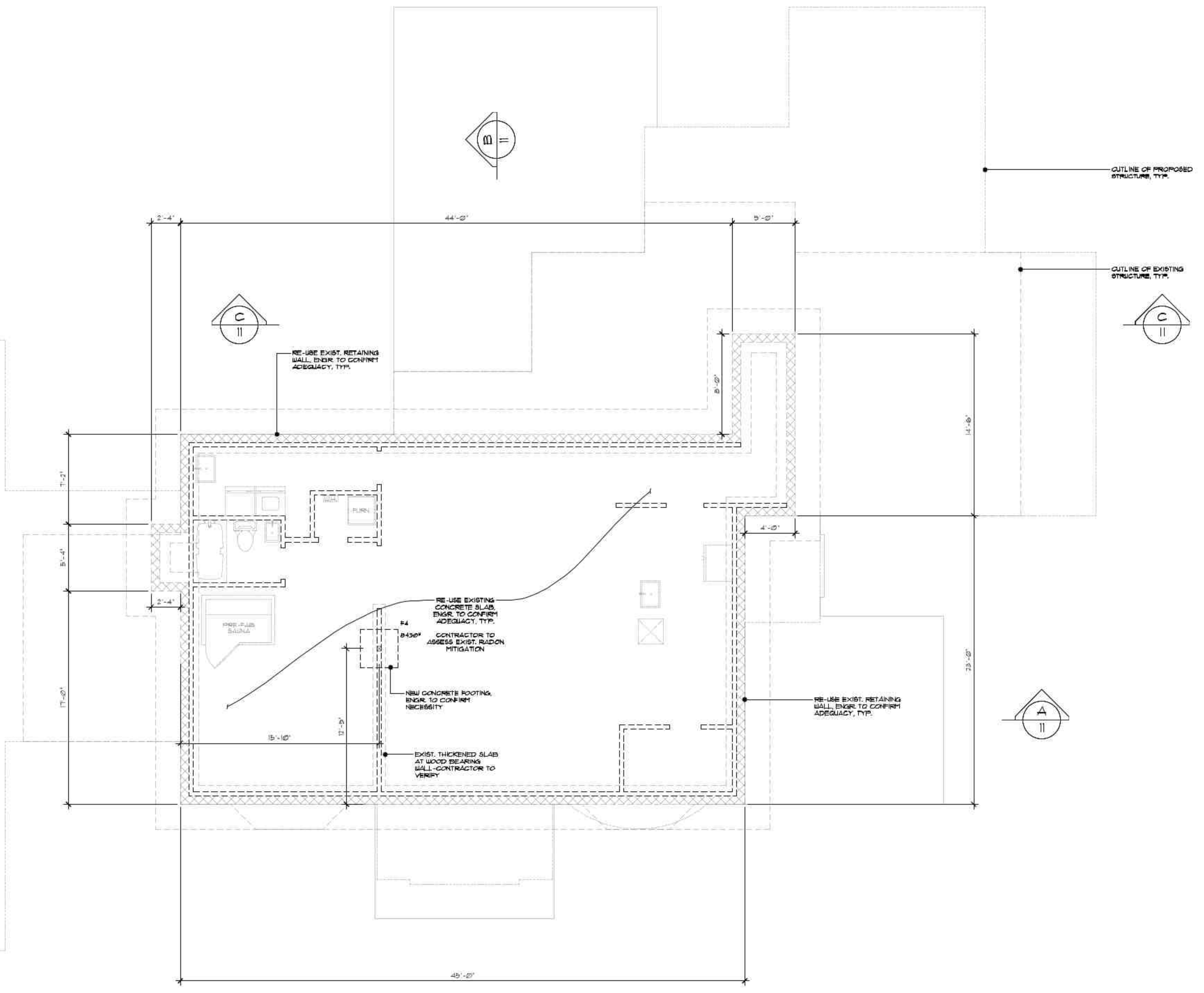
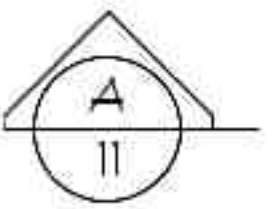
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FOUNDATION NOTES:

- FOUNDATION FOOTINGS, CONT. FOOTING UNDER PONTWALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 18" BELOW FINAL GRADE. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
 - ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
 - EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
 - CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
 - MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS AND RETAINING WALLS.
 - DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL CHAIRBRACKS ARE IN PLACE AND FULLY Nailed AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- 1. CONCRETE**
- BASEMENT AND FOUNDATIONS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE
 - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER
 - PORCHES, STEPS, CARRIAGE AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINMENT
- ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
 - ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
 - ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 8" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
 - ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4" #7) COMPACTED TO 98% MINIMUM.
 - CONCRETE SLABS TO HAVE TOoled CONTROL JOINTS AT 8 FT. MAXIMUM INTERVALS EACH WAY.
 - CONCRETE SIDEWALKS TO HAVE 3/4" TOoled JOINTS AT 5 FT. O.C. MINIMUM.
 - PROVIDE (8) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 18" CORROSION RESISTANT CORRODED WIRE MESH. SPACE WITHIN 3/4" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL AREA REQUIRED.)
 - PROVIDE (1/2") DIA. X 10" ANCHOR BOLTS ABOVE GRADE # 6-10" O.C. UNDO. ON PRESSURE TREATED NO. 3 HUD SILL. ANCHOR BOLTS TO BE 7" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 1" MINIMUM FROM SILL SPICES. PROVIDE FOAM NAIL, BUTYLSILL PL. 4 FOUND. WALL
 - REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLDDOWS.
- 11. REBAR SCHEDULE:**
- REBAR TO BE LOCATED AT HOLDDOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
- MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED:
- FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS, 4" CLEAR BOTTOM.
 - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BAR.
- REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-636 GRADE 60. BLENDED WIRE MESH TO BE A-18.
 - REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL OR OTHER APPROVED CHAIRS, BRACKETS OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
 - REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
 - ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM, UNDO.
 - "518" ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
 - EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEEL WALLS TO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
 - GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2% SLOPE (1/8" PER FT MIN) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOoled CONTROL JOINTS AT APPROXIMATELY 10 FT. O.C. EA. WAY.
 - PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN A 2" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS) SEE DET. 8-D1.
 - PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLENUM. VERIFY SIZE AND PLACEMENT WITH BUILDER/ AND OR SUBCONTRACTORS PRIOR TO INSTALL.
 - PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/ SUBCONTRACTOR.
 - PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL. BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN SYSTEM.
 - COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO HUD SILLS. LAP SEAMS 12" MIN.
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 15# FELT MOISTURE BARRIER.
 - ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 3/4" ASPHALT SHINGLE.
 - ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
 - PROVIDE A 24" X 30" CRAWL ACCESS (18"X24" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
 - FLOOR CONSTRUCTION TO BE:
1 1/8" DECKING OR EQUAL ON 1-2019 PER MANUF.
ON 2x6 PONTWALLS OVER 8x8x CONTINUOUS FOOTINGS

FOOTING SCHEDULE

FTNG.	LOAD LB#	FOOTING SIZE	REBAR
F1	3,300#	18"x18"x10"	(2) #4 E/W
F2	6,000#	24"x24"x10"	(2) #4 E/W
F3	9,300#	30"x30"x10"	(3) #4 E/W
F4	13,900#	36"x36"x12"	(3) #4 E/W
F5	18,300#	42"x42"x12"	(4) #4 E/W
F6	24,000#	48"x48"x12"	(4) #4 E/W
F7	28,000#	52"x52"x12"	(5) #4 E/W
F8	40,000#	64"x64"x14"	(5) #4 E/W
F9	50,000#	72"x72"x16"	(6) #4 E/W



TOP OF ALL HOLD DOWN BOLTS TO BE 18" ABOVE ABOVE SLAB/BEAM AND NUTS / APPROX. 6" ABOVE TOP OF FRESH WALL.

IMPORTANT DISCLOSURE - PLEASE READ:

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONE UNIT. THE WRITTEN CONSENT FROM THE DESIGNER TRACY FOLLER THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAW TO REPRODUCE THESE PLANS IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. ANY REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS A VIOLATION OF FEDERAL COPYRIGHT LAW. THESE PLANS ARE THE PROPERTY OF FOWLER HOME DESIGN, LLC. AND WITHIN THE SCOPE OF THE ABOVE AGREEMENT, FOWLER HOME DESIGN, LLC. TAKES NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

LOWER FLOOR FRAMING & FDN PLAN
1/4" = 1'-0"



THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97222

PLAN No.:
 DRAWN: TF
 DATE: 4/30/2024
 SCALE: 1/4" = 1'-0"
 FILE:

FOUNDATION PLAN

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FOUNDATION NOTES:

- FOUNDATION FOOTINGS, CONT. FOOTING UNDER POINT WALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 18" BELOW FINAL GRADE. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
- ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
- EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GRIDDERS.
- CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY NAILED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE:
 - BASEMENT AND FOUNDATIONS 6 BAGGYD. 4" MAX. SLUMP 3500 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER.
 - BASEMENT AND INTERIOR SLABS 6 BAGGYD. 4" MAX. SLUMP 3500 PSI ON GRADE.
 - BASEMENT AND INTERIOR SLABS 6 BAGGYD. 4" MAX. SLUMP 3500 PSI ON GRADE.
 - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER. PUNCHES, STOPS, CARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER. 5% - 7% MAX. AIR ENTRAINED.
- ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS
- ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
- ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 16" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
- ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4" - 2") COMPACTED TO 95% MINIMUM.
- CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 6 FT. MAXIMUM INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. OC. MINIMUM.
- PROVIDE (3) 1/2" X 8" CLOSABLE SCREENED FOUNDATION AIR VENTS WITH (8) CORROSION RESISTANT WIRE MESH. SPACE WITHIN 3/4" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRACK SPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 50 SQ. FT. OF CRACK AREA REQUIRED).
- PROVIDE (2) 1/2" DIA. X 10" ANCHOR BOLTS ASBT GRADE 6 @ 6'-0" O.C. UNO. ON PRESSURE TREATED DF NO. 3 MLD SILLS. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 17" MINIMUM FROM WALL SPICES. PROVIDE FORM STABILIZER. PL 4 FOUND. WALL.
- REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLD-DOWNS.
- REBAR SCHEDULE:
 - REBAR TO BE LOCATED AT HOLD-DOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
 - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED:
 - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS, 4" CLEAR BOTTOM.
 - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BAR.
 - REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-63 GRADE 60. WELDED WIRE MESH TO BE A-88.
 - REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL, OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
 - REINFORCEMENT SHALL BE BENT GOLD AND SHALL NOT BE WELDED.
 - ALL LAPS AND SPLICES ON #4 REBAR TO BE 34" MINIMUM UNO.
 - "STB" ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
 - EXTEND HEIGHT TO FRONT GARAGE CONCRETE 9" HIGH WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
 - GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH 4% SLOPE (10" PER FT. MIN.) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10 FT. O.C. EA. WAY.
 - PROVIDE (1) 1/2" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN A 12" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS.) SEE DET. 8/1.
 - PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. PLUMB. VERIFY SIZE AND PLACEMENT WITH BUILDER AND/OR SUBCONTRACTORS PRIOR TO INSTALL.
 - PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/SUBCONTRACTOR.
 - PROVIDE A 4" DIA. PVC LOW POINT CRACK SPACE DRAIN THROUGH FOUNDATION WALL. BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN SYSTEM.
 - COVER ENTIRE CRACK AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MUD SILLS. LAP 8" @ 18" MIN.
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED AND/OR PROTECTED BY 58" FULT MOISTURE BARRIER.
 - ALL GRIDDERS AND BEAM POCKETS TO HAVE 4 (1") AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 58" ASPHALT SHINGLE.
 - ALL HOLD-DOWN JOINT HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
 - PROVIDE A 24" X 36" CRACK ACCESS (8" MIN. MIN) FROM OUTSIDE OR THROUGH FLOOR PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
 - FLOOR CONSTRUCTION TO BE:
 - 1 1/4" DECKING OR EQUAL, ON L-JOISTS PER MANUF.
 - ON 2X6 POINT WALLS OVER 8X6 CONTINUOUS FOOTINGS

FDN VENTILATION CALCULATIONS:

LOCATION:	REQ. SQ. IN.	NO. OF VENTS:	VENT SIZE:	TOTAL SQ. IN.
FDN	910	5	18" eq. in.	912

TOP OF ALL HOLD-DOWN BOLTS MUST EXTEND ABOVE FINISH GRADE AND NUTS (APPROX. 6" ABOVE TOP OF FOUND. WALL).

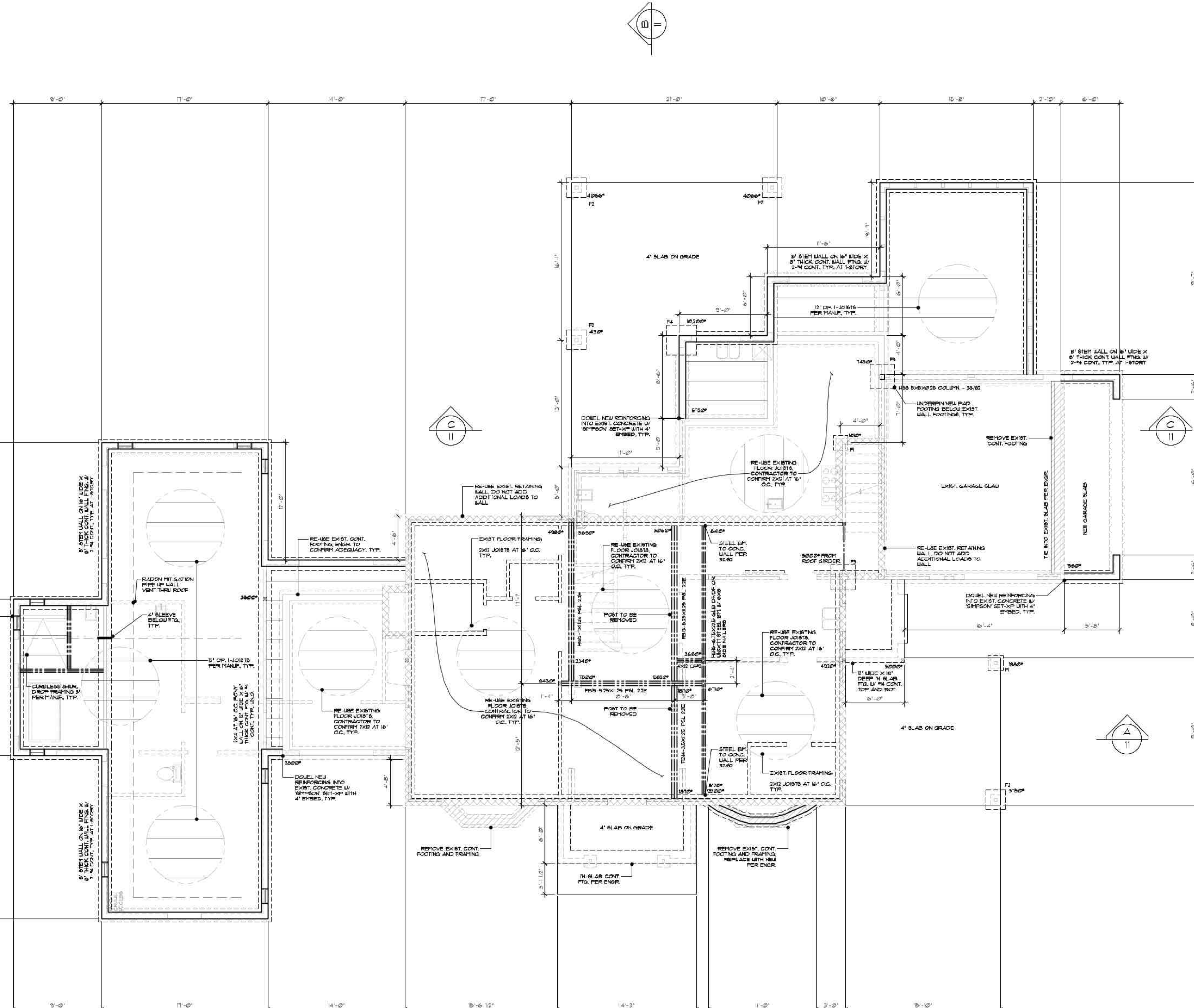
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SEE STRUC. ENGR. SHEETS

SEE JOIST ENGR. SHEETS FROM MANUF.

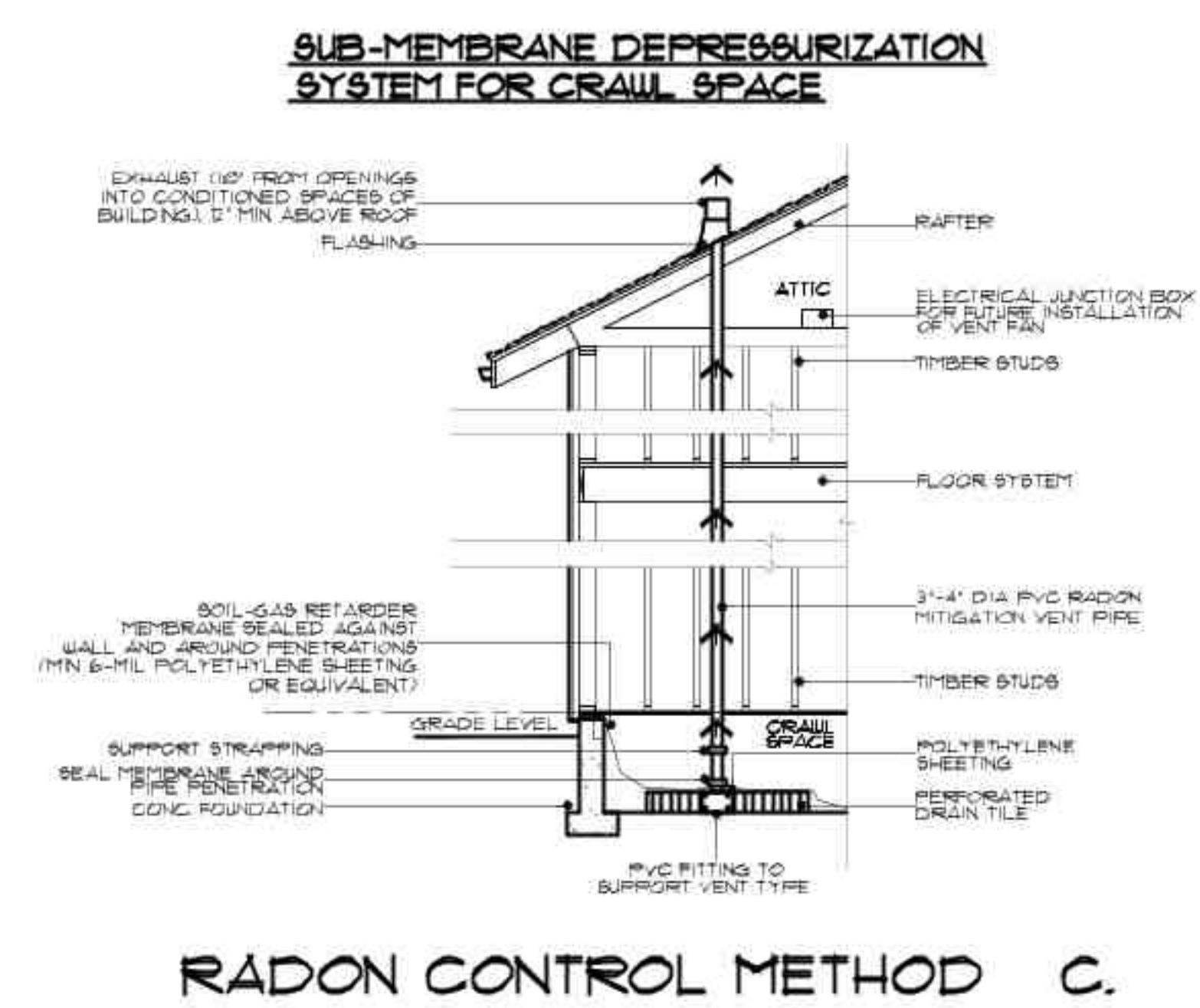
CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



FOOTING SCHEDULE

FTNG.	LOAD LEGS	FOOTING SIZE	REBAR
F1	3,300#	18"X18"X12"	(2) #4 E/W
F2	6,000#	24"X24"X12"	(2) #4 E/W
F3	9,300#	36"X36"X12"	(3) #4 E/W
F4	13,500#	36"X36"X12"	(3) #4 E/W
F5	18,300#	42"X42"X12"	(4) #4 E/W
F6	24,000#	48"X48"X12"	(4) #4 E/W
F7	28,000#	52"X52"X12"	(4) #4 E/W
F8	40,000#	64"X64"X14"	(5) #4 E/W
F9	50,000#	72"X72"X16"	(6) #4 E/W

MAIN FLOOR FRAMING & FDN PLAN
1/4" = 1'-0"



THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No.:
DRAWN: TF
DATE: 4/30/2024
SCALE: 1/4" = 1'-0"
FILE:

MAIN FL. FRAMING & FDN PLAN

8






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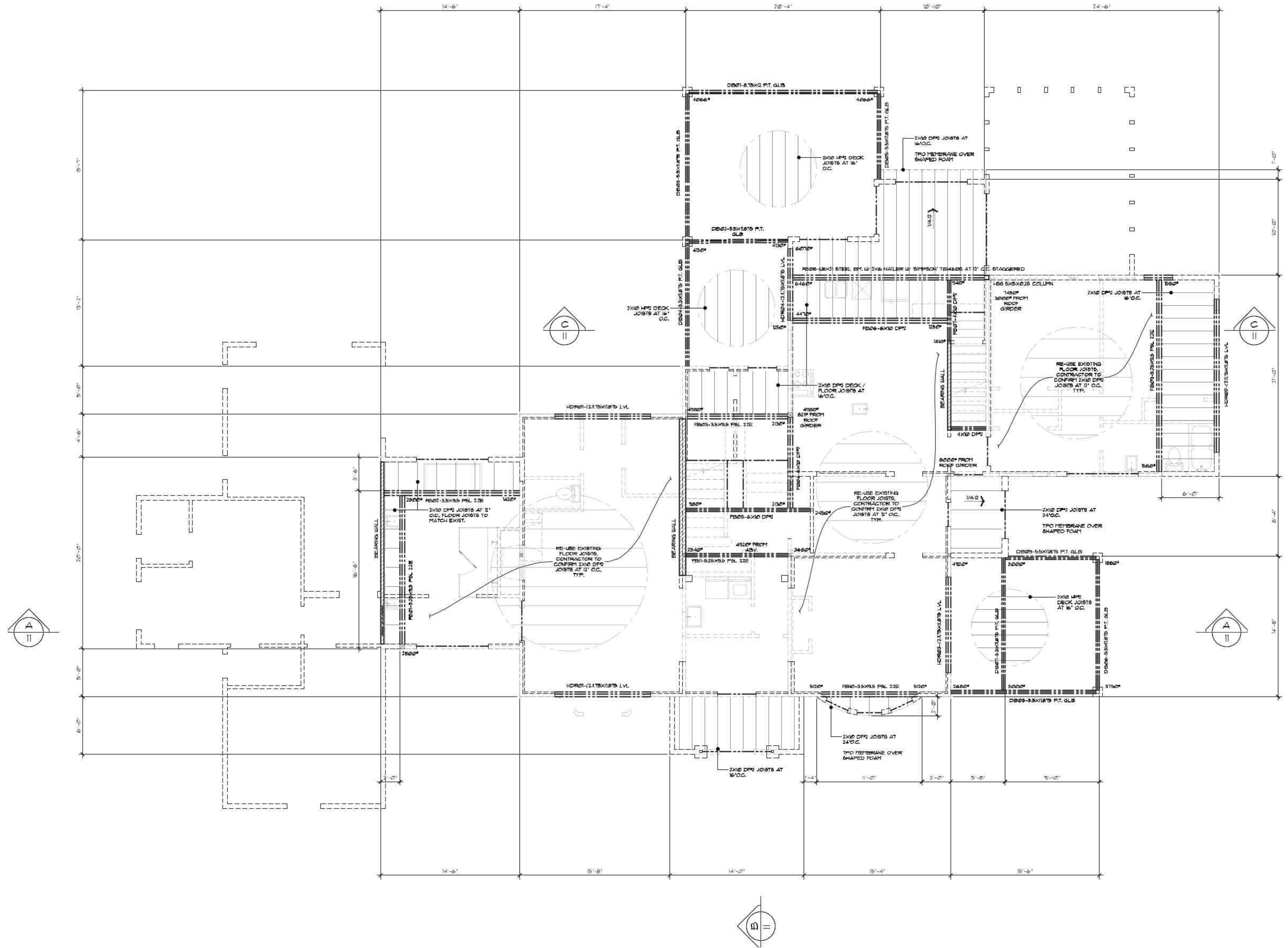
RADON CONTROL METHOD C.

FLOOR FRAMING NOTES:

1. SEE FLOOR JOIST OR TRUSS MANUF. SHEETS.
2. FLOOR JOIST SPANS ARE BASED ON A 40P L.L. + 2P D.L. + 22P T.L. DEFLECTION LIMITED.
3. PROVIDE BLOCK OUTS FOR DOWN DRAFT COOK TOPS, DRYER VENTS, HEAT FLUES AND ACCESSSES. VERIFY SIZE AND PLACEMENT WITH BUILDER/SUBCONTRACTORS PRIOR TO INSTALL.
4. ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
5. ALL GIRDERS IN CONCRETE BEAM POCKETS TO HAVE A 1" AIR SPACE AT SIDES AND ENDS WITH A 3" MIN. BEARING ON CONCRETE PLACED ON A 55# FELT MOISTURE BARRIER.
6. ALL HOLDINGS, JOIST HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
7. REFER TO BOBE CASCADE TECHNICAL SUPPORT FOR BEAMS + HEADER HANGERS.
8. PROVIDE SOLID BLOCKING UNDER ALL UPPER LEVEL BEARING WALLS OR AS SHOWN ON PLAN.
9. PROVIDE A CONTINUOUS RM JOIST AROUND PERIMETER OF EXTERIOR WALLS. RM JOIST TO BE OF THE SAME SIZE AND MATERIAL TYPE AS FLOOR JOISTS UNLESS OTHERWISE NOTED. FASTEN RM JOISTS TO WALL BELOW WITH AT LEAST 16D TOE-NAILS AT 8' O.C.
10. PROVIDE 1 1/8" T x 4 G CDX (APA 3276) PLYWOOD OR APPROVED EQUAL SUB-FLOOR SHEATHING. GUE AND FASTEN SHEATHING WITH 100 COMMON NAILS AT 6" O.C. AT ALL EDGES AND 100 COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
11. SUB-FLOOR SHEATHING TO EXTEND OUTWARD TO ALL PERIMETER EXTERIOR WALLS BELOW.
12. VERIFY LOCATION OF ALL PLUMBING DRAINS AND OFFSET FLOOR JOISTS UP TO 3" O.C. MAXIMUM TO AVOID NOTCHING AND CUTTING OF JOISTS.
13. BEARING FOR JOISTS SUPPORT MEMBERS, HEADERS AND BEAMS TO BE 1/2 THE MEMBER WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1-1/2" MIN. BEARING.
14. DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMN, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF QUESTIONS ARISE.
15. PROVIDE DOUBLE RM JOISTS AT ALL EXTERIOR WALLS PARALLEL TO JOISTS AND AS SHOWN ON PLAN.
16. LAP FLOOR JOISTS A MINIMUM OF 6" EACH WAY AT ALL INTERIOR BEARING MEMBERS. NAIL LAPS WITH (3) 16D AND TO BEARING MEMBER WITH (3) 16D.
17. JOISTS SHALL BE SUPPORT LATERALLY BY BLOCKING OR BRIDGING AT JOIST MID-SPAN AT INTERVALS NOT EXCEEDING 10 FEET.

SYMBOLS LEGEND:

-  DENOTES (2) CRIPPLE STUDS (2x WIDTH OF WALL) UNCL.
-  BEAM SCHEDULE CALLOUT.
-  BEARING WALL DETAIL.
-  DETAIL CALLOUT OVER SHEET 1.
-  4X10 HEADER (UNC)



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 THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONCE WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAW TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF THIS COPYRIGHTED DESIGN AND PLAN. FURTHERMORE, IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE HOME DESCRIBED HEREIN, ON ANY PARTICULAR SITE AND WITHIN THE COMPASS OF THE GOVERNING JURISDICTION. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE CONFORMANCE OF THE PLAN TO ANY CODE OR ANY BUILDING SITE.

SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

UPPER FLOOR FRAMING PLAN
 1/4" = 1'-0"

ROOF FRAMING NOTES:

1. ROOFING MATERIAL TO BE 5" STANDING SEAM METAL ROOF AND ARCHITECTURAL COMPOSITION ROOFING WITH RAIN AND ICE SHIELD, NAILING PER MANUFACTURER'S INSTRUCTIONS FOR AN 80 MPH WIND AREA.
2. ROOF PITCH AS SHOWN ON PLAN.
3. ROOF DESIGN TO BE MANUFACTURED ROOF TRUSSES @ 24" O.C. UNO, MANUFACTURER TO SUPPLY DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT.
4. MANUFACTURED TRUSSES SHALL BE LATERALLY BRACED ACCORDING TO APPROPRIATE MANUFACTURER'S ENGINEERED DESIGN.
5. TRUSS MEMBERS SHALL NOT BE NOTCHED, BORED, DRILLED THROUGH OR ALTERED UNLESS DESIGNED BY AND SHOWN ON MANUFACTURER'S SPECIFICATIONS.
6. ALL RAFTERS/CEILING JOISTS TO BE 2" X 10" D.F.L. 9 OR BETTER AS PER TABLE NOTED BELOW AND PER ROOF FRAMING PLAN. SPAN DISTANCE BASED ON SIMPLE UNIFORM LOADING AND PER CR3.C. 2001 TABLES (807.4.2) & (807.3.1.3).
7. ALL HIPS, VALLEYS AND RIDGES TO BE NOT LESS IN DEPTH THAN THE CONNECTION END OF THE RAFTER UNO.
8. ALL PLANT-ON VALLEYS TO BE 2" X 10" WITH (2) 1/2" @ EACH RAFTER/TRUSS.
9. ALL EAVE OVERHANGS TO BE CLOSED TYPE AT 24". ALL CORNICE TO BE (2) UNO.
10. EAVES TO BE OPEN TYPE BOFFTS WITH A 3" K GALVANIZED FACIA GUTTER ON A 2" X 10" FACIA SQ. UNO AND 1" GALVANIZED DOWNPOUT (D5) AS SHOWN ON PLAN.
11. ALL BARGE RAFTERS TO BE 2" X 10" WITH A 1 X 3 BRICK HOLD UNO.
12. ALL RAFTER HANGERS SHALL BE OF SIMPSON L180U OR L18T TYPE UNO.
13. PROVIDE (2) 61 SQ. IN. SCREENED ATTIC AIR VENTS AT RIDGE WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED AS SHOWN ON PLAN. PROVIDE (63) 10 SQ. IN. 7" X 10" SCREENED AIR VENTS AT EAVES WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED. A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 100 SQ. FT. OF ATTIC SPACE AREA REQUIRED. PROVIDE 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES. REFER TO ATTIC VENTILATION CALCULATION TABLE.
14. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER/TRUSS BAY AT VAULTED CEILING AREAS. INSTALL INSULATION BARRIERS AT EACH EAVE VENT BETWEEN BAYS. BARRIERS SHALL BE MADE RIGID WEATHER RESISTANT MATERIAL AND MAINTAIN 1" CLEAR AIR SPACE. VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE PLATES.
15. ROOF DIAPHRAGM TO BE CONSTRUCTED WITH 5/8" EXPOSURE (C-D) (APA 2410 RATED) PLYWOOD OR (1) 1-7/8" OR (2) 1-3/4" GSD OR BETTER SHEATHING. LONG DIMENSION SHALL BE PERPENDICULAR AND END JOINTS SHALL BE STAGGERED. FASTEN SHEATHING WITH 8D COMMON NAILS AT 6" O.C. AT GABLE ENDS AND ALL EDGES AND 10" COMMON NAILS AT 6" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
16. DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMN, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLAN. CONTACT DESIGNER IF ANY QUESTIONS ARISE.
17. PROVIDE A SIMPSON 11-75" HURRICANE CLIP AT EACH RAFTER CONNECTION TO EXTERIOR WALL TOP PLATES.
18. ATTICS WITH A CLEAR HEIGHT OF 30 INCHES OR MORE MUST BE PROVIDED WITH AN ACCESS. THE ACCESS OPENING SHALL BE 2' X 3' MINIMUM. OPENING TO HAVE 30" MINIMUM CLEARANCE FROM TOP OF OPENING TO BOTTOM OF ROOF ALL AROUND.
19. FLASHING SHALL BE INSTALLED AT JUNCTIONS OF CHIMNEYS AND ROOFS, IN ROOF VALLEYS AND AROUND ALL ROOF OPENINGS.
20. PROVIDE 4" X 4" OR (2) 2" X 4" LAMINATED WITH 6D # 12 O.C. KING POSTS (KP) WHERE SHOWN ON PLAN.
21. PROVIDE FURLIN WALLS WHERE SHOWN ON ROOF PLAN. USE 2" X 4" S @ 24" O.C. AND/OR LINED-UP UNDER EACH RAFTER. EXTEND FURLIN WALL DOWN TO BEARING MEMBER BELOW.
22. ALL RAFTERS TO BE NOTCHED (BEAT CUT) TO PROVIDE FULL BEARING AT SUPPORT MEMBERS.
23. ALL UNDOU HDRS TO BE 4" X 10" UNO.

ATTIC VENTILATION CALCULATIONS:

LOCATION	REQ. SQ. IN.	NO. OF VENTS	VENT SIZE	TOTAL SQ. IN.
AT RIDGE	1675	25	61 sq. in.	1518
AT EAVES	1675	84	20" sq. in.	1680
TOTAL	3350	109	81 sq. in.	3308

SYMBOLS LEGEND:

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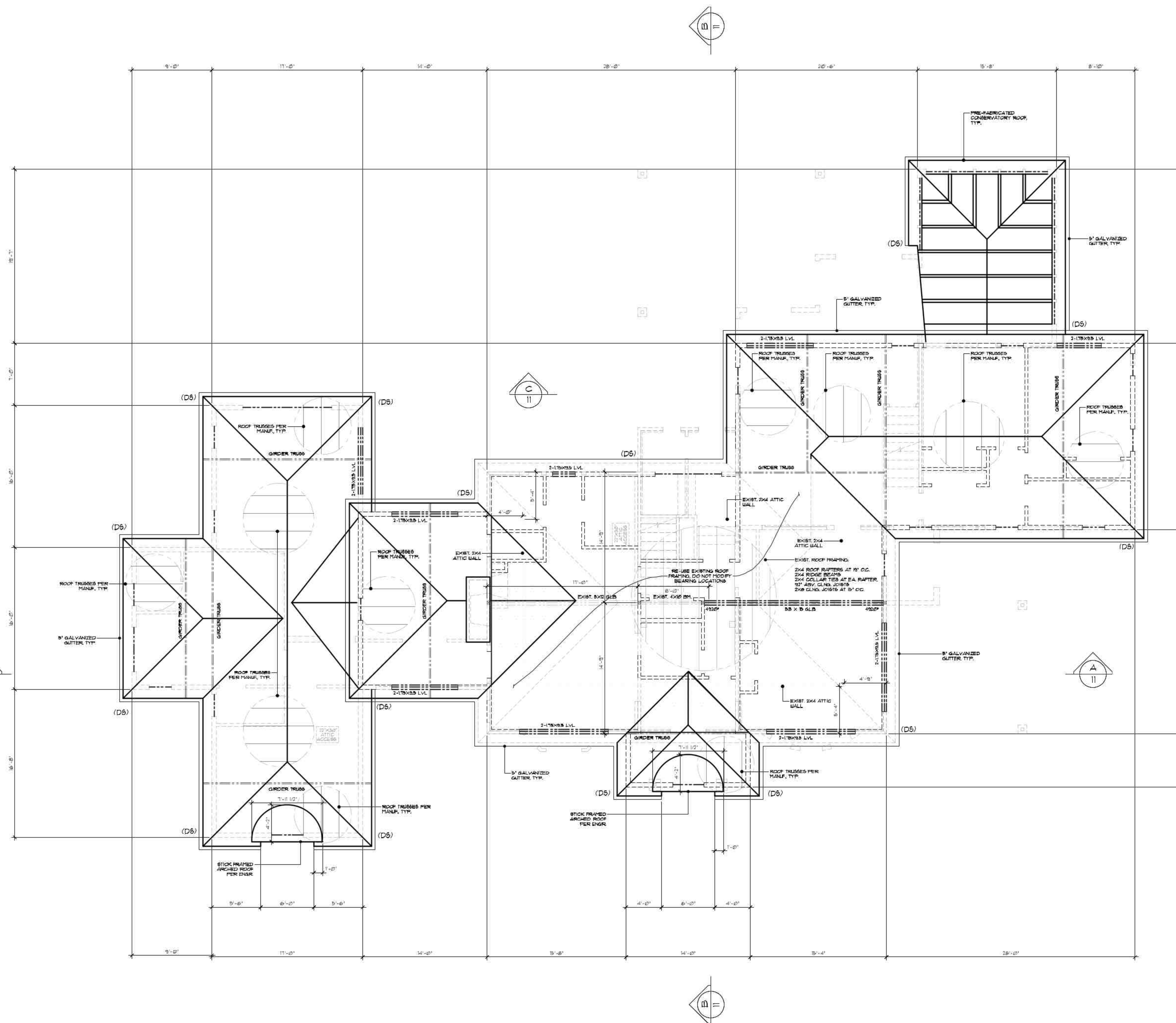
IMPORTANT DISCLOSURE - PLEASE READ:

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SEE STRUC. ENGR. SHEETS

SEE TRUSS ENGR. SHEETS FROM MANUF.

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



ROOF FRAMING PLAN

1/4" = 1'-0"

ALL ROOF SLOPES TO BE 8:12 UNO.
ALL EAVES TO BE 1'-0" UNO.

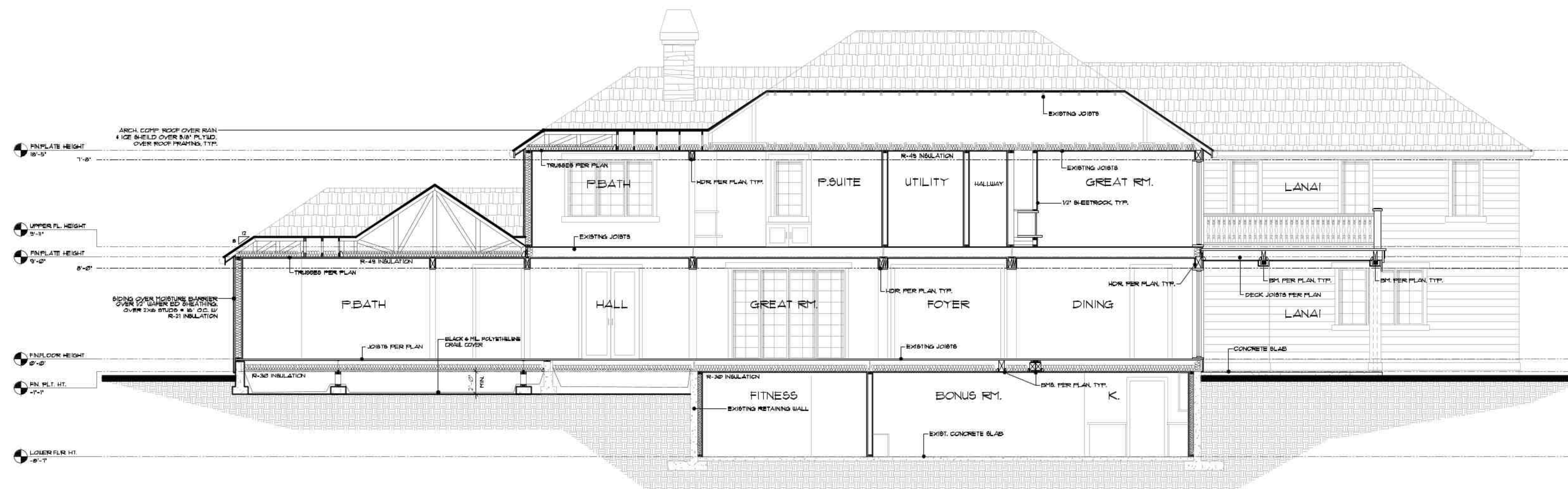
THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No:
DRAWN: TF
DATE: 4/30/2024
SCALE: 1/4"=1'-0"
FILE:

ROOF FRAMING PLAN

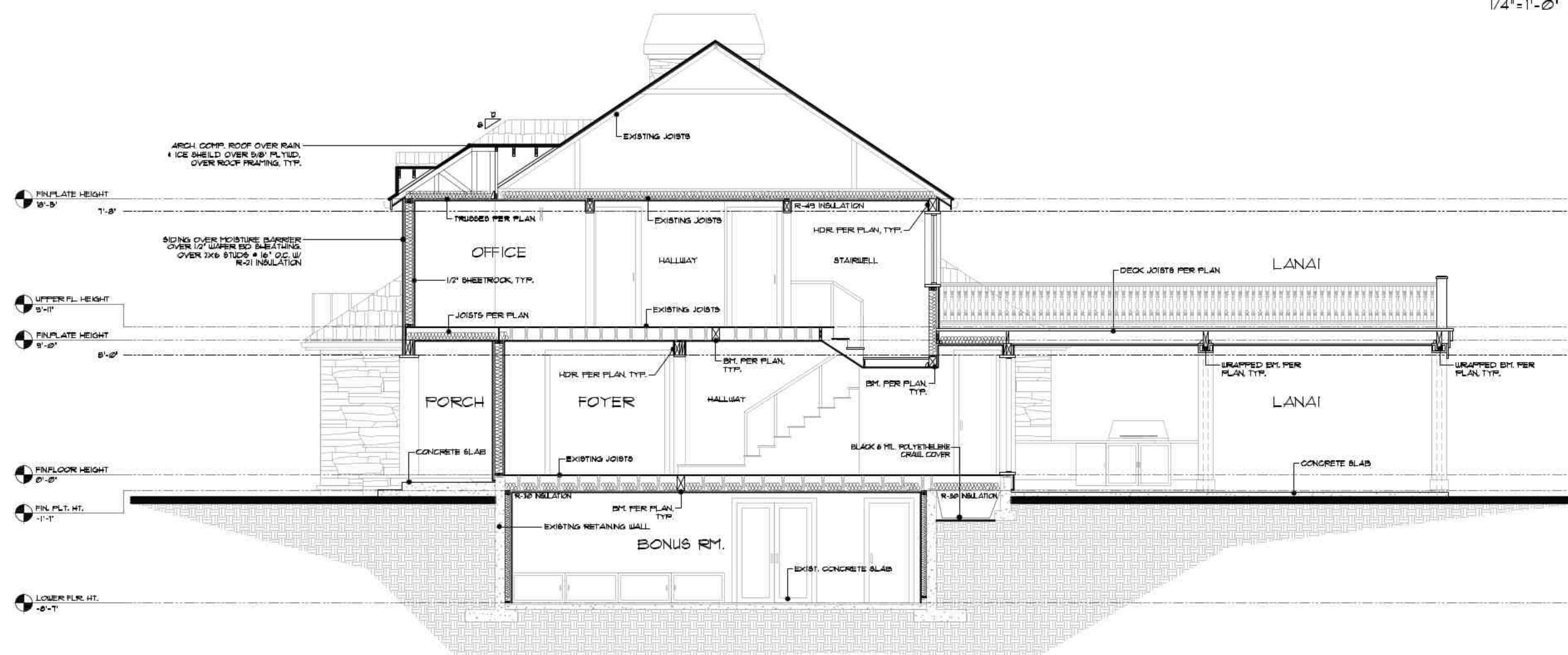
10

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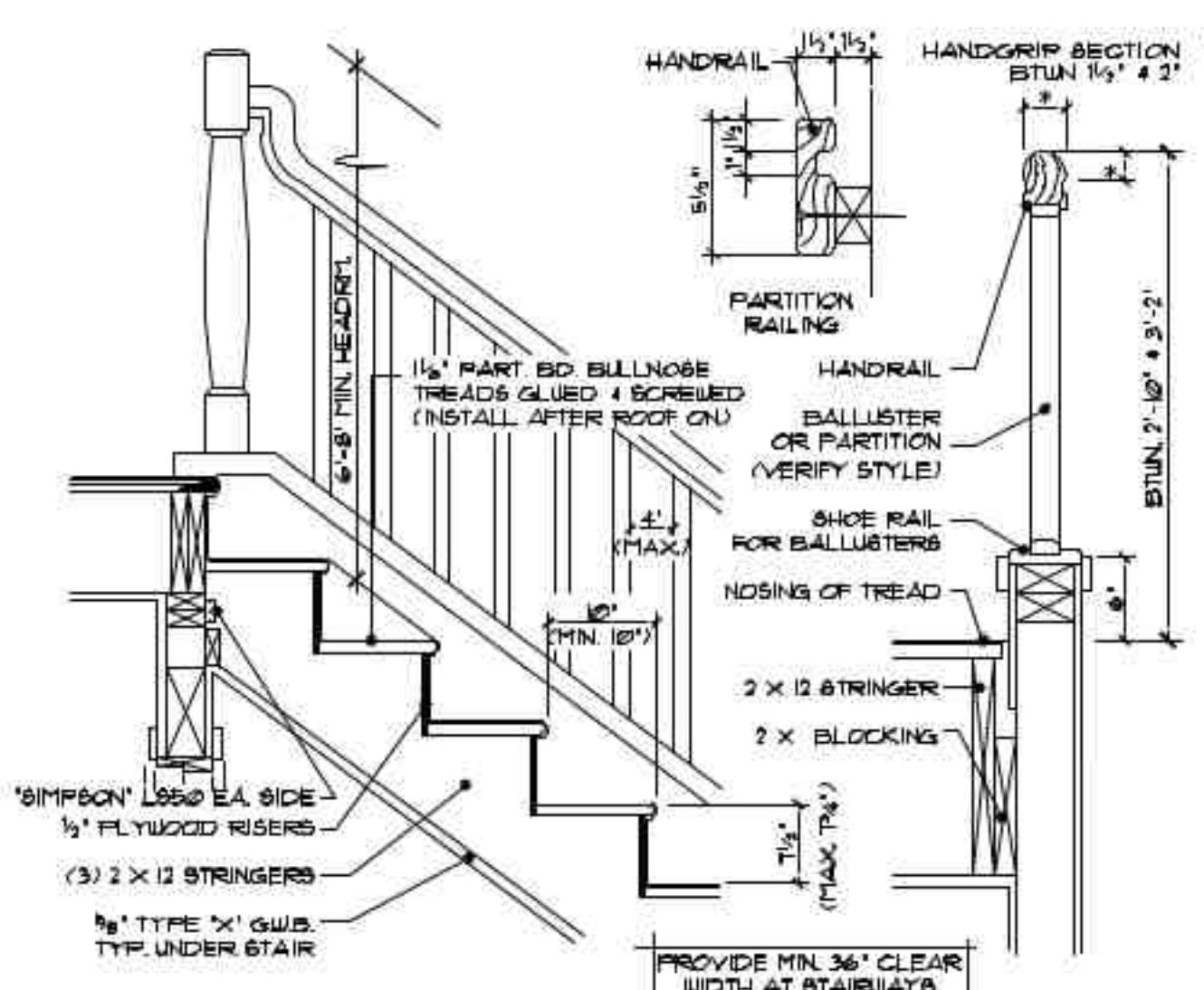
CROSS SECTION A.

1/4" = 1'-0"

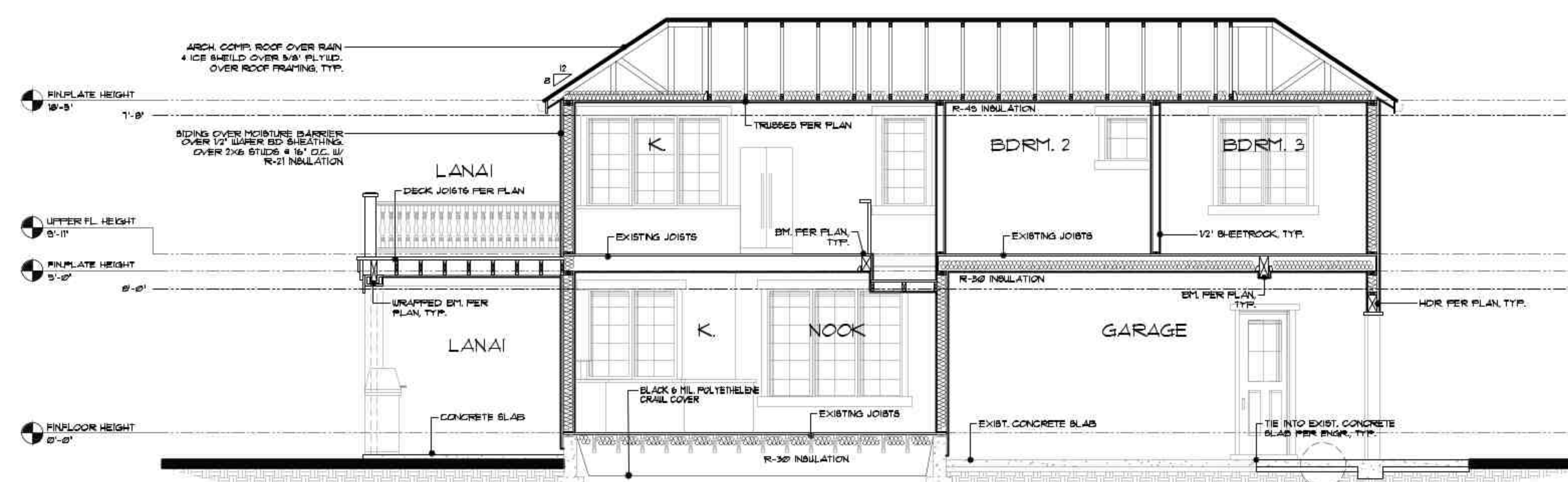


CROSS SECTION B.

1/4" = 1'-0"



STAIR DETAIL
SCALE : N.T.S.



CROSS SECTION C.

1/4" = 1'-0"

IMPORTANT DISCLOSURE - PLEASE READ:

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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No: _____
DRAWN: _____
DATE: 4/30/2024
SCALE: 1/4" = 1'-0"
FILE: _____

CROSS SECTIONS

11
THESE PLANS AND DESIGNS
HEREIN ARE COPYRIGHTED
UNDER FEDERAL LAW BY
TROY FOWLER & FOWLER HOME
DESIGN LLC 2024

Cultural Resource Survey Form:

CLACKAMAS COUNTY

T. D. NUMBER M-26-W11

PHOTO INFORMATION:

ROLL: XVI
FRAME: 19

STUDY AREA: MILWAUKIE
LEGAL: T. 1S R. 1E SEC. 26 DB
TAX (LOTS): 300
ZONE _____ SIZE _____

IDENTIFICATION:

COMMON/HISTORICAL NAME: RAVENSWOOD *William MacMaster Residence*
ADDRESS: 1620 S.E. Waverly Drive (Broadway) AREA: Milwaukie, 97222
CURRENT OWNER: ULDIS SEJA USE: Residence
OWNER'S ADDRESS: Same
ORIGINAL OWNER: WILLIAM MacMASTER USE: Residence
AREA OF SIGNIFICANCE: TOWN: X COUNTY: _____ CITY: _____ NATION: _____

HISTORIC INTEREST:

THEME: Architecture - 20th Century DATE: 1922-23
DESCRIPTION: Annie MacMaster was the head of all the women's war work (1916) throughout the Pacific Northwest for the YMCA during World War I. The house was built by Drake-Voss Construction Company. William MacMaster was in the business of real-estate investments.

ARCHITECTURAL INTEREST:

STYLE: ~~Classic Revival~~ Colonial Revival STORIES: 2
DATE: 1922-23 CONDITION: Good ARCHITECT: _____
SIDING: Stucco with stucco quoins
ROOF: Hip with gabled wall dormer
DOORS: Paneled
WINDOWS: Multi-light over l. A palladian window on North elevation. Full-height polygonal bay window with tent roof and spandrel.
MAIN ENTRANCE: Ionic pilasters. Broken scroll pediment.

NOTES: Belt course above heads of second story windows.



BIBLIOGRAPHY:

#6, Page 87

DATE: 10/14/83
RECORDER: HAYDEN/ALTIER

CITY OF MILWAUKIE
CULTURAL RESOURCE INVENTORY
Statement of Significance

ADDRESS: 1620 S.E. Waverly Drive

The William MacMaster House, constructed in 1922, is the finest example of the Colonial Revival style in Milwaukie. It is distinguished by outstanding design features including the elegant entrance with its paired, paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters. The handsome stuccoed exterior is embellished with quoining, polygonal bays, and a massive endwall chimney. A Palladian window is located on the north elevation. Basically rectangular in plan the main volume of the house is flanked by two smaller wings on the side elevations. The house is located near the entrance to the Waverly neighborhood across the street to the south from the golf course.

Known as "Ravenswood" this was MacMasters second estate within Waverly; in 1908 he built "Ardgour", torn down in 1937, the Clarence E. Francis Home was built on the same location--the estate site is still referred to as Ardgour. Ardgour was one of the first "permanent" dwellings: many of the club members maintained their primary residences in Portland up until that point and looked on their Waverly estates as country cottages. On the completion of Ardgour, MacMaster moved his family to Waverly and maintained it as his permanent residence, many of the club members followed suit; looking on Waverly as their primary homes.

William MacMaster was born in Silverdale, England in 1858. Both parents were Scottish. MacMaster was educated in Scotland coming to Oregon in 1883 as financial representative of the Dundee Land Company. In 1890 he formed a real estate investment firm with A. H. Birrell, buying Birrell out in 1903. In 1922 he associated himself with his son-in-law, the firm known from then until his death as MacMaster & Ireland.

A respected and successful businessman, MacMaster was a tireless local and state booster. He was president of the Arlington Club, he was twice president of Waverly--considered the primary force behind the acquisition and formation of the club on its present site--and twice president of the Portland Chamber of Commerce.

BIBLIOGRAPHY: TICOR Title Company Records, Oregon, City.
Oregon Journal, 23 March 1937 p.3.
Dimon, Elizabeth. Twas Many Years Since.

RECORDER: Koler/Morrison Consultants

DATE: 3/88

Site 12: 1620 Waverly Drive

Revised Narrative

Total Points: 54
Rating Category: Significant
Reason for Rating: Scores of 10 on PERSON and STYLE

1. PERSON/GROUP/ ORGANIZATION: Associated with the life or activities of a person, group, organization, or institution that has made a significant contribution to the community, state, or nation. (10 out of 10 points, Particularly Strong)

Known as "Ravenswood" this was William MacMasters' second estate within Waverly; in 1908 he built "Ardgour", torn down in 1937, the Clarence E. Francis Home was built on the same location--the estate site is still referred to as Ardgour. Ardgour was one of the first "permanent" dwellings: many of the club members maintained their primary residences in Portland up until that point and looked on their Waverly estates as country cottages. On the completion of Ardgour, MacMaster moved his family to Waverly and maintained it as his permanent residence, many of the club members followed suit; looking on Waverly as their primary homes.

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Annie MacMaster was the head of all the women's war work (1916) throughout the Pacific Northwest for the YMCA during World War I. The house was built by Drake-Voss Construction Company. William MacMaster was in the business of real-estate investments.

2. EVENT: Associated with an event that has made a significant contribution to the community, state, or nation. (0 out of 10 points, None)
3. PATTERN: Associated with, and illustrative of, broad patterns of cultural, social, political, economic, or industrial history in the community, state, or nation. (0 out of 10 points, None)
4. STYLE/BUILDING TYPE/CONVENTION: Significance as an example of a particular architectural style, building type, or convention. (10 out of 10 points, Excellent)

The William MacMaster House, constructed in 1922, is the finest example of the Colonial Revival style in Milwaukie. It is distinguished by outstanding design features including the

elegant entrance with its paired, paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters.

Architecture - 20th Century

5. DESIGN/ARTISTIC QUALITY: Significance due to quality of composition, detailing, and craftsmanship. (4 out of 4 points, Excellent)

The handsome stuccoed exterior is embellished with quoining, polygonal bays, and a massive endwall chimney. A Palladian window is located on the north elevation. Basically rectangular in plan the main volume of the house is flanked by two similar wings on the side elevations.

There is a full-height polygonal bay window with tent roof and spandrel. The main entrance has Ionic pilasters and a broken scroll pediment. There is a belt course above heads of second story windows.

6. MATERIALS/CONSTRUCTION: Significance as an example of a particular material or method of construction. (0 out of 4 points, Of little interest)

The siding material is made of stucco. There are also quoins made of stucco. The door is paneled.

7. INTEGRITY: Significance because it retains its original design features, materials, and character. (7 out of 7 points, No apparent alterations)

8. RARITY: Significance as the only remaining, or one of the few remaining properties of a particular style, building type, design, material, or method of construction. (7 out of 10 points, One of a few)

9. LANDMARK: Significance as a visual landmark. (5 out of 10 points, Conspicuous)

The house is located near the entrance to the Waverly neighborhood across the street to the south from the golf course.

10. SETTING: Significance because current land-use surrounding the property contributes to the integrity of the pertinent historic period. (4 out of 4 points, Excellent)

11. CONTINUITY: Significant because the property contributes to the continuity or character of the street, neighborhood, or community. (7 out of 7 points, Establishes character)

MISCELLANEOUS NOTES