

**MILWAUKIE PLANNING**  
 10501 SE Main St.  
 Milwaukie OR 97222  
 503-786-7630  
 planning@milwaukieoregon.gov

# Application for Land Use Action

Primary File #: HR-2024-002

Review type\*:  I  II  III  IV  V

**CHECK ALL APPLICATION TYPES THAT APPLY:**

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Amendment to Maps and/or         | <input type="checkbox"/> Land Division:                    | <input type="checkbox"/> Planned Development                |
| <input type="checkbox"/> Comprehensive Plan Map Amendment | <input type="checkbox"/> Final Plat                        | <input type="checkbox"/> Residential Dwelling               |
| <input type="checkbox"/> Zoning Text Amendment            | <input type="checkbox"/> Lot Consolidation                 | <input type="checkbox"/> Manufactured Dwelling Park         |
| <input type="checkbox"/> Zoning Map Amendment             | <input type="checkbox"/> Partition                         | <input type="checkbox"/> Manufactured Dwelling              |
| <input type="checkbox"/> Code Interpretation              | <input type="checkbox"/> Property Line Adjustment          | <input type="checkbox"/> Temporary Dwelling Unit            |
| <input type="checkbox"/> Community Service Use            | <input type="checkbox"/> Replat                            | <input type="checkbox"/> Transportation Facilities Review** |
| <input type="checkbox"/> Conditional Use                  | <input type="checkbox"/> Subdivision                       | <input type="checkbox"/> Variance:                          |
| <input type="checkbox"/> Development Review               | <input type="checkbox"/> Mixed Use Overlay Review          | <input type="checkbox"/> Use Exception                      |
| <input type="checkbox"/> Director Determination           | <input type="checkbox"/> Modification to Existing Approval | <input type="checkbox"/> Variance                           |
| <input type="checkbox"/> Downtown Design Review           | <input type="checkbox"/> Natural Resource Review**         | <input type="checkbox"/> Willamette Greenway Review         |
| <input type="checkbox"/> Extension to Expiring Approval   | <input type="checkbox"/> Nonconforming Use Alteration      | <input type="checkbox"/> Other: _____                       |
| <input type="checkbox"/> Historic Resource:               | <input type="checkbox"/> Parking:                          | <b>Use separate application forms for:</b>                  |
| <input checked="" type="checkbox"/> Alteration            | <input type="checkbox"/> Quantity Determination            | Annexation and/or Boundary Change                           |
| <input type="checkbox"/> Demolition                       | <input type="checkbox"/> Quantity Modification             | • Compensation for Reduction in Property                    |
| <input type="checkbox"/> Status Designation               | <input type="checkbox"/> Shared Parking                    | • Value (Measure 37)  |
| <input type="checkbox"/> Status Deletion                  | <input type="checkbox"/> Structured Parking                | Daily Display Sign  |
|   |  | • Appeal  |

**RESPONSIBLE PARTIES:**

**APPLICANT** (owner or other eligible applicant—see reverse): **Mark Eklund**

Mailing address: **1322 SE Lexington St., Portland** State/Zip: **OR, 97202**

Phone(s): **503-420-6902** Email: **markeklund96@gmail.com, aprileklund@gmail.com, troy@fowlerhomedesign.com, ag.brown143@gmail.com**

*Please note: The information submitted in this application may be subject to public records law.*

**APPLICANT'S REPRESENTATIVE** (if different than above):

Mailing address: \_\_\_\_\_ State/Zip: \_\_\_\_\_

Phone(s): \_\_\_\_\_ Email: \_\_\_\_\_

**SITE INFORMATION:**

Address: **1620 SE Waverly Dr., Milwaukie, OR 97222** Map & Tax Lot(s): **11E26DB00300**

Comprehensive Plan Designation: \_\_\_\_\_ Zoning: **R-MD** Size of property: **0.84 acres**

**PROPOSAL (describe briefly):**

**A 1784 S.F. ADDITION TO THE EXISTING RESIDENCE. IT ALSO INCLUDES THE ADDITION OF A 306 S.F. PRE-FABRICATED CONSERVATORY.**

**SIGNATURE:** I attest that I am the property owner or I am eligible to initiate this application per Milwaukie Municipal Code Subsection 19.1001.6.A. If required, I have attached written authorization to submit this application. To the best of my knowledge, the information provided within this application package is complete and accurate.

Submitted by: Mark Eklund Date: 9/3/2024

**IMPORTANT INFORMATION ON REVERSE SIDE**

\*For multiple applications, this is based on the highest required review type. See MMC Subsection 19.1001.6.B.1.  
 \*\* Natural Resource and Transportation Review applications **may require a refundable deposit.**

**WHO IS ELIGIBLE TO SUBMIT A LAND USE APPLICATION** (excerpted from MMC Subsection 19.1001.6.A):

**Type I, II, III, and IV** applications may be initiated by the property owner or contract purchaser of the subject property, any person authorized in writing to represent the property owner or contract purchaser, and any agency that has statutory rights of eminent domain for projects they have the authority to construct.

**Type V** applications may be initiated by any individual.

**PREAPPLICATION CONFERENCE:**

A preapplication conference may be required or desirable prior to submitting this application. Please discuss with Planning staff.

**DEPOSITS:**

Deposits require completion of a Deposit Authorization Form, found at [www.milwaukieoregon.gov/building/deposit-authorization-form](http://www.milwaukieoregon.gov/building/deposit-authorization-form)

**REVIEW TYPES:**

This application will be processed per the assigned review type, as described in the following sections of the Milwaukie Municipal Code:

- Type I: Section 19.1004
- Type II: Section 19.1005
- Type III: Section 19.1006
- Type IV: Section 19.1007
- Type V: Section 19.1008

**THIS SECTION FOR OFFICE USE ONLY:**

FILE TYPE	FILE NUMBER	AMOUNT (after discount, if any)	PERCENT DISCOUNT	DISCOUNT TYPE	DATE STAMP
Primary file	HR-2024-002	\$ 2,000			Applicant materials received on 9/3/24.
Concurrent application files		\$			
		\$			Payment received on 9/4/2024.
		\$			
Deposit (NR/TFR only)				<input type="checkbox"/> Deposit Authorization Form received	
TOTAL AMOUNT RECEIVED: \$ 2,000			RECEIPT #: 28715		RCD BY: R.Dyar

**Associated application file #s** (appeals, modifications, previous approvals, etc.):

**Neighborhood District Association(s):** Historic Milwaukie

**Notes:** The applicant is proposing to alter a historic resource (1620 SE Waverly Dr) listed as significant on Milwaukie's local inventory.

# Detailed Statement

## *Proposed Alterations at 1620 SE Waverly Dr.*

9/3/2024

*Prepared For: City of Milwaukie, Oregon*

*Prepared By: Fowler Home + Design*

The summary of proposed alterations to the existing residence on the main floor include the addition of a primary wing located on the far east side of the residence that houses a bedroom, bath, and walk-in closet, the addition of a 306 s.f. prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6', and extending the south kitchen and nook walls 8.5' and 6' respectively. The total main floor additions including the conservatory amounts to 1,436 s.f.

On the upper floor, slight wall extensions are made on the north wall above the porch, the east wall at the existing bath, the south wall, and west wall which amounts to a total of 348 s.f. additional area. The upper floor also includes the additions of a deck on the northwest and the south. All existing roofs are kept as existing as much as possible, such as the tallest roof form over the primary mass of the existing residence. The proposed roofs maintain the existing roof slopes and do not exceed the existing maximum height.

The two most critical elements outlined in the 1988 historic resource survey are the PERSON and STYLE categories. The STYLE category states the residence as Colonial Revival style with elements of interest centered primarily around the entrance of the residence such as the paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters. Additional noted elements of interest include quoining at the entrance, an endwall chimney, a palladian window, the polygonal bay window with tent roof and spandrel, and the belt course over the second story windows.

The proposed alterations have little to no impact on the PERSON category as the overall character and layout of the existing residence is maintained. For the STYLE category, the proposed alterations enhance and add to the existing style by an increased number of Colonial Revival design elements than found in the existing residence. The proposed alteration Colonial Revival Design elements include an arched keystone entryway with full entablature and doric pilasters, curved molding around an oval window above the entrance, an arched entry door, gridded windows throughout, two curved copper roofs with oval windows below, an exposed stone chimney with a copper chimney cap, a tile clad curved bay with a full entablature off the dining room, colonial wooden balusters, and a more extensive usage of materials that better reflect the Colonial Revival style such as brick, stone, copper, and painted cedar siding.

In addition to the increased Colonial Revival design elements in the proposed alterations, the alterations will also create a more efficient and safe residence through better insulation, higher performance windows, seismic fortification of the structure, and usage of high quality exterior materials that align with the Colonial Revival style.

The proposed alterations adhere to all relevant zoning and development standards. Refer to the plans and elevations for further information.

## Detailed Statement

### *Proposed Alterations at 1620 SE Waverly Dr.*

9/4/2024

*Prepared For: City of Milwaukie, Oregon*

*Prepared By: Fowler Home + Design*

The summary of proposed alterations to the existing residence on the main floor include the addition of a primary wing located on the far east side of the residence that houses a bedroom, bath, and walk-in closet, the addition of a 306 s.f. prefabricated conservatory at the southwest side of the residence, extending the west garage wall 6', and extending the south kitchen and nook walls 8.5' and 6' respectively. The total main floor additions including the conservatory amounts to 1,436 s.f.

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The proposed alterations have little to no impact on the PERSON category as the overall character and layout of the existing residence is maintained. For the STYLE category, the proposed alterations enhance and add to the existing style by an increased number of Colonial Revival design elements than found in the existing residence. The proposed alteration Colonial Revival Design elements include an arched keystone entryway with full entablature and doric pilasters, curved molding around an oval window above the entrance, an arched entry door, gridded windows throughout, two curved copper roofs with oval windows below, an exposed stone chimney with a copper chimney cap, a tile clad curved bay with a full entablature off the dining room, colonial wooden balusters, and a more extensive usage of materials that better reflect the Colonial Revival style such as brick, stone, copper, and painted cedar siding.

In addition to the increased Colonial Revival design elements in the proposed alterations, the alterations will also create a more efficient and safe residence through better insulation, higher performance windows, seismic fortification of the structure, and usage of high quality exterior materials that align with the Colonial Revival style.

The proposed alterations adhere to all relevant zoning and development standards. Refer to the plans and elevations for further information.

## **Approval Criteria:**

### 1. Retention of Original Construction

*Distinguishing original qualities defining a resource's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.*

**Response:** The majority of the existing walls and the primary and tallest portion of the roof will remain. The Colonial Revival design elements are proposed to be replaced with different, yet appropriate design elements of the Colonial Revival style. The original design elements may be re-used or replicated in the alterations if it is preferable.

### 2. Building Height

*Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a building's permanent elevation when constructing a foundation shall be avoided, except as required by building code or floodplain development permit.*

**Response:** The tallest roof form will remain, thus maintaining the existing buildings highest elevation. All proposed roofs match the existing roof pitches.

### 3. Horizontal Additions

*The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary design for alterations and additions is acceptable if the design respects the building's original design and is compatible with the original scale, materials, and window and door-opening proportions of the building.*

**Response:** All proposed alterations, including the relationship of windows to walls, remain compatible with the original architectural character, scale, materials, and proportions of the historic residence.

### 4. Windows

*Window replacements shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.*

**Response:** The window replacements will match the frames and gridded style of the original windows as shown in the elevations on the plans.

5. *Restoration Possible*

*Except where building code precludes it, new additions or alteration to buildings shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original building could be restored.*

**Response:** The proposed alterations and additions shall be constructed in such a manner that the additions and alterations could be removed and restored to its existing condition, thus preserving the essential form and integrity of the original building.

6. *Signs and Lighting*

*Signs, lighting, and other appurtenances (such as walls, fences, awnings, and landscaping) shall be visually compatible with the original character of the building.*

**Response:** There is no proposed signage. The proposed lighting and other appurtenances will be visually compatible with the original character of the building.

7. *Time Period Consistency*

*Buildings shall be recognized as products of their own time. Alterations that have no Historical basis or which seek to create an earlier appearance shall be avoided.*

**Response:** All proposed alterations and additions are deeply based in the Colonial Revival style.

8. *Visual Integrity/Style*

*Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a building, shall be maintained or restored as far as is practicable.*

**Response:** The proposed alterations and additions replace existing stylistic features with different, equivalent features of the same style. Re-using and/or replicating the exact existing stylistic features may be done if preferred.

9. *Replacement or Additional Materials*

*Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is*

*proposed, new materials should match those of the original building, to the extent possible, in composition, design, color texture, and other visual qualities.*

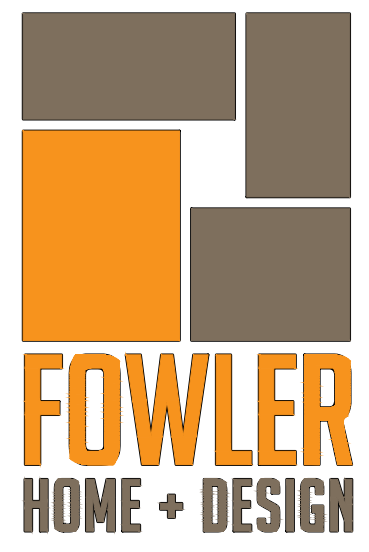
**Response:** The proposed alterations and additions match the existing materials of the historic residence. The new proposed materials are all commonplace within the Colonial Revival style.

#### 10. Buffering

*An appropriate buffer or screen, as provided under Subsection 19.504.6, may be required when a new commercial or industrial improvement or use is proposed on or adjacent to a designated resource, or within or adjacent to an historic district.*

**Response:** Our current proposal does not include any buffering or screening. However, if required, the buffering or screening will be consistent with requirements from NPS.

# 1620 SE WAVERLY DRIVE MILWAUKIE, OR. 97222



- ALL EXCESS GRADING MATERIAL TO BE EXPORTED TO AN APPROVED DISPOSAL LOCATION.
- ALL FILL AREAS 16" UNDER GARAGE FLOORS, SIDEWALKS, DRIVEWAYS, ETC. TO BE COMPACTED GRANULAR FILL.
- THERE WILL BE A SLIGHT OVER EXCAVATION TO PROVIDE CONCRETE FORMING ALL AROUND NEW STRUCTURE.
- PROVIDE COUNTY/CITY APPROVED SEDIMENT FENCING AROUND EXCAVATED AREA PRIOR TO EXCAVATION AND CONSTRUCTION.
- PROVIDE COUNTY/CITY APPROVED STABILIZED GRAVELED CONSTRUCTION ENTRANCE PRIOR TO EXCAVATION AND CONSTRUCTION.
- STOCKPILES MUST BE COVERED WITH MULCH OR PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30.
- CONTRACTOR/ SUB-CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO FOWLER HOME DESIGN INC. FOWLER HOME DESIGN INC. WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY ALL SITE CONDITIONS INCLUDING FILL PLACED ON SITE.

## EROSION CONTROL PLAN

- ELEVATION LEGEND:**  
 --- EXISTING GRADE ELEVATION  
 FE+ FINAL GRADE ELEVATION  
 FE- FINISHED FLOOR ELEVATION
- PROVIDE A MINIMUM GRAVEL BASE UNDER ALL DRIVEWAY AREAS.
  - PROVIDE A 4" MINIMUM GRAVEL BASE UNDER ALL DRIVEWAY AND PATIO AREAS.
  - PIPE ALL STORM DRAINAGE FROM THE BUILDING TO A COUNTY/CITY DISPOSAL POINT/CONNECTION.
  - MAXIMIZE SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
  - PROVIDE AND MAINTAIN FINISH GRADE WITH POSITIVE DRAINAGE AWAY FROM STRUCTURE ON ALL SIDES WITH A SLOPE OF 6" MINIMUM IN 10'-0".
- NO STOCKPILES ARE TO BE LOCATED IN THE SIDE SETBACK AREAS.**

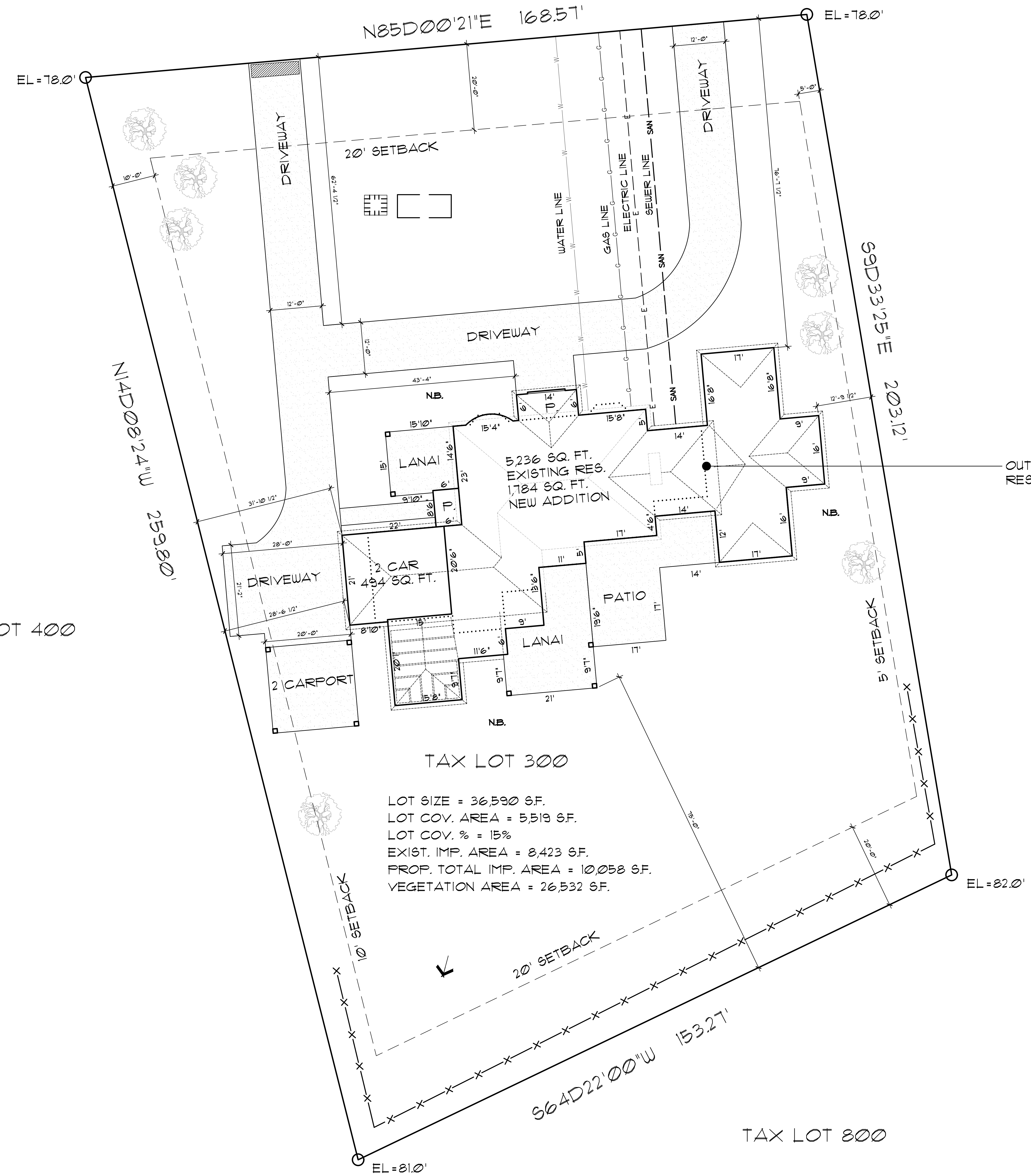


**IMPORTANT DISCLOSURE - PLEASE READ:**  
 THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD MORE THAN ONE HOME FROM THESE PLANS. THESE PLANS ARE COMPROMISED AND INVALIDATION OF THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE AND VIOLATION OF THIS COMPROMISED DESIGN AND PLANS. FURTHERMORE IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE HOME DESCRIBED HEREIN ON ANY APPLICABLE SITE AND WITHIN THE COMPASS OF HIS/HER PROFESSIONAL JUDGMENT. FOWLER HOME DESIGN LLC HAS NO RESPONSIBILITY FOR THE COMPLIANCE OF THIS PLAN TO ANY CODE OR ANY REGULATORY AGENCY.

**CONTRACTOR TO VERIFY EXISTING CONDITIONS AND UTILITIES, TYP.**

TAX LOT 400

SE WAVERLY DRIVE



TAX LOT 300

LOT SIZE = 36,590 SF.  
 LOT COV. AREA = 5,519 SF.  
 LOT COV. % = 15%  
 EXIST. IMP. AREA = 8,423 SF.  
 PROP. TOTAL IMP. AREA = 10,058 SF.  
 VEGETATION AREA = 26,532 SF.

TAX LOT 800

**THE EKLUND RESIDENCE**  
 1620 SE WAVERLY DRIVE  
 MILWAUKIE, OR. 97222

PLAN No.:  
 DRAIN: TF  
 DATE: 4/20/2024  
 SCALE: 1"=10'-0"  
 FILE:

**PLOT PLAN**

THESE PLANS AND DESIGNS  
 HEREIN ARE COPYRIGHTED  
 UNDER FEDERAL LAW BY  
 TROY FOWLER & FOWLER HOME  
 DESIGN LLC 2024



**ELEVATION NOTES:**

- ROOFING MATERIAL TO BE ARCHITECTURAL COMPOSITION MATERIALS AND 5" STANDING SEAM METAL ROOFING SEE ELEVATION PAGE. ROOF SHINGLES TO BE NAILED PER MANUFACTURED INSTRUCTIONS FOR 80 MPH MINIMUM WIND AREAS.
- ROOF FITCH TO BE SHOWN ON PLANS
- ALL EAVES TO BE NOTED ON PLANS WITH A 5" GALVANIZED FACIA GUTTER ON SPECIFIED FACIA BD. PROVIDE 3" GALVANIZED DOWNSPOUTS (DS) AS SHOWN ON ROOF FRAMING PLAN.
- SIDING NOTED ON PLANS.
- ALL WINDOW & DOOR TRIM TO BE 5/4 X 4 AT SIDES AND 5/4 X 6 CROWN & SILL.
- SIDING TO BE SPECIFIED ON PLAN. CALK ALL CORNER BOARDS, JOINTS, WINDOWS, DOORS AND SURROUNDS.
- ALL CORNER BOARD TRIM TO BE 2 X 4 PRIMED BD. AS SHOWN ON PLAN.
- COVERED PORCHES AND EAVE SOFFITS TO BE 1/2" EXT. FLYWOOD OR EQUAL TOO. CALK ALL JOINTS.
- MASONRY VENEER TO BE CULTURED STONE OR EQUAL AS SHOWN ON PLAN. PROVIDE GALVANIZED FLASHING ON A MASONRY SILL CAP OVER VENEER. VERIFY LOCATION AND TYPE OF MASONRY WITH BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE 2 X 10 ROUGH SAWN CEDAR OR EQUAL AT ALL BELLY BANDS WITH A GALVANIZED "I" FLASHING AT EXPOSED TOP. LOCATIONS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED.
- PROVIDE VENTS AS SHOWN, SHUTTERS AND TRIMS ON ELEVATIONS AS SHOWN ON PLAN.
- PROVIDE VNTL. WINDOWS AS SHOWN ON PLAN.
- EXPOSED CONCRETE WALKS TO BE BROOCHED FINISH AS SHOWN ON PLAN.
- MAXIMUM FOUNDATION EXPOSURE TO BE 1" FROM FINISHED GRADE.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- FINISH GRADE TO BE 1" MAXIMUM SLOPE WITH A 6" MINIMUM IN 10'-0" MINIMUM SLOPE AWAY FROM STRUCTURE ALL AROUND.
- SEE ELEVATIONS FOR ANY ADDITIONAL NOTATIONS THAT MAY BE OF IMPORTANCE.
- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE, UNIFORM BUILDING CODE OF ANY APPLICABLE STATE, COUNTY OR LOCAL JURISDICTION.
- PRIOR TO BEGINS CONSTRUCTION, THE PLANS AND SPECIFICATIONS SHALL BE APPROVED BY THE LOCAL BUILDING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START AND/OR DURING CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
- BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR IS RESPONSIBLE TO REVIEW SPECIFIC SITE CONDITIONS WITH THE DESIGNER BEFORE CONSTRUCTION.
- VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH, PLUMBING, ELECTRICAL AND/OR OTHER SUBCONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
- PLUMBING, ELECTRICAL AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
- ENGINEERED PRODUCTS ( ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB.
- SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DEVIATIONS FROM THE ORIGINAL PLANS WITHOUT WRITTEN CONFIRMATION FROM THE DESIGNER.
- ALL DIMENSIONS AND SQUARE FOOTAGE MAY VARY.
- THE TYPE OF EXTERIOR FINISH, THE INSTALLATION, AND THE WATERPROOFING DETAILS ARE TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY OF THE BUILDING ENVELOPE.

**WINDOW SCHEDULE**

MARK	SIZE & TYPE	QUANTITY
△	3/8 X 1/3 OVAL FX.	2
△	3-2/8 X 6/8 FX. MILLED	1
△	4-2/8 X 6/8 MILLED FX.-CBMT.-FX.	4
△	2/8 X 6/8 FX.	3
△	2/8 X 6/8 CBMT.	4
△	3-2/8 X 6/8 MILLED FX.-CBMT.-FX.	4
△	2/8 X 6/8 CBMT.	5
△	3-2/8 X 6/8 MILLED FX.-CBMT.-FX.	2
△	2-2/8 X 6/8 CBMT. MILLED	2
△	2/8 X 6/8 CBMT.	1
△	2-2/8 X 6/8 CBMT. MILLED	1
△	2/8 X 6/8 FX.	6
△	2/8 X 2/8 FX.	1
△	3-2/8 X 6/8 FX. MILLED	1
△	2/8 X 2/8 FX.	1

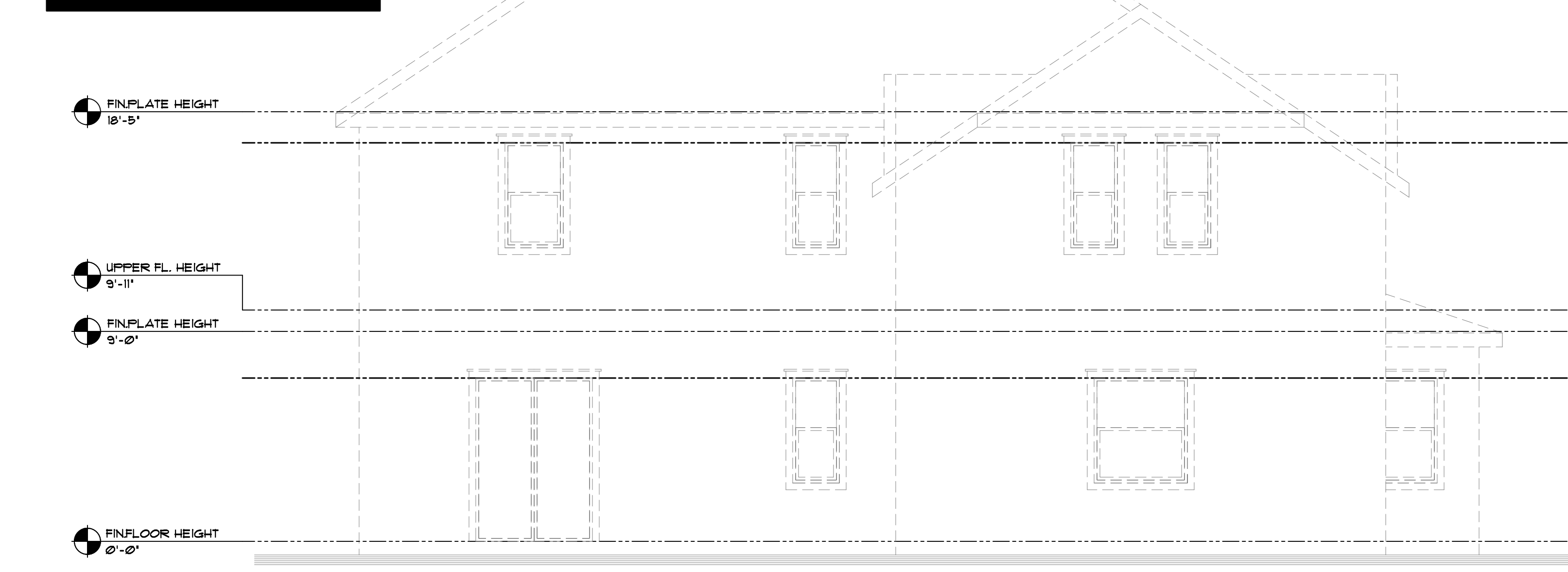
NOTE: ALL WINDOWS TO HAVE GRIDS UNO.

**DESIGN LOADS:**

WIND	100 MPH OR LESS
SEISMIC DESIGN CATEGORY	D2
FROST DEPTH	38 INCHES
ROOF DEAD LOAD	11 PSF
ROOF LIVE LOAD	20 PSF
ROOF SNOW LOAD	25 PSF
FLOOR DEAD LOAD	15 PSF
FLOOR LIVE LOAD	40 PSF
STAIRS	40 PSF
EXTERIOR BALCONIES	60 PSF
DECKS	60 PSF

**IMPORTANT DISCLOSURE PLEASE READ:**

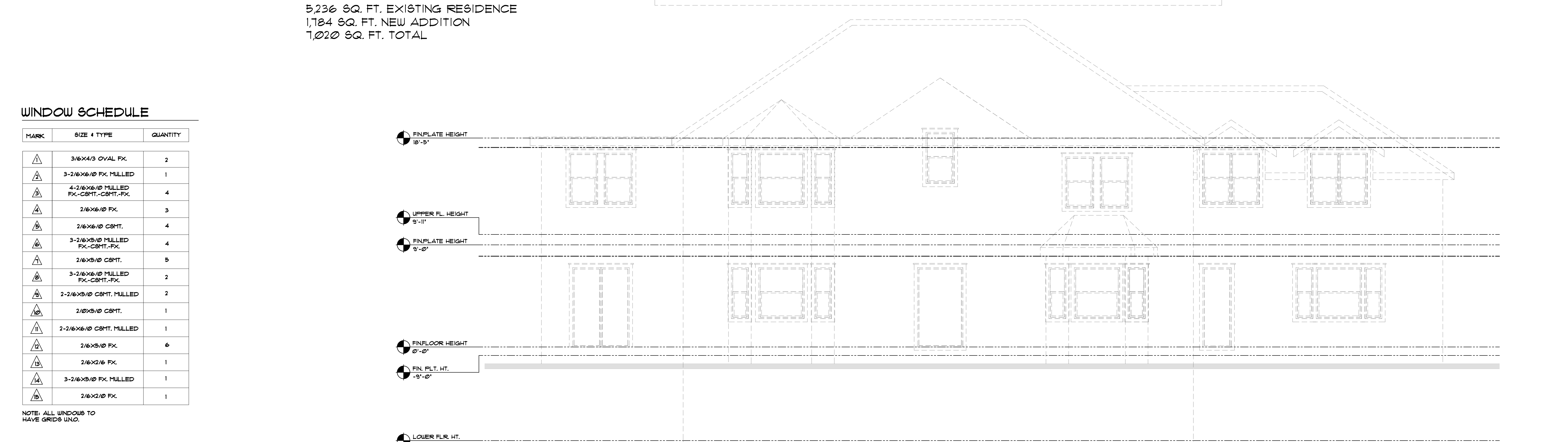
THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONE UNLESS THE WRITTEN CONSENT FROM THE DESIGNER TROY FOWLER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAWS TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED DESIGNS AND PLANS. THEREFORE IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE HOME DESCRIBED HEREIN, ON ANY PARCEL OF LAND AND WITHIN THE CONFINES OF THE GOVERNING JURISDICTION. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.



**EXIST. RIGHT SIDE ELEVATION**  
5,236 SQ. FT. EXISTING RESIDENCE



**FRONT ELEVATION**  
5,236 SQ. FT. EXISTING RESIDENCE  
1,184 SQ. FT. NEW ADDITION  
1,020 SQ. FT. TOTAL



**EXIST. FRONT ELEVATION**  
5,236 SQ. FT. EXISTING RESIDENCE



**RIGHT SIDE ELEVATION**  
5,236 SQ. FT. EXISTING RESIDENCE  
1,184 SQ. FT. NEW ADDITION  
1,020 SQ. FT. TOTAL

**THE EKLUND RESIDENCE**  
1620 SE WAVERLY DRIVE  
MILWAUKIE, OR. 97122

PLAN No.:  
DRAWN: TF.  
DATE: 4/20/2024  
SCALE: 1/4"=1'-0"  
FILE:

**EXTERIOR ELEVATION**

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# CONTRACTOR TO SELECT 1 OPTION

(ORIG. 2021 TABLE NUMBER)

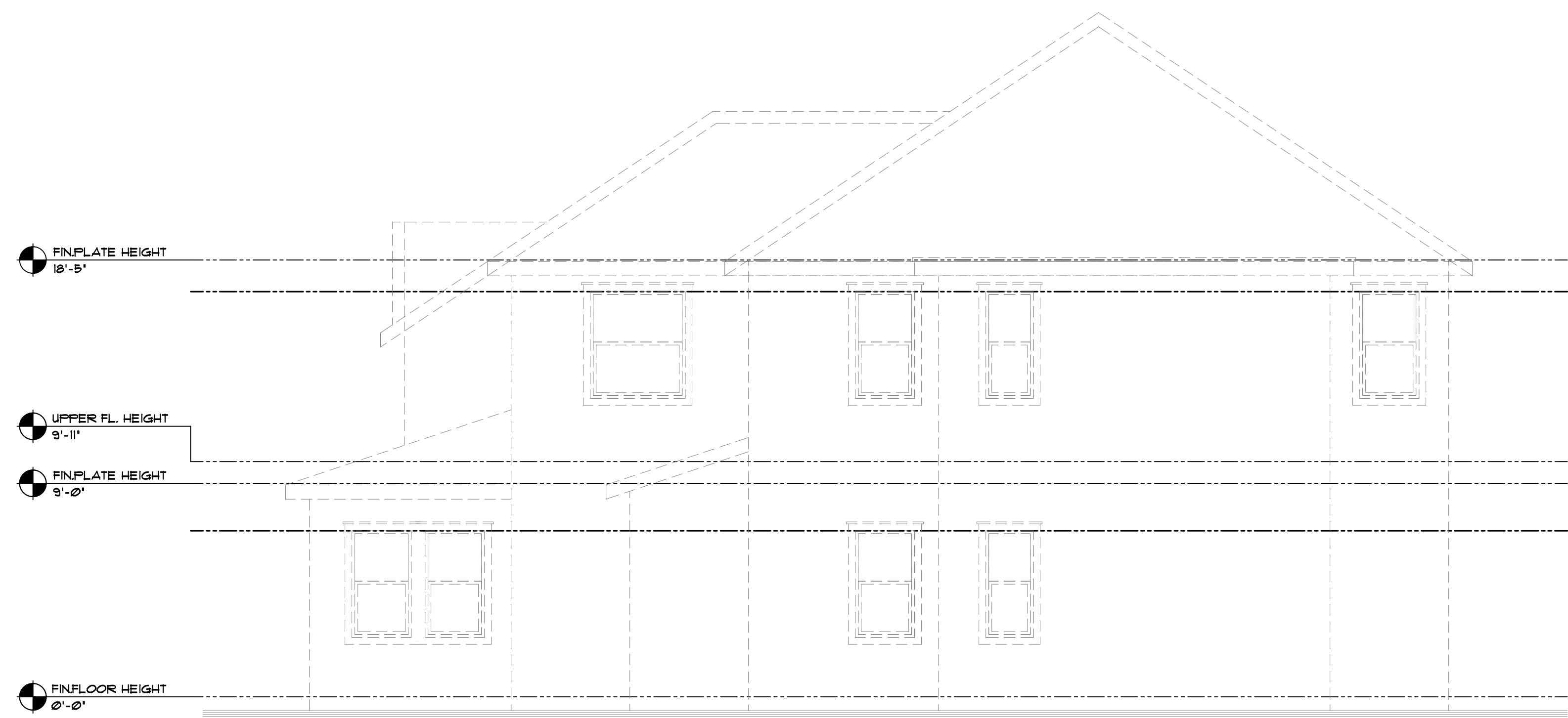
1	HIGH EFFICIENCY HVAC SYSTEM: GAS-FIRED FURNACE OR BOILER WITH MINIMUM ARIE OF 94% OR AIR-SOURCE HEAT PUMP (AHP) OF 100 TO 140 SEER COOLING OR GROUND-SOURCE HEAT PUMP COP OF 3.5, OR ENERGY STAR RATED
2	HIGH EFFICIENCY WATER HEATING SYSTEM: NATURAL GAS-PROPANE WATER HEATER WITH MIN. UEF OF 0.95 OR ELECTRIC HEAT PUMP WATER HEATER WITH MIN. COP OR NATURAL GAS-PROPANE TANKLESS/INSTANTANEOUS WATER HEATER WITH MIN. UEF AND ENERGY STAR WATER HEAT RECOVERY UNIT INSTALLED ON MIN. OF ONE BATHROOM
3	WALL INSULATION UPGRADE: EXTERIOR WALLS U-0.084/R-2 CONVENTIONAL FRAMING WITH R-9.0 CONTINUOUS INSULATION
4	ADVANCED ENVELOPE: CROSS-V-JOIST (AREA BISHOP) CEILING AND INSULATION; INSULATED CEILING U-0.071/R-4.6 AND FINISHED FLOORS U-0.071/R-3.0 OR SLAB EDGE INSULATION TO R-24.0 OR LESS (R-10 FOR 4" OR 6" OR FOR 3" OR 4" FULLY INSULATED SLAB)
5	DUCTLESS HEAT PUMP: FOR OCCUPANCY UNITS WITH ALL-ELECTRIC HEAT PROVIDE DUCTLESS HEAT PUMP OF MIN. SEER 13 IN PRIMARY ZONE REPLACES ZONAL ELECTRIC HEAT SOURCE; AND PROGRAMMABLE THERMOSTAT FOR ALL HEATERS IN BEDROOMS
6	HIGH EFFICIENCY THERMAL ENVELOPE UA: PROPOSED UA IS 8% LOWER THAN THE CODE UA
7	GLAZING AREA: GLAZING AREA, TREATED AS THE TOTAL OF FRAMED OPENINGS IS LESS THAN 2% OF CONDITIONED FLOOR AREA
8	3 ACH AIR LEAKAGE CONTROL, 4 EFFICIENT VENTILATION: ACHIEVE A MAX. OF 30 ACH50 SMOKE-HOUSE AIR LEAKAGE WHEN THIRD-PARTY TESTED AND PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM INCLUDING HEAT RECOVERY WITH A TYPICAL REVERSIBLE HEAT RECOVERY EFFICIENCY OF NOT LESS THAN 66%

**IMPORTANT DISCLOSURE PLEASE READ:**  
THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONCE WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAW TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED DESIGNS AND PLANS. FURTHERMORE, IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE HOME DESCRIBED HEREIN ON ANY PARTICULAR SITE AND WITHIN THE CONFINES OF THE GOVERNING JURISDICTION. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE PERFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

## WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	3/8x4/3 OVAL FX	2
△	3-2/8x6/8 FX, MULLED	1
△	4-2/8x6/8 MULLED FX-CBMT-CBMT-FX	4
△	2/8x6/8 FX	3
△	2/8x6/8 CBMT	4
△	3-2/8x6/8 MULLED FX-CBMT-FX	4
△	2/8x6/8 CBMT	5
△	3-2/8x6/8 MULLED FX-CBMT-FX	2
△	2-2/8x6/8 CBMT, MULLED	2
△	2/8x6/8 CBMT	1
△	2-2/8x6/8 CBMT, MULLED	1
△	2/8x6/8 FX	6
△	2/8x6/8 FX	1
△	3-2/8x6/8 FX, MULLED	1
△	2/8x6/8 FX	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNQ.



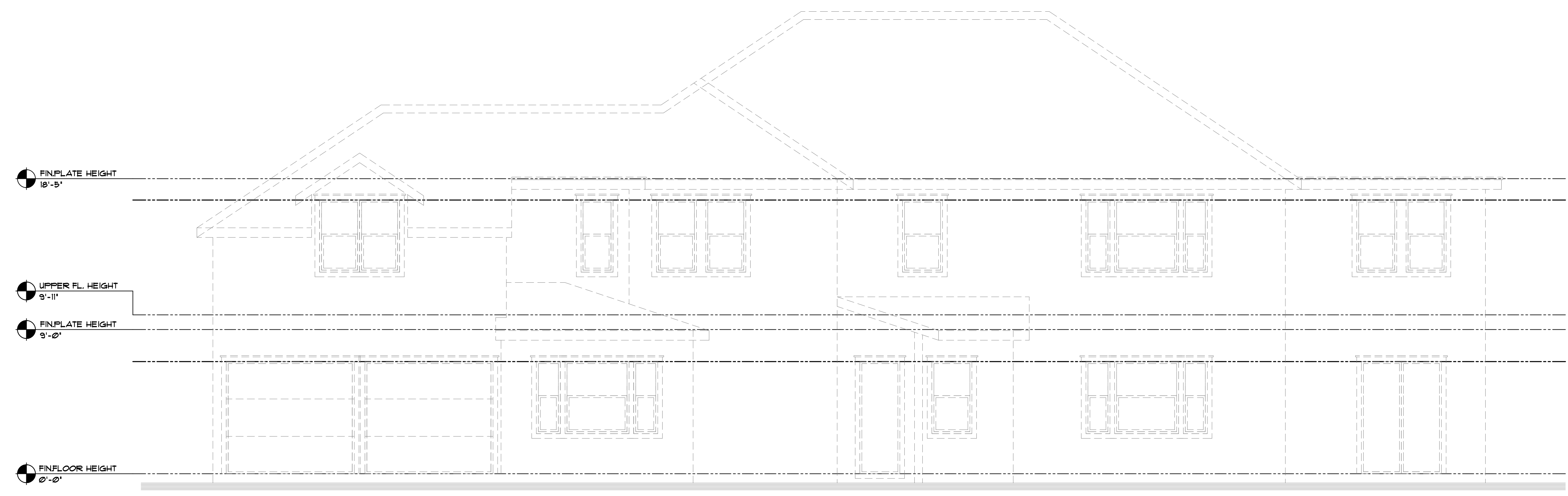
**EXIST. LEFT SIDE ELEVATION**

5,236 SQ. FT. EXISTING RESIDENCE



**REAR ELEVATION**

5,236 SQ. FT. EXISTING RESIDENCE  
1,784 SQ. FT. NEW ADDITION  
7,020 SQ. FT. TOTAL



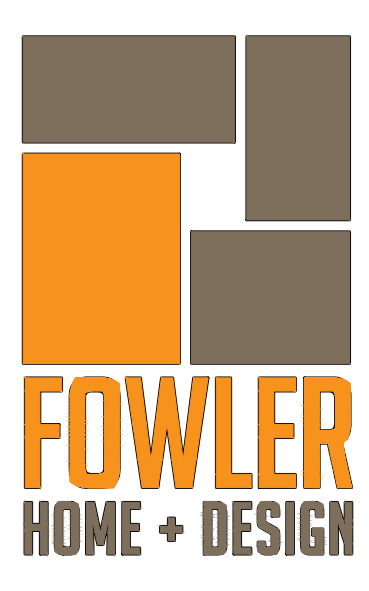
**EXIST. REAR ELEVATION**

5,236 SQ. FT. EXISTING RESIDENCE



**LEFT SIDE ELEVATION**

5,236 SQ. FT. EXISTING RESIDENCE  
1,784 SQ. FT. NEW ADDITION  
7,020 SQ. FT. TOTAL

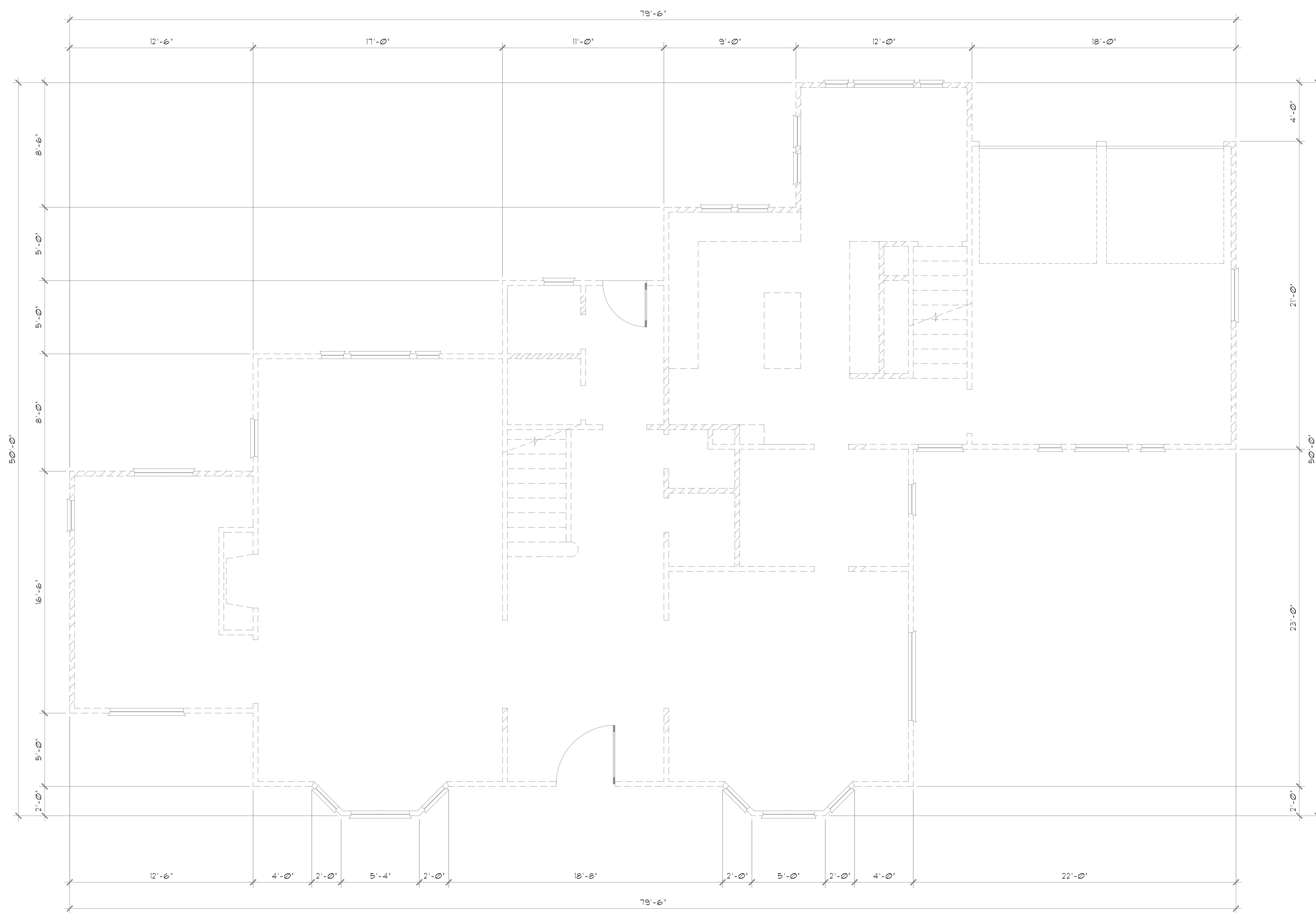


**THE EKLUND RESIDENCE**  
1620 SE WAVERLY DRIVE  
MILWAUKIE, OR 97122

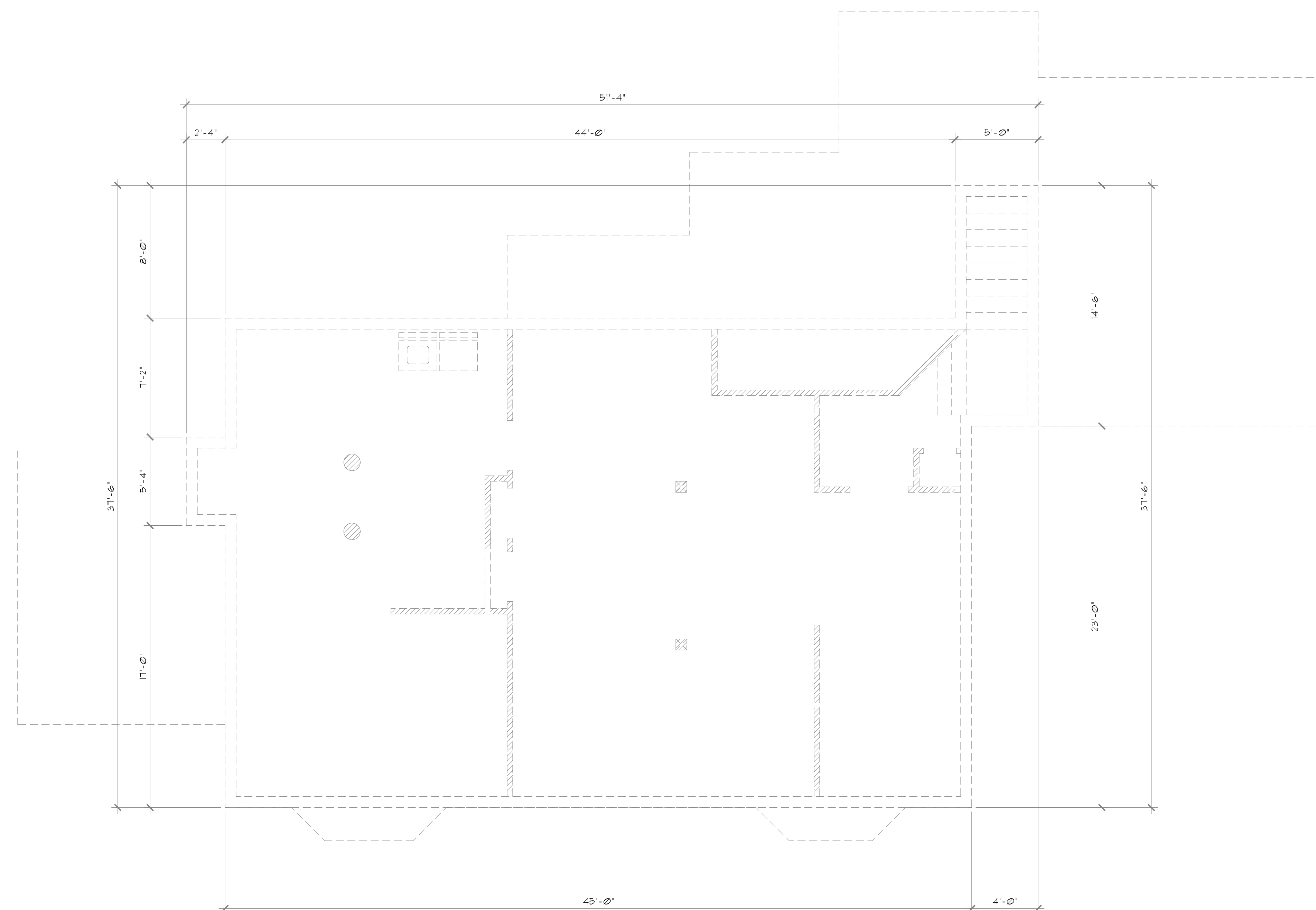
PLAN No.:  
DATE: 4/20/2024  
SCALE: 1/4"=1'-0"  
FILE:

**EXTERIOR ELEVATION**

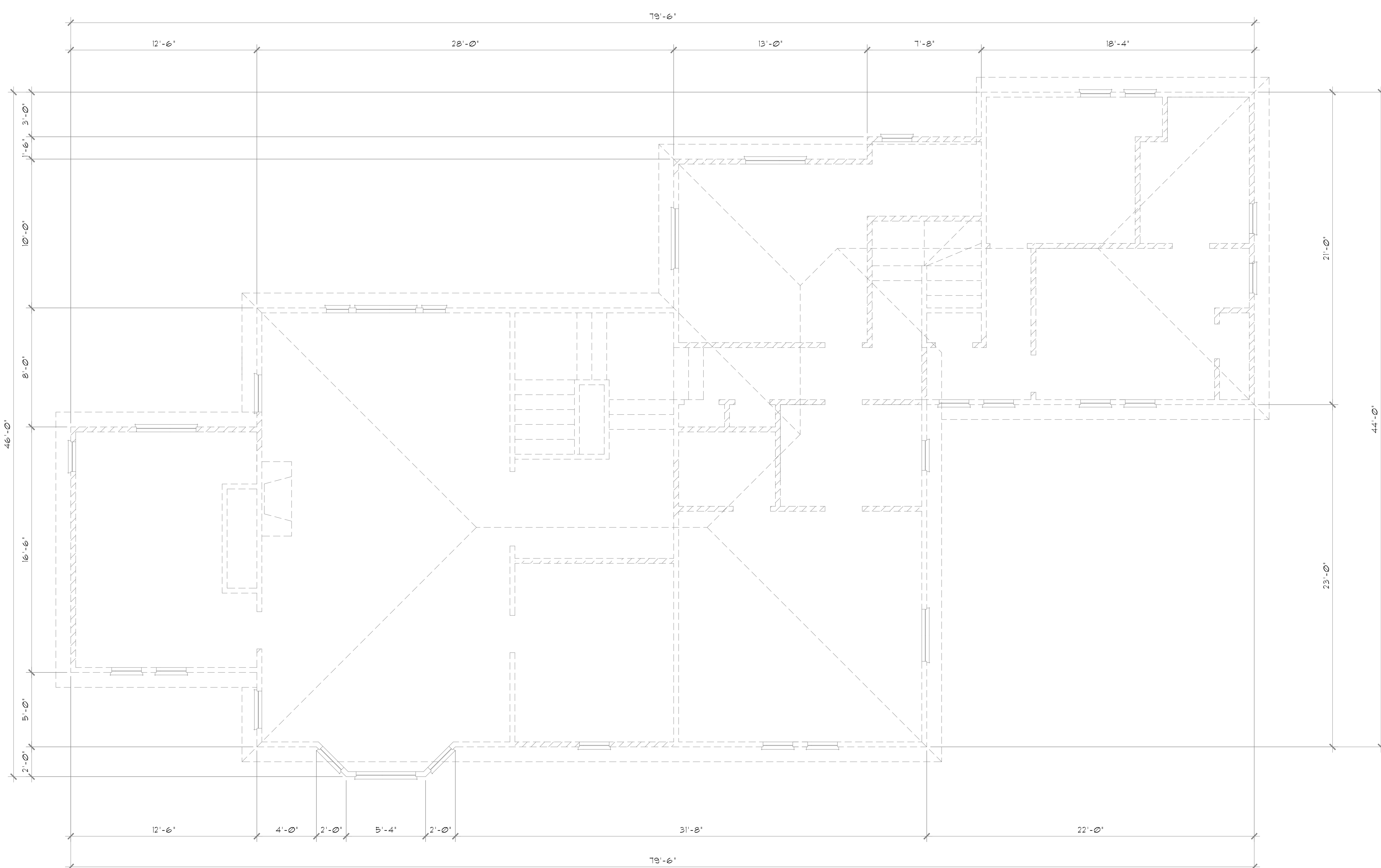
THESE PLANS AND DESIGNS ARE COPYRIGHTED UNDER FEDERAL LAW BY TROY FOWLER & FOWLER HOME DESIGN LLC 2022



**EXIST. MAIN FLOOR PLAN**  
1,956 SQ. FT. EXISTING 1/4"=1'-0"



**EXIST. LOWER FLOOR PLAN**  
1,226 SQ. FT. EXISTING 1/4"=1'-0"



**EXIST. UPPER FLOOR PLAN**  
2,054 SQ. FT. EXISTING 1/4"=1'-0"

**IMPORTANT DISCLOSURE - PLEASE READ:**

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. LICENSING REQUIREMENTS IN YOUR JURISDICTION MAY VARY FROM THESE PLANS. PLEASE VERIFY ALL DIMENSIONS AND REQUIREMENTS WITH YOUR LOCAL BUILDING DEPARTMENT BEFORE CONSTRUCTION. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAW TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED DESIGN AND PLANS. FURTHERMORE IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE HOME DESCRIBED HEREIN ON ANY PARTICULAR SITE AND WITHIN THE JURISDICTION OF THE GOVERNING AGENCIES. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

**WALL LEGEND**

	- NEW (N) 2x WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

THE EKLUND RESIDENCE  
1620 SE WAVERLY DRIVE  
MILWAUKIE, OR 97222

PLAN No: \_\_\_\_\_  
DRAWN: \_\_\_\_\_ TF  
DATE: 4/20/2024  
SCALE: 1/4"=1'-0"  
FILE: \_\_\_\_\_

EXISTING FLOOR PLANS

**FLOOR PLAN FRAMING NOTES:**

- ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE 4 X 10 DF-L NO. 2 UNLESS OTHERWISE NOTED. (UCN)
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS @ 16" O.C. AND INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" O.C. FOUNDATION FOOT WALLS SHALL BE FRAMED OF 2 X 6 STUDS.
- STANDARD STUD HEIGHT FOR UPPER FLOOR TO BE 9'-0" CEILING HEIGHT.
- STANDARD STUD HEIGHT FOR MAIN FLOOR TO BE 9'-0" CEILING HEIGHT.
- WINDOW AND DOOR HEADER HEIGHTS TO BE 8'-0" @ UPPER FLOOR AND 8'-0" @ LOWER FLOOR UNLESS OTHERWISE NOTED. DOOR OPENINGS AND OTHER OPENINGS TO BE ALLIGNED WITH WINDOW HEIGHTS UNLESS OTHERWISE NOTED.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 59# FELT MOISTURE BARRIER.
- PROVIDE POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES. OPENINGS IN FLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1/2" MIN. BEARING, U. ON.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER 2021 IBC SECTION 602.8.
- BLOCK ALL STUD WALLS AT SHEATHING SPLICES OR AS REQUIRED.
- INTERIOR PASSAGE DOORS TO HAVE A MINIMUM OF (2) 2 X TRIMMERS EACH SIDE OF DOOR AND TO BE CENTERED IN WALLS.
- ALL HOLDINGS, JOIST HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE "SIMPSON" OR EQUAL.
- ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF THE SAME DIMENSION AS THE WALL FRAMING. PLATES SHALL OVERLAP A MINIMUM OF 48" BETWEEN SPLICES WITH AT LEAST (8) 16D NAILS THROUGH BOTH PLATES OF SPLICE.
- DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IN ANY SUCH SITUATIONS ARISE.
- THIS STRUCTURE TO BE ADEQUATELY BRACED FOR WIND AND GRAVITY LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

**LUMBER SPECIES AND GRADING:**

- A. POSTS, BEAMS, HEADERS
  - B. FLOOR JOISTS, CEILING JOISTS, RAFTERS
  - C. SILL, PLATES, BLOCKING, BRIDGING
  - D. STUDS
  - E. STUDS OVER 12" HIGH
  - F. FLOOR DECKING
  - G. WALL, ROOF SHEATHING
  - H. GULI-LAM BEAMS
  - I. PARALLEL STRAND LUMBER (PSL) MATERIALS
  - J. LAMINATED VENEER LUMBER (LVL) MATERIALS
- DF-L NO. 2  
DF-L NO. 3  
DF-L STUD GRADE  
DF-L NO. 1  
DF-L UTILITY GRADE  
CDX EXT. APA RATED PLY OR OSB 2-1/4"  
FB-2400 DRY ADH. INTERIOR (EXT. ADH. AT EXT. COND.)  
FB-3000 E-1.0 FV-230  
FB-2600 E-1.8 FV-285  
UNLESS OTHERWISE NOTED.

**NAILING SCHEDULE:**

REFER TO IBC 2021 TABLE R6-03.3(1)

**WINDOW SCHEDULE**

MARK	SIZE & TYPE	QUANTITY
△	3/8" X 4/3" OVAL FX	2
△	3-2/8" X 6/8" FX MILLED	1
△	4-2/8" X 6/8" MILLED FX-CENT-CENT-FX	4
△	2/8" X 6/8" FX	3
△	2/8" X 6/8" CENT.	4
△	3-2/8" X 6/8" MILLED FX-CENT-FX	4
△	2/8" X 6/8" CENT.	5
△	3-2/8" X 6/8" MILLED FX-CENT-FX	2
△	2-2/8" X 6/8" CENT. MILLED	2
△	2/8" X 6/8" CENT.	1
△	2-2/8" X 6/8" CENT. MILLED	1
△	2/8" X 6/8" FX	6
△	2/8" X 2/8" FX	1
△	3-2/8" X 6/8" FX MILLED	1
△	2/8" X 2/8" FX	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNLESS OTHERWISE NOTED.

**IMPORTANT DISCLOSURE - PLEASE READ:**

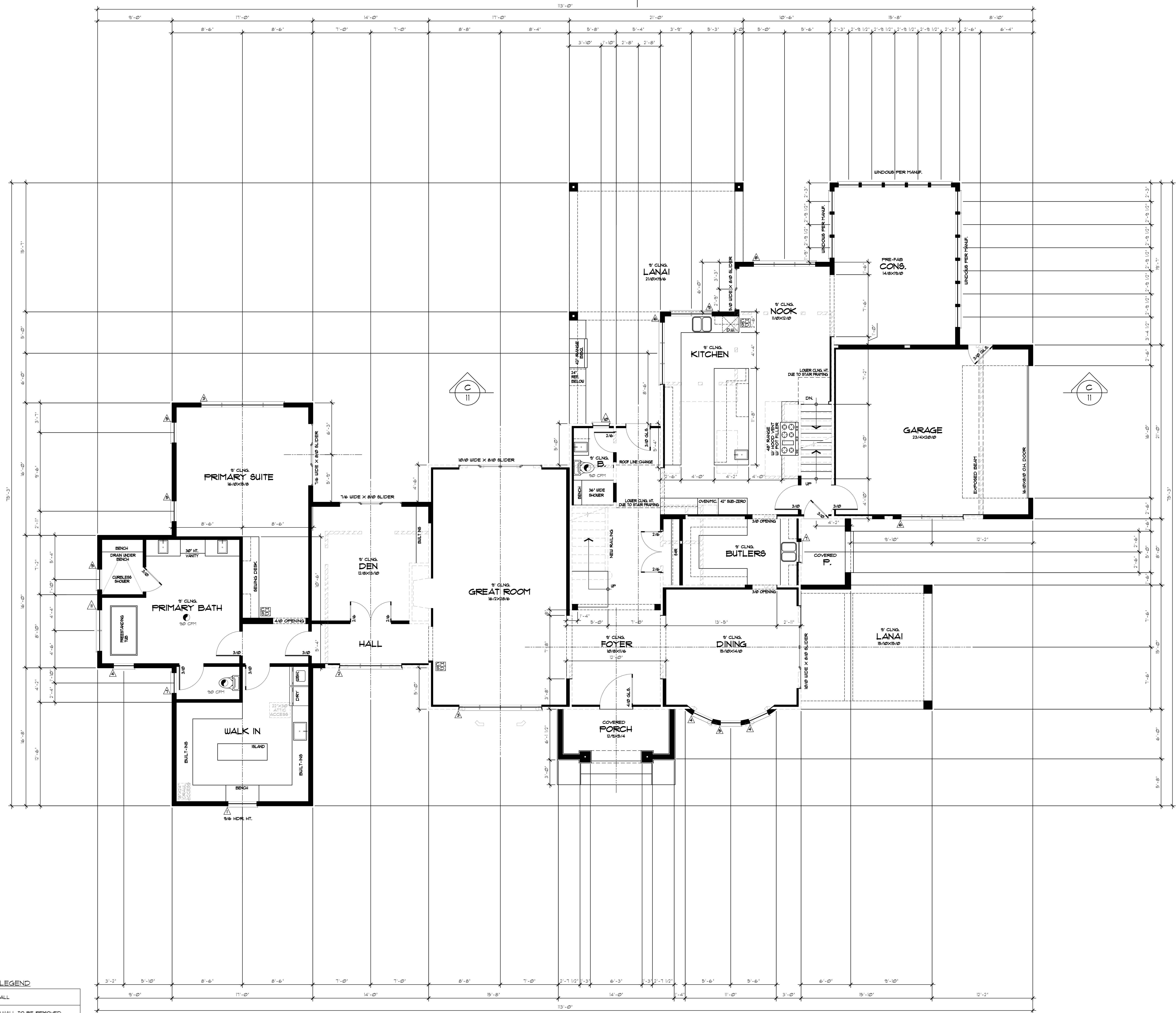
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**WALL LEGEND**

	- NEW (N) 2X WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

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**MAIN FLOOR PLAN**  
1,956 SQ. FT. EXISTING  
3,086 SQ. FT. LOWER TOTAL  
306 SQ. FT. CONSERVATORY  
1,130 SQ. FT. NEW ADDITION

1/4" = 1'-0"

**THE EKLUND RESIDENCE**  
1620 SE WAVERLY DRIVE  
MILWAUKIE, OR. 97122

PLAN No:  
DATE: 4/20/2024  
SCALE: 1/4" = 1'-0"  
FILE:

**MAIN FLOOR**

FLOOR PLAN FRAMING NOTES CONT.:

INSULATION:

- USE PATH 1 OF 2021 IRC/IECC ENERGY CODE AND THE FOLLOWING INSULATION VALUES TABLE (NR011)

ENERGY COMPLIANCE	PATH 1
WALL INSULATION	R-21/R-23
WALL INSULATION BELOW GRADE	R-15/R-21
FLAT CEILINGS	R-49
VAULTED CEILINGS	R-30
UNDERFLOORS	R-30
SLAB EDGE PERIMETER	R-15
HEATED SLAB INTERIOR	R-10
WINDOWS	U-0.27
WINDOW AREA LIMITATION	N/A
SKYLIGHTS	U-0.50
EXTERIOR DOORS	U-0.20
EXTERIOR DOORS W/ >2.5 FT. GLAZING	U-0.40
FORCED AIR DUCT	R - 8

- INSULATION:
  - R-49 ROOF (FLAT CEILING)
  - R-30 ROOF (VAULT CEILING)
  - R-30 FLOORS OVER UNHEATED SPACES
  - R-13 EXTERIOR WALLS
  - R-15/21 BASEMENT WALLS (INTERIOR OR EXTERIOR)
  - R-5 (RIGID) CONCRETE FLOOR SLAB EDGES AT PERIMETER UNDER HEATED AREAS
  - R-8 EXPOSED FURNACE DUCTS IN UNHEATED AREAS
- GLAZING/DOORS:
  - NO LIMITS WINDOW AREA LIMIT
  - U-35 ENTRY DOOR CLASS (24 SQ. FT. MAX)
  - U-54 FULL LIGHT GLASS DOOR CLASS
  - U-40 OTHER DOORS (50% MAX. GLAZING)
  - U-20 SKYLIGHT CLASS (2% MAX. OF HEATED SPACE)
  - U-60
- ALL AIR INFILTRATIONS IN THE EXTERIOR ENVELOPE SHALL BE SEALED INCLUDING WINDOW AND DOOR FRAMES, WALLS, FOUNDATIONS, VENTING AND UTILITY PENETRATIONS. ACCESS DOORS TO CRAWL SPACE AND ATTIC AREAS TO HAVE THE SAME EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.
- PROVIDE AN APPROVED INSULATION VAPOR BARRIER WITH A ONE PERM DRY CUP RATING OR LESS AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION.
- INSULATE ALL ACCESS DOOR/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 25. A SMOKE-DEVELOPED FACTOR NOT TO EXCEED 450 AND CRITICAL RADIANT FLUX NOT LESS THAN 0.02 WATTS PER SQUARE CENTIMETER.

MISCELLANEOUS:

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE WIDTH OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THAN 44 IN. ABOVE FINISHED FLOOR.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1/2" DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE PEEP HOLES # 3/4"-1/4" ABOVE FINISHED EXT. DOOR FLOOR.
- WINDOW MUST MEET THE U-VALUE OR CLASS REQUIREMENT FOR THE APPROPRIATE ENERGY PATH AND BE LABELED ACCORDINGLY. SITE BUILT WINDOWS MAY BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN 2021 IRC/IECC SEC. W114.
- WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 8 INCHES OF THE FLOOR WITHIN A 24 INCH ARCH OF ANY DOOR IN A CLOSED POSITION. GLAZING USED IN RAILINGS, GLAZING IN FIXED OR SLIDING DOORS, WHERE THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHTUBS, WHIRLPOOLS, AND/OR SHOWER.
- SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE UNLESS FLEXIGLASS. GLASS TO HAVE A MAXIMUM CLEAR SPAN OF 35 INCHES. SKYLITE FRAME IS TO BE ATTACHED TO 4 X 4 CURB AND TO BE 4 INCHES MINIMUM ABOVE ROOF PLANE. MIN 25 LBS. PSF SNOW LOAD ADDITIONAL.
- ALL TUB AND SHOWER ENCLOSURE DOORS TO BE GLAZED WITH SAFETY GLASS.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED DIRECTLY TO THE OUTSIDE VIA METAL DUCTING WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR (50 CFM MIN.). DRYER AND RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. VENTS TO BE PROVIDED WITH BACK-DRAFT DAMPERS.
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE THE IMMEDIATE VICINITY OF EACH BEDROOM AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED TO MAIN POWER SOURCE AS THE PRIMARY POWER AND BATTERY BACKUP AS SECONDARY POWER. ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL BEDROOMS.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE GFCI. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY INSULATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (IC LABEL) FOR DIRECT CONTACT WITH INSULATION.
- ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.
- USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILINGS AND UNDER STAIRS. USE 5/8" TYPE X GYPSUM BD. ON WALLS AND CEILINGS BETWEEN GARAGE AND LIVING AREAS. PROVIDE 1/2" WATERPROOF GYPSUM BD. ABOVE ALL SHOWER AND TUB-SHOWER AND TUB-SHOWER UNITS AND IN ANY WATER BASH AREAS.
- ALL FIREPLACE OPENINGS SHALL HAVE TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR VENTS WITH SCREENS AND BACK DAMPERS FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH OPEN FLAME.
- APPLIANCES PRODUCING A SPARK, GLOW OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL NOT BE INSTALLED IN A GARAGE UNLESS THE PILOTS, BURNERS, HEATING ELEMENTS OR SWITCHES ARE AT LEAST 18 INCHES ABOVE THE FLOOR.
- PROVIDE 80% MIN. EFFICIENT NATURAL GAS FURNACE WITH BACKDRAFT DAMPER AND NATURAL GAS HOT WATER HEATER WITH BACKDRAFT DAMPER. PROVIDE R-4 INSULATION AROUND HOT WATER LINES IN UNHEATED AREAS. ELEVATE FLAME IN UNITS 8" ABOVE FINISH FLOOR.
- ALL WINDOW HDRS TO BE 4 X 10 UNO.
- FRONT PORCH TO BE CONCRETE SLAB UNO.

IMPORTANT DISCLOSURE

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WALL LEGEND

	NEW (N) 2x WALL
	EXISTING (E) WALL TO BE REMOVED
	(E) WALL TO REMAIN

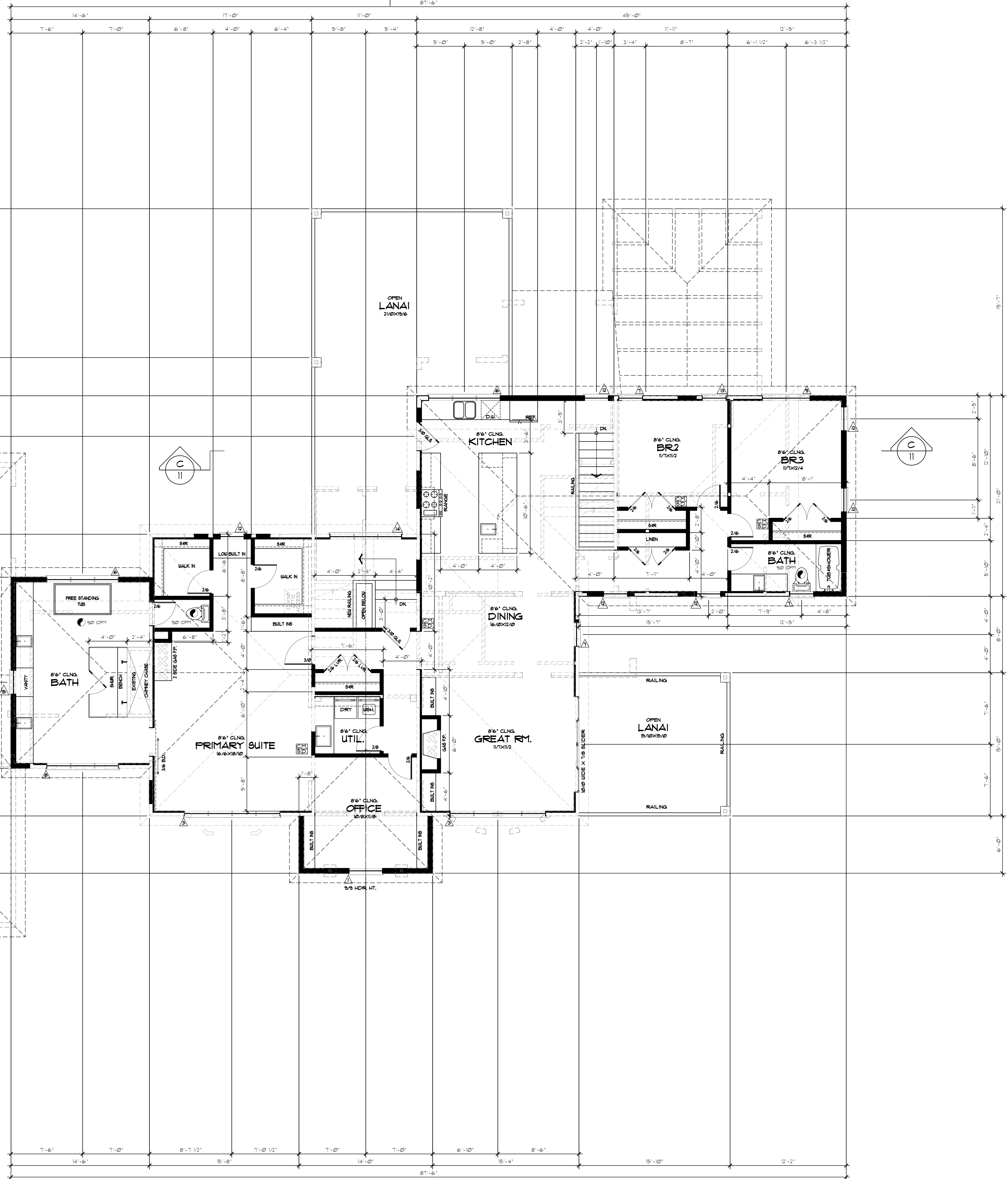
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WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	3/8x4/8 OVAL FX	2
△	3-2/8x6/8 FX MILLED	1
△	4-2/8x6/8 MILLED FX-CENT-CENT-FX	4
△	2/8x6/8 FX	3
△	2/8x6/8 CBMT.	4
△	3-2/8x6/8 MILLED FX-CENT-FX	4
△	2/8x6/8 CBMT.	5
△	3-2/8x6/8 MILLED FX-CENT-FX	2
△	2-2/8x6/8 CBMT. MILLED	2
△	2/8x6/8 CBMT.	1
△	2-2/8x6/8 CBMT. MILLED	1
△	2/8x6/8 FX	6
△	2/8x6/8 FX	1
△	3-2/8x6/8 FX MILLED	1
△	2/8x6/8 FX	1

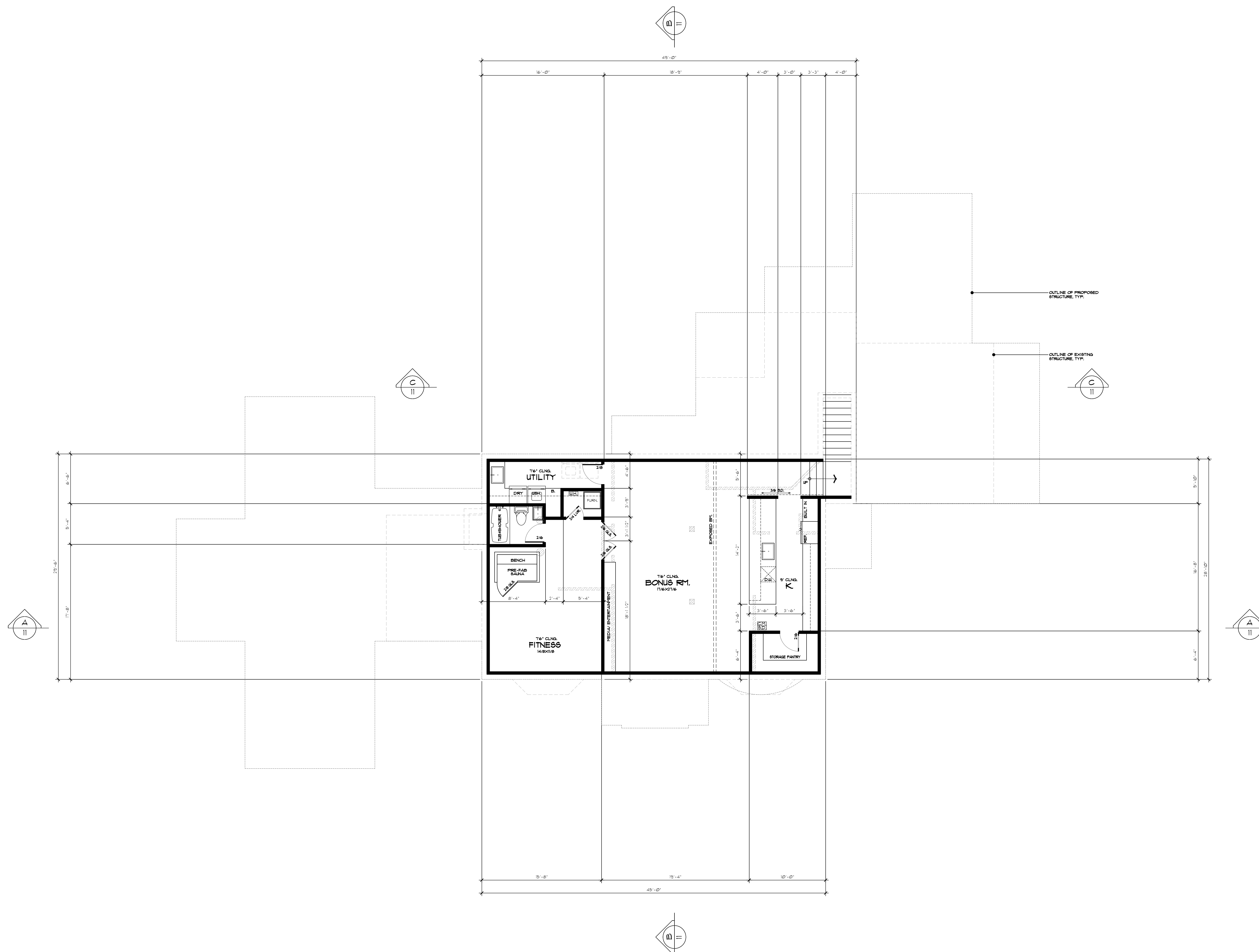
NOTE: ALL WINDOWS TO HAVE GRIDS UNO.



UPPER FLOOR PLAN

2,054 SQ. FT. EXISTING  
2,402 SQ. FT. UPPER TOTAL  
348 SQ. FT. NEW ADDITION

1/4" = 1'-0"



**THE EKLUND RESIDENCE**  
1620 SE WAVERLY DRIVE  
MILWAUKIE, OR 97122

PLAN No:  
DRAIN: TF  
DATE: 4/20/2024  
SCALE: 1/4"=1'-0"  
FILE:

**LOWER FLOOR**

6

THESE PLANS AND DESIGNS  
HEREIN ARE COPYRIGHTED  
UNDER FEDERAL LAW BY  
TROY FOWLER & FOWLER HOME  
DESIGN LLC 2024

**IMPORTANT DISCLOSURE**  
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**WALL LEGEND**

	• NEW (N) 2x WALL
	• EXISTING (E) WALL TO BE REMOVED
	• (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

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**LOWER FLOOR PLAN**

1226 SQ. FT. EXISTING

1/4"=1'-0"

**FOUNDATION NOTES:**

- FOUNDATION FOOTINGS, CONT. FOOTING UNDER PONYWALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 18" BELOW FINAL GRADE. SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
- ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
- EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
- CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY WALLED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE:
  - BASEMENT AND FOUNDATIONS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER
  - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE
  - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE
  - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER
  - PORCHES, STEPS, GARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINED.
- ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
- ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
- ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
- ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4"-#2) COMPACTED TO 95% MINIMUM.
- CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 8 FT. MAXIMUM INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. O.C. MINIMUM.
- PROVIDE (5) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 18" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 3/4" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL AREA REQUIRED).
- PROVIDE 1/2" DIA. X 10' ANCHOR BOLTS A307 GRADE # 6'-0" O.C. UNDO. ON PRESSURE TREATED DP NO. 5 MUD SILLS. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 12" MINIMUM FROM SILL SPLICES. PROVIDE FOAM INSUL. BTUN/SILL PL. 4 FOUND. WALL.
- REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLDDOWS.
- REBAR SCHEDULE:
  - REBAR TO BE LOCATED AT HOLD-DOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
  - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED:
    - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS. 4" CLEAR BOTTOM.
    - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BARS.
- REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-63 GRADE 60. WELDED WIRE MESH TO BE A-18S.
- REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
- ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM UNO.
- "SITE" ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
- EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEY WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
- GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2" SLOPE (1/8" PER FT. MIN) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10FT. O.C. EA. WAY.
- PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN 4" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS). SEE DET. B/D).
- PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLENUM. VERIFY SIZE AND PLACEMENT WITH BUILDER/ AND OR SUBCONTRACTORS PRIOR TO INSTALL.
- PROVIDE A 3" DIA. P.V.C PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/ SUBCONTRACTOR.
- PROVIDE A 4" DIA. P.V.C LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL. BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STOREY DRAIN SYSTEM.
- COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MUD SILLS. LAP SEAMS 12" MIN.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 55# ASPHALT SHINGLE.
- ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
- PROVIDE A 24" X 30" CRAWL ACCESS (18"x24" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
- FLOOR CONSTRUCTION TO BE:
  - 1 1/8" DECKING OR EQUAL ON I-JOISTS PER MANUF.
  - ON 2x6 PONYWALLS OVER 8x8 CONTINUOUS FOOTINGS

FOOTING SCHEDULE

FTNG.	LOAD LBS	FOOTING SIZE	REBAR
F1	3,300*	18"x18"x10"	(2) #4 E/W
F2	6,000*	24"x24"x10"	(2) #4 E/W
F3	9,300*	30"x30"x10"	(3) #4 E/W
F4	13,500*	36"x36"x12"	(3) #4 E/W
F5	18,300*	42"x42"x12"	(4) #4 E/W
F6	24,000*	48"x48"x12"	(4) #4 E/W
F7	28,000*	52"x52"x12"	(5) #4 E/W
F8	40,000*	64"x64"x14"	(5) #4 E/W
F9	50,000*	72"x72"x16"	(6) #4 E/W

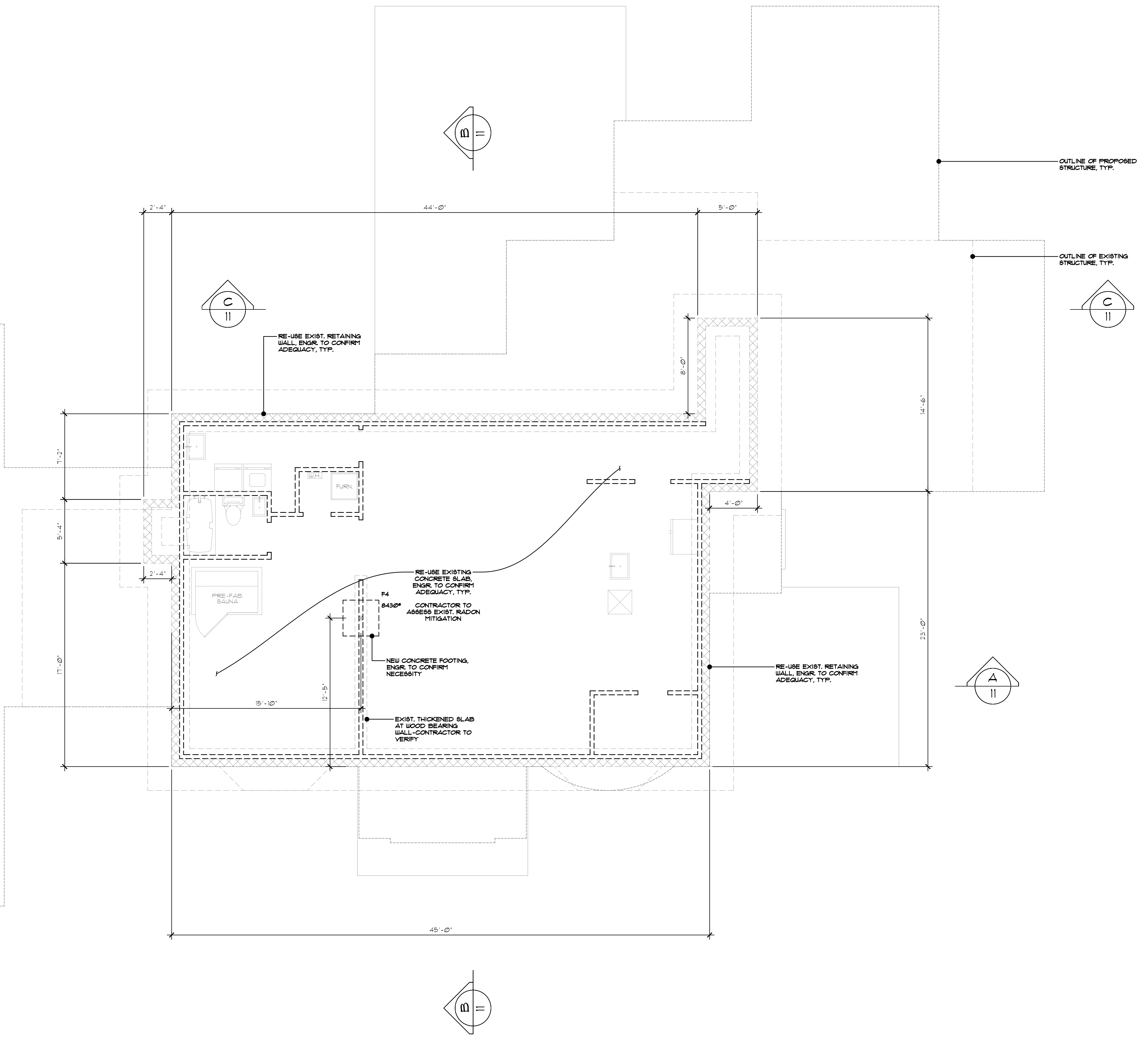
TOP OF ALL HOLD DOWN BOLTS MUST EXTEND ABOVE BRACKETS AND NUTS (APPROX. 8" ABOVE TOP OF INCH WALL)

**IMPORTANT DISCLOSURE**  
- PLEASE READ:

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONE UNIT WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER TROY FOWLER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAWS TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL FULLY PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED DESIGNS AND PLANS. WHEREAS IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE HOME DESCRIBED HEREIN, ON ANY PARTICULAR SITE AND WITHIN THE JURISDICTION OF THE GOVERNING JURISDICTION, FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



**THE EKLUND RESIDENCE**  
 1620 SE WAVERLY DRIVE  
 MILWAUKIE, OR. 97222

PLAN No.:  
 DRAIN: TF  
 DATE: 4/20/2024  
 SCALE: 1/4"=1'-0"  
 FILE:

**FOUNDATION PLAN**

THESE PLANS AND DESIGNS  
 HEREIN ARE COPYRIGHTED  
 UNDER FEDERAL LAW BY  
 TROY FOWLER & FOWLER HOME  
 DESIGN LLC 2022

**FOUNDATION NOTES:**

- FOUNDATION FOOTINGS, CONT. FOOTINGS UNDER FOOTING WALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 8" BELOW FINAL GRADE. SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
  - ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
  - EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
  - CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
  - MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
  - DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY NAILED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE
    - BASEMENT AND FOUNDATIONS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER.
    - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE.
    - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE.
    - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER.
    - PORCHES, STEPS, CARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINED.
  - ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
  - ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
  - ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
  - ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4"-#7) COMPACTED TO 95% MINIMUM.
  - CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 15 FT. MAXIMUM INTERVALS EACH WAY.
  - CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. O.C. MINIMUM.
  - PROVIDE (5) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 1/8" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 3/6" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 50 SQ. FT. OF CRAWL AREA REQUIRED).
  - PROVIDE 1/2" DIA. X 10" ANCHOR BOLTS ASSET GRADE # 6-#7 O.C. UNO. ON PRESSURE TREATED DF NO. 3 MID SILL. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 17" MINIMUM FROM SILL SPLICES. PROVIDE FOAM INSUL. STAINLESS PL. 4 FOUND. WALL.
  - REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLDINGS.
  - REBAR SCHEDULE:
    - REBAR TO BE LOCATED AT HOLDOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
    - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED.
      - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS, 4" CLEAR BOTTOM.
      - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BAR.
  - REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-65 GRADE 60. WELDED WIRE MESH TO BE A-85.
  - REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL, OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
  - REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
  - ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM UNO.
  - "STB" ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
  - EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEM WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
  - GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2% SLOPE (1/8" PER FT. MIN.) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10 FT. O.C. EA. WAY.
  - PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN A 12" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS). SEE DET. 8-D).
  - PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLEURY. VERIFY SIZE AND PLACEMENT WITH BUILDER AND/OR SUBCONTRACTORS PRIOR TO INSTALL.
  - PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/SUBCONTRACTOR.
  - PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN SYSTEM.
  - COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MID SILL. LAP SEAMS 12" MIN.
  - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
  - ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 5# ASPHALT SHINGLE.
  - ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
  - PROVIDE A 24" X 36" CRAWL ACCESS (18"X24" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
  - FOUR CONSTRUCTION TO BE:
    - 1) 1/2" DECKING OR EQUAL ON I-JOISTS PER MANUF.
    - ON 2X6 FOOTINGS OVER 8X16 CONTINUOUS FOOTINGS

**FDN VENTILATION CALCULATIONS:**

VENTILATION REQUIRED IN CRAWL SPACE AREA:	REQ. SQ. FT. X 144 SQ. IN. = 1808 X 510 TOTAL SQ. IN. REQUIRED
LOCATION:	REQ. SQ. IN. NO. OF VENTS VENT SIZE: TOTAL SQ. IN.
FDN	910 5 108 sq.in. 912

TOP OF ALL HOLD DOWN BOLTS MUST BE BENT ABOVE BARS AND NITS APPROX. 6" ABOVE TOP OF FDN WALL.

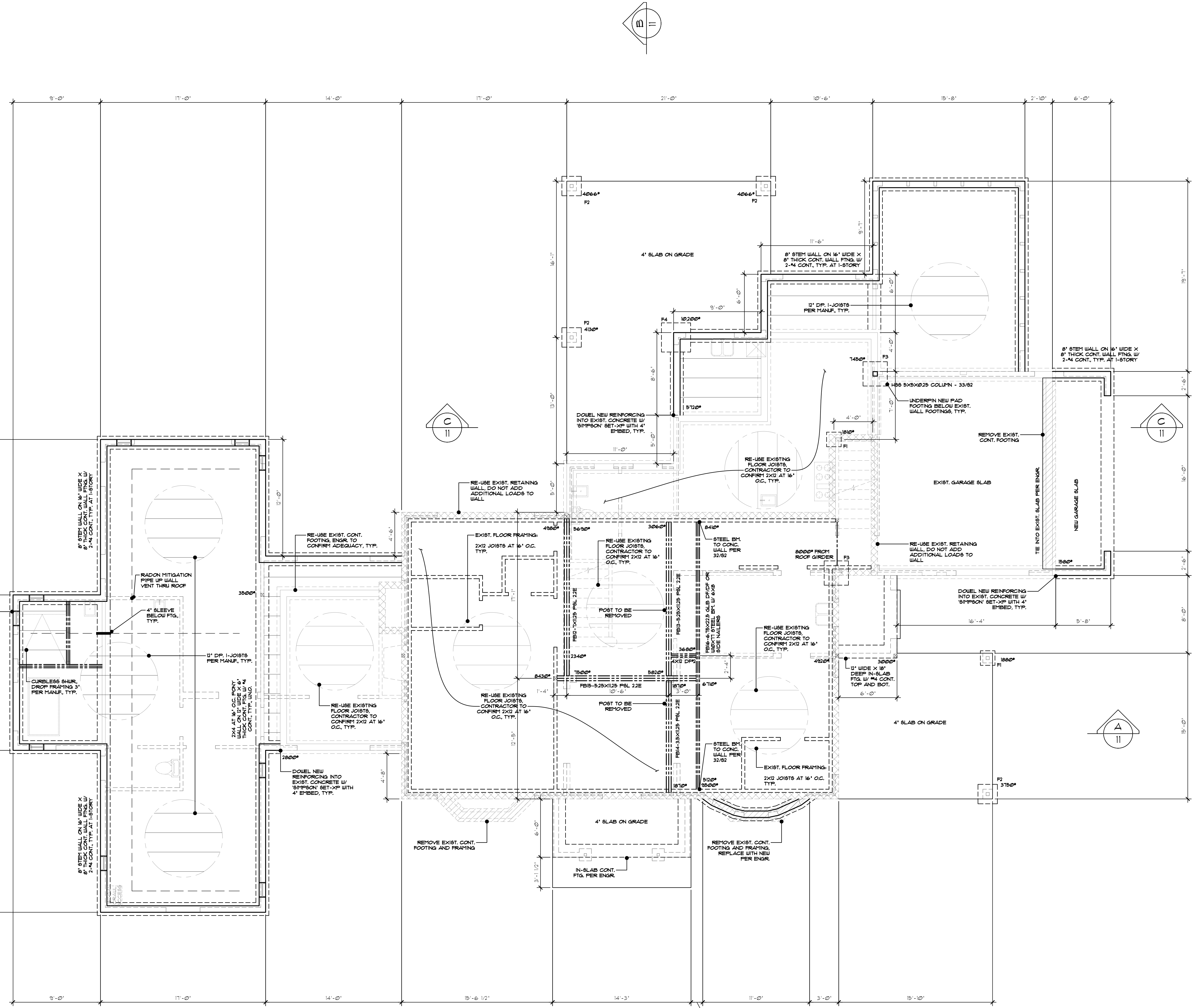
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SEE STRUC. ENGR. SHEETS

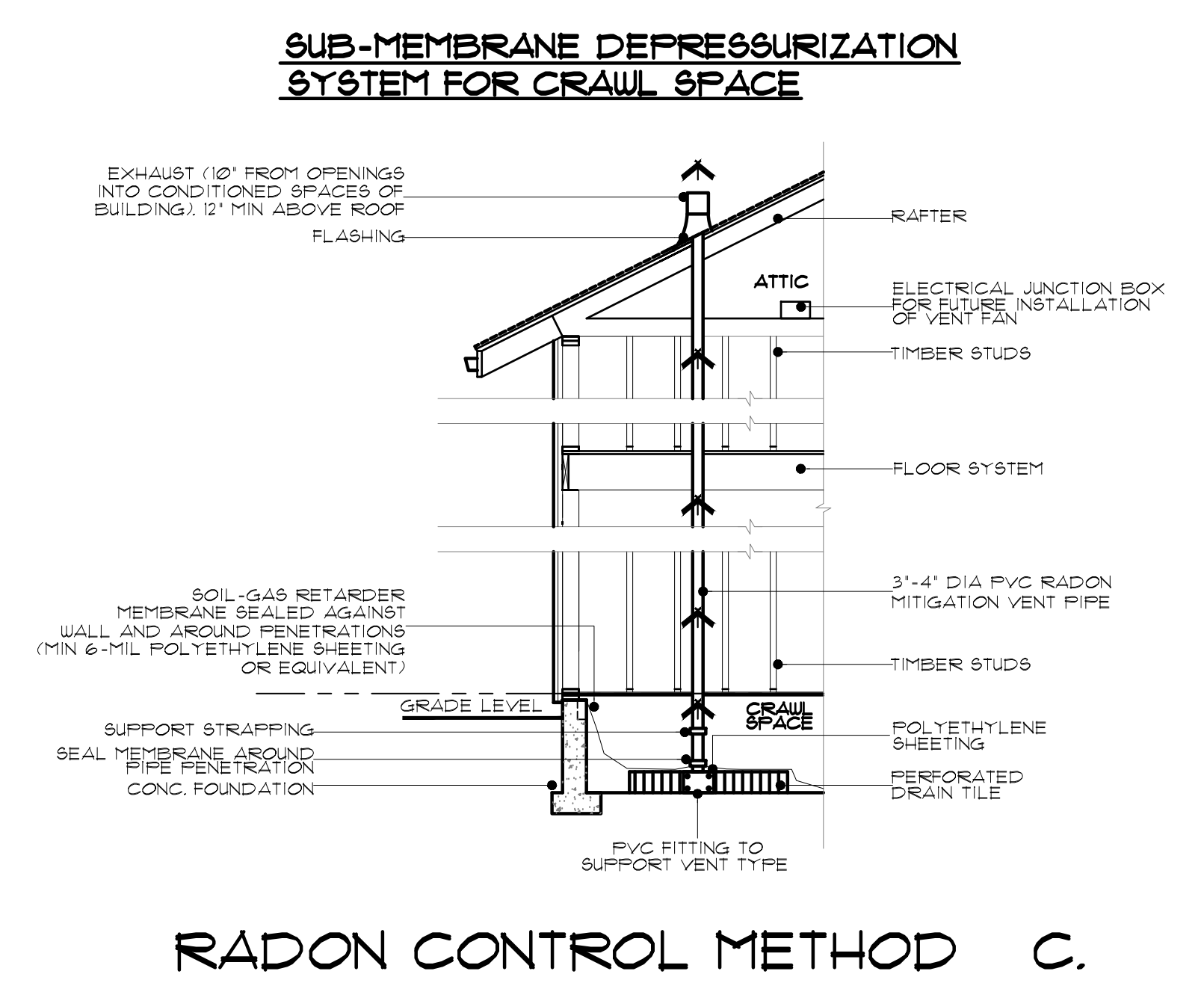
SEE JOIST ENGR. SHEETS FROM MANUF.

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



**FOOTING SCHEDULE**

FTNG.	LOAD LBS	FOOTING SIZE	REBAR
F1	3,300*	18"x18"x10"	(2) #4 E/W
F2	6,000*	24"x24"x10"	(2) #4 E/W
F3	9,300*	30"x30"x10"	(3) #4 E/W
F4	13,500*	36"x36"x12"	(3) #4 E/W
F5	18,300*	42"x42"x12"	(4) #4 E/W
F6	24,000*	48"x48"x12"	(4) #4 E/W
F7	28,000*	52"x52"x12"	(5) #4 E/W
F8	40,000*	64"x64"x14"	(5) #4 E/W
F9	50,000*	72"x72"x16"	(6) #4 E/W



**MAIN FLOOR FRAMING & FDN PLAN**  
1/4" = 1'-0"






**RADON CONTROL METHOD C.**

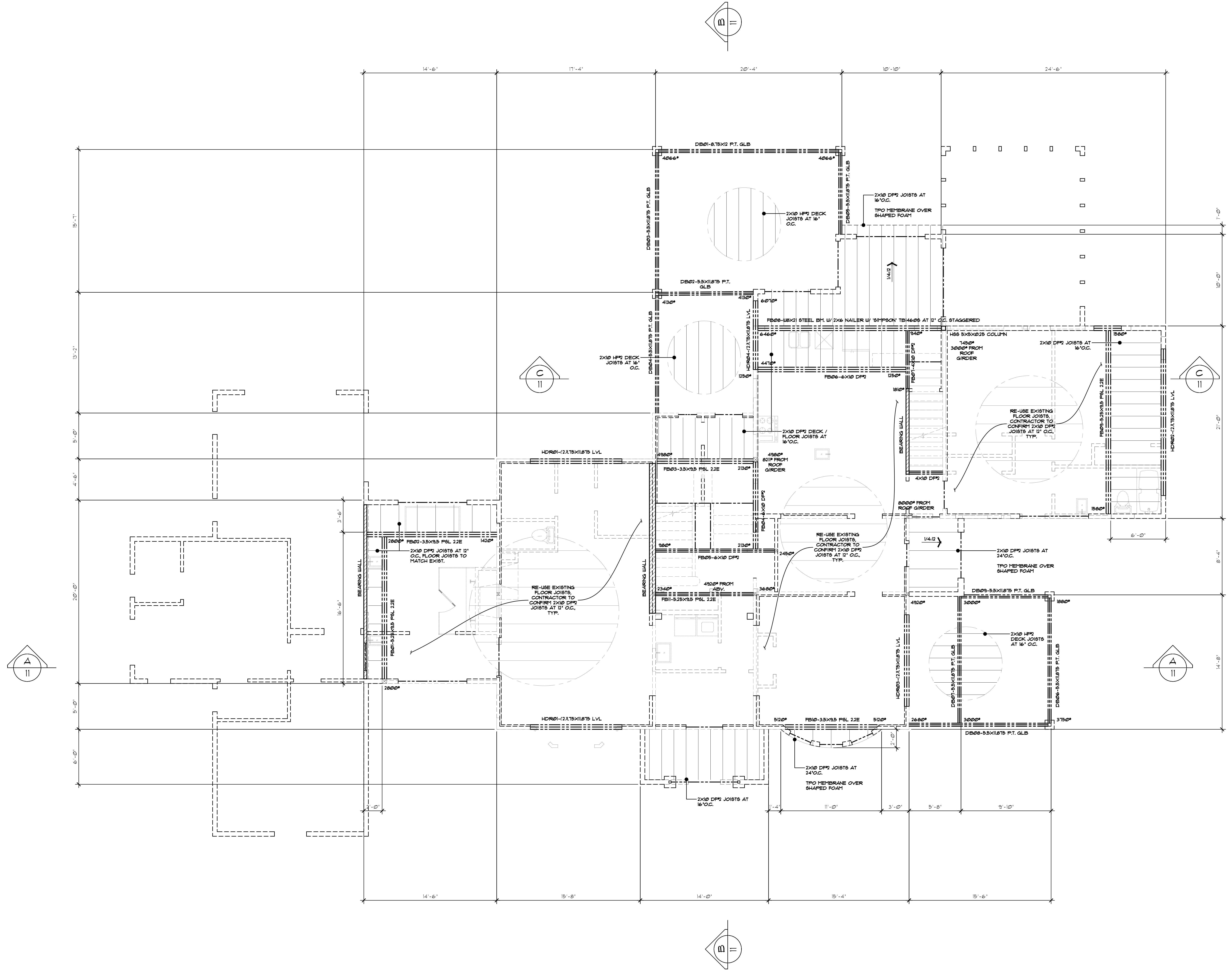


**FLOOR FRAMING NOTES:**

- SEE FLOOR JOIST OR TRUSS MANUF. SHEETS.
- FLOOR JOIST SPANS ARE BASED ON A 40" LL + 1" D.L. + 55" TL DEFLECTION LIMITED
- PROVIDE BLOCK OUTS FOR DOWN DRAFT COOK TOPS, DRYER VENTS, HEAT FLUES, AND ACCESSES. VERIFY SIZE AND PLACEMENT WITH BUILDER/SUBCONTRACTORS PRIOR TO INSTALL.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- ALL GIRDERS IN CONCRETE BEAM PROCKETS TO HAVE A 1" AIR SPACE AT SIDES AND ENDS WITH A 3" MIN. BEARING ON CONCRETE PLACED ON A 55# FELT MOISTURE BARRIER.
- ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE 'SIMPSON' OR EQUAL.
- REFER TO BOISE CASCADE TECHNICAL SUPPORT FOR BEAMS + HEADER HANGERS.
- PROVIDE SOLID BLOCKING UNDER ALL UPPER LEVEL BEARING WALLS OR AS SHOWN ON PLAN.
- PROVIDE A CONTINUOUS RIM JOIST AROUND PERIMETER OF EXTERIOR WALLS. RIM JOIST TO BE OF THE SAME SIZE AND MATERIAL TYPE AS FLOOR JOISTS UNLESS OTHERWISE NOTED. FASTEN RIM JOISTS TO WALL BELOW WITH AT LEAST 16D TOE-NAILS AT 8" O.C.
- PROVIDE 1 1/2" T + G CDX (APA 3216) PLYWOOD OR APPROVED EQUAL SUB-FLOOR SHEATHING. GLUE AND FASTEN SHEATHING WITH 10D COMMON NAILS AT 6" O.C. AT ALL EDGES AND 10D COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
- SUB-FLOOR SHEATHING TO EXTEND OUTWARD TO ALL PERIMETER EXTERIOR WALLS BELOW.
- VERIFY LOCATION OF ALL PLUMBING DRAINS AND OFFSET FLOOR JOISTS UP TO 3" O.C. MAXIMUM TO AVOID NOTCHING AND CUTTING OF JOISTS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1-1/2" MIN. BEARING.
- DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF QUESTIONS ARISE.
- PROVIDE DOUBLE RIM JOISTS AT ALL EXTERIOR WALLS PARALLEL TO JOISTS AND AS SHOWN ON PLAN.
- LAP FLOOR JOISTS A MINIMUM OF 6" EACH WAY AT ALL INTERIOR BEARING MEMBERS. NAIL LAPS WITH (3) 16D AND TO BEARING MEMBER WITH (3) 16D.
- JOISTS SHALL BE SUPPORTED LATERALLY BY BLOCKING OR BRIDGING AT JOIST MID-SPAN AT INTERVALS NOT EXCEEDING 10 FEET.

**SYMBOLS LEGEND:**

-  DENOTES (2) CRIPPLE STUDS (2x WIDTH OF WALL) UNO.
-  BEAM SCHEDULE CALLOUT.
-  BEARING WALL DETAIL.
-  DETAIL CALLOUT OVER SHEET 1.
-  4X10 HEADER (UNO).



**IMPORTANT DISCLOSURE - PLEASE READ:**

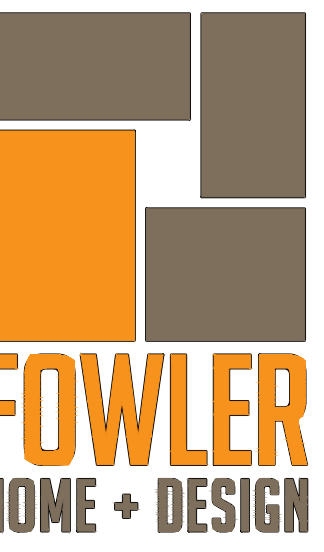
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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

**UPPER FLOOR FRAMING PLAN**

1/4" = 1'-0"



**THE EKLUND RESIDENCE**  
 1620 SE WAVERLY DRIVE  
 MILWAUKIE, OR. 97122

PLAN No:  
 DRAWN: TF  
 DATE: 4/20/2024  
 SCALE: 1/4"=1'-0"  
 FILE:

UPPER FL.  
 FRAMING  
 PLAN

9

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 DESIGN LLC 2022

**ROOF FRAMING NOTES:**

1. ROOFING MATERIAL TO BE 1/2" STANDING SEAM METAL ROOF AND ARCHITECTURAL COMPOSITION ROOFING WITH RAIN AND ICE SHIELD NAILING PER MANUFACTURED INSTRUCTIONS FOR AN 80 MPH WIND AREA.
2. ROOF PITCH AS SHOWN ON PLAN.
3. ROOF DESIGN TO BE MANUFACTURED ROOF TRUSSES @ 24" O.C. UNO. MANUFACTURER TO SUPPLY DESIGN ENGINEERING SPECIFICATIONS AND LAYOUT.
4. MANUFACTURED TRUSSES SHALL BE LATERALLY BRACED ACCORDING TO APPROPRIATE MANUFACTURER'S ENGINEERED DESIGN.
5. TRUSS MEMBERS SHALL NOT BE NOTCHED, BORED, DRILLED THROUGH OR ALTERED UNLESS DESIGNED BY AND SHOWN ON MANUFACTURER'S SPECIFICATIONS.
6. ALL RAFTERS/CEILING JOISTS TO BE 2 X DF-L 9 OR BETTER AS PER TABLE NOTED BELOW AND PER ROOF FRAMING PLAN. SPAN DISTANCE BASED ON SIMPLE UNIFORM LOADING AND PER O.R.S.C. 2021 TABLES 807.4(2) & 807.3(3).
7. ALL HIP, VALLEYS AND RIDGES TO BE NOT LESS IN DEPTH THAN THE CONNECTION END OF THE RAFTER UNO.
8. ALL FLANT-ON VALLEYS TO BE 2 X 10 WITH (2) 1/2" @ EACH RAFTER/TRUSS.
9. ALL EAVE OVERHANGS TO BE CLOSED TYPE AT 24". ALL CORNICE TO BE 12" UNO.
10. EAVES TO BE OPEN TYPE BOFFITS WITH A 3" K' GALVANIZED FACIA GUTTER ON A 2 X 10 FACIA BO UNO AND 3" GALVANIZED DOWNSPOUTS (D6) AS SHOWN ON PLAN.
11. ALL BARGE RAFTERS TO BE 2 X 10 WITH A 1 X 3 BRICK MOLD UNO.
12. ALL RAFTER HANGERS SHALL BE OF SIMPSON L55U OR LUS TYPE UNO.
13. PROVIDE (2) 61 SQ. IN. SCREENED ATTIC AIR VENTS AT RIDGE WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED AS SHOWN ON PLAN. PROVIDE (63) 20 SQ. IN. 7" X 10" SCREENED AIR VENTS AT EAVES WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED. A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 100 SQ. FT. OF ATTIC SPACE AREA REQUIRED. PROVIDE 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES. REFER TO ATTIC VENTILATION CALCULATION TABLE.
15. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER/TRUSS BAY AT VAULTED CEILING AREAS. INSTALL INSULATION Baffles AT EACH EAVE VENT BETWEEN BAYS. Baffles SHALL BE MADE RIGID HEATHER RESISTANT MATERIAL AND MAINTAIN 1" CLEAR AIR SPACE. VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE PLATES.
16. ROOF DIAPHRAGM TO BE CONSTRUCTED WITH 5/8" EXPOSURE (C-D (APA 2410 RATED) PLYWOOD OR 1/2" 2-7/8" OR 3/4" 3-058 OR BETTER SHEATHING. LONG DIMENSION SHALL BE PERPENDICULAR AND END JOINTS SHALL BE STAGGERED. FASTEN SHEATHING WITH 80 COMMON NAILS AT 6" O.C. AT GABLE ENDS AND ALL EDGES AND 80 COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
17. DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF ANY QUESTIONS ARISE.
18. PROVIDE A SIMPSON 14-25' HURRICANE CLIP AT EACH RAFTER CONNECTION TO EXTERIOR WALL TOP PLATES.
19. ATTICS WITH A CLEAR HEIGHT OF 30 INCHES OR MORE MUST BE PROVIDED WITH AN ACCESS. THE ACCESS OPENING SHALL 22" X 30" MINIMUM. OPENING TO HAVE 30" MINIMUM CLEARANCE FROM TOP OF OPENING TO BOTTOM OF ROOF ALL AROUND.
20. FLASHING SHALL BE INSTALLED AT JUNCTIONS OF CHIMNEYS AND ROOFS, IN ROOF VALLEYS AND AROUND ALL ROOF OPENINGS.
21. PROVIDE 4 X 4 OR (2) 2 X 4'S LAMINATED WITH 1/2" O.C. KING POSTS (KP) WHERE SHOWN ON PLAN.
22. PROVIDE PURLIN WALLS WHERE SHOWN ON ROOF PLAN. USE 2 X 4'S @ 24" O.C. AND/OR LINED-UP UNDER EACH RAFTER. EXTEND PURLIN WALL DOWN TO BEARING MEMBER BELOW.
23. ALL RAFTERS TO BE NOTCHED (SEAT CUT) TO PROVIDE FULL BEARING AT SUPPORT MEMBERS.
24. ALL UNDOU HDRS TO BE 4 X 10 UNO.

**ATTIC VENTILATION CALCULATIONS:**

VENTILATION REQUIRED IN ATTIC AREA: 3438 SQ. FT. X 144 SQ. IN. = 1/16" = 3358 TOTAL SQ. IN. REQUIRED				
LOCATION:	REQ. SQ. IN.	NO. OF VENTS:	VENT SIZE:	TOTAL SQ. IN.
AT RIDGE	1675	28	61 sq.in.	1708
AT EAVES	1675	84	20 sq.in.	1680
<b>TOTAL:</b>	<b>3358</b>	<b>112</b>	<b>81 sq.in.</b>	<b>3388</b>

**SYMBOLS LEGEND:**

- DENOTES (2) CRIPPLE STUDS (1x WIDTH OF WALL) UNO. 3-STUD ASSEMBLY MAY BE USED IN LIEU OF 4x4 POST. 4-STUD ASSEMBLY MAY BE USED IN LIEU OF 6x6 POST.
- BEAM SCHEDULE CALLOUT.
- BEARING WALL DETAIL.
- HOUSE WIRED SMOKE DETECTOR.
- FLOOR FRAMING DETAIL.
- DOWNSPOUT TO RAINDRAIN BELOW.
- INDICATES ROOF FRAMED OVER ROOF BELOW. USE 2x8 RAFTERS @ 24" O.C. W/ 2x10 RIDGES. 1-2x10 VALLEY RAFTERS LAID FLAT ON TRUSSES BELOW.
- 4x4 KING POST (KP) FROM HIP VALLEY AND/OR RIDGE TO BEARING MEMBER BELOW. REFER TO DETAIL.
- DETAIL CALLOUT OVER SHEET #.
- 4x10 HEADER (UNO).

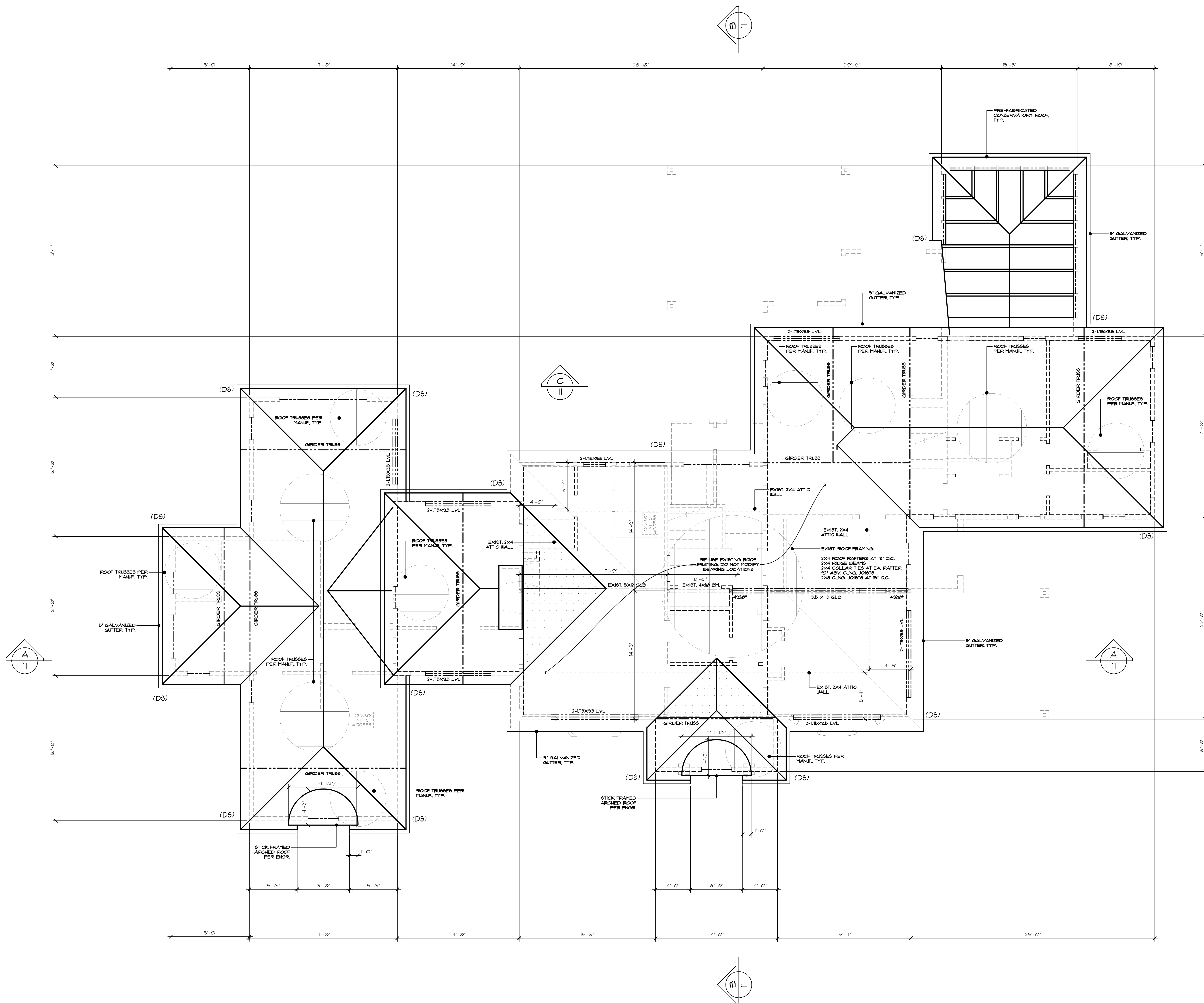
**IMPORTANT DISCLOSURE - PLEASE READ:**

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONE WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER TROY FOWLER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAWS TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL FULLY PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED DESIGN AND PLANS. FURTHERMORE IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT THE HOME DESCRIBED HEREIN ON ANY PARTICULAR SITE AND WITHIN THE CONFINES OF THE GOVERNING JURISDICTION. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

SEE STRUC. ENGR. SHEETS

SEE TRUSS ENGR. SHEETS FROM MANUF.

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



**ROOF FRAMING PLAN**

1/4" = 1'-0"

ALL ROOF SLOPES TO BE 8:12 UNO.  
ALL EAVES TO BE 1'-0" UNO.

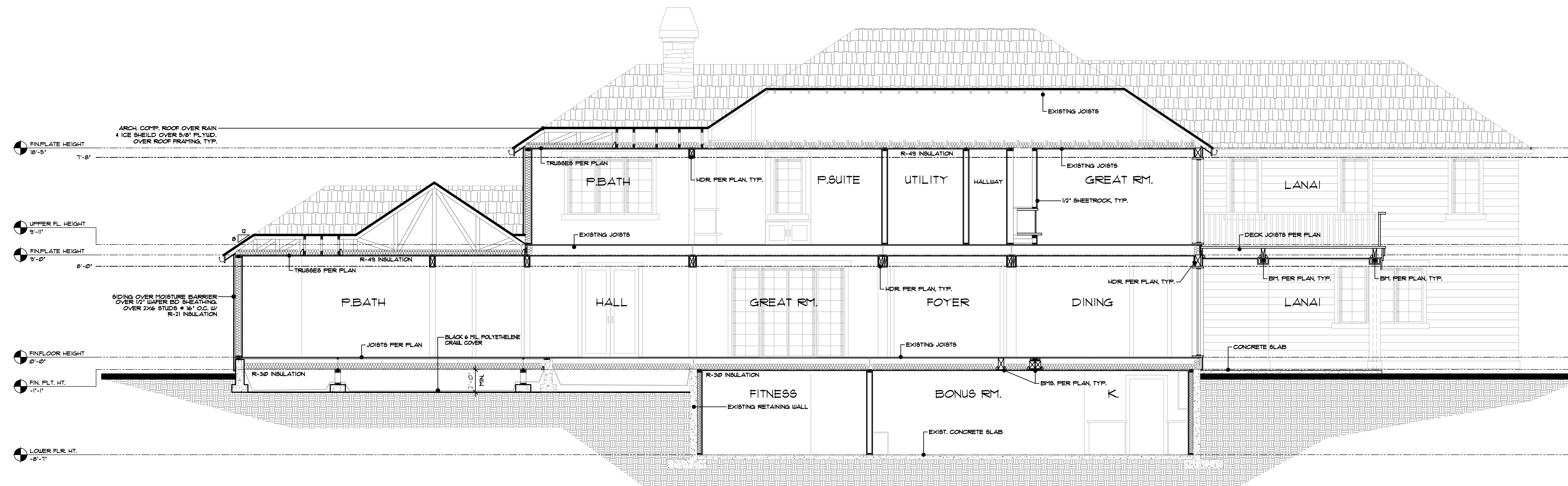
THE EKLUND RESIDENCE  
1620 SE WAVERLY DRIVE  
MILWAUKIE, OR. 97122

PLAN No.:  
DRAWN: TF  
DATE: 4/20/2024  
SCALE: 1/4"=1'-0"  
FILE:

ROOF FRAMING PLAN

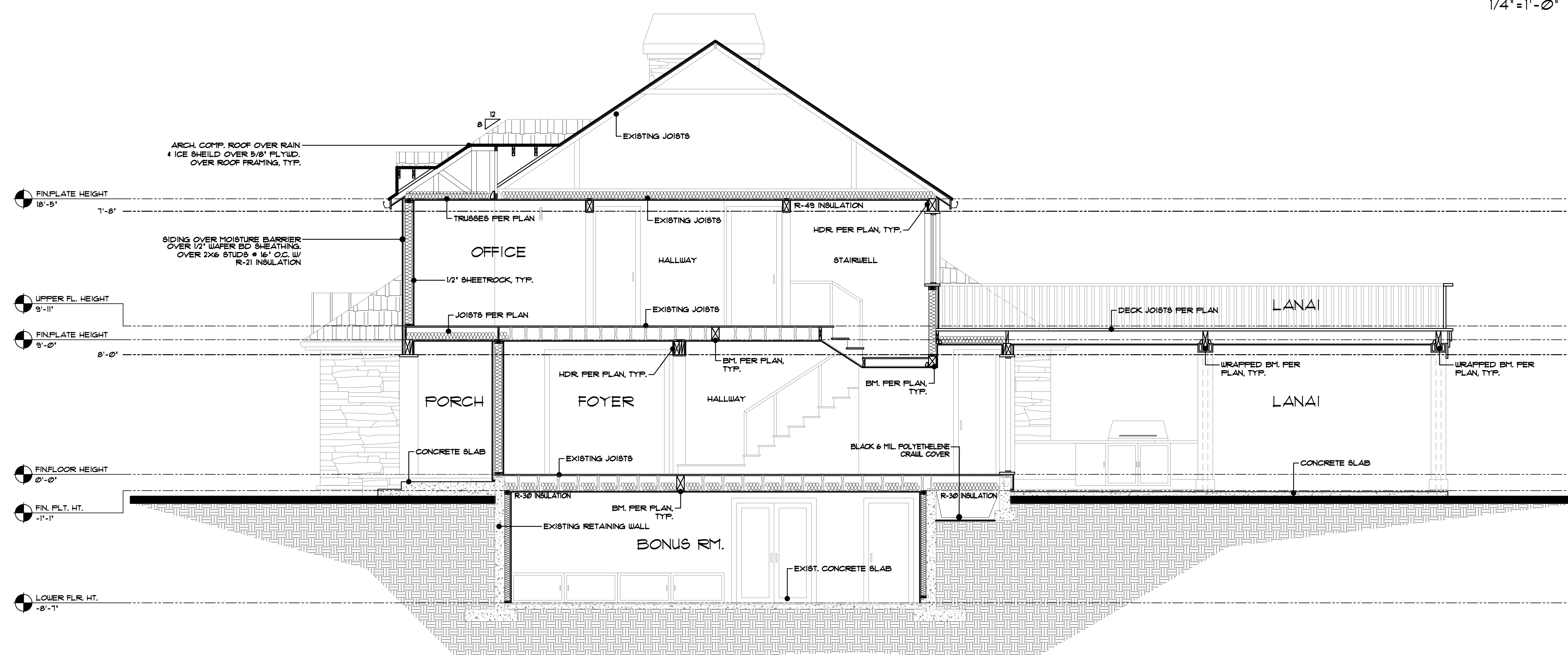
10

THESE PLANS AND DESIGNS ARE HEREIN COPYRIGHTED UNDER FEDERAL LAW BY TROY FOWLER & FOWLER HOME DESIGN LLC 2022



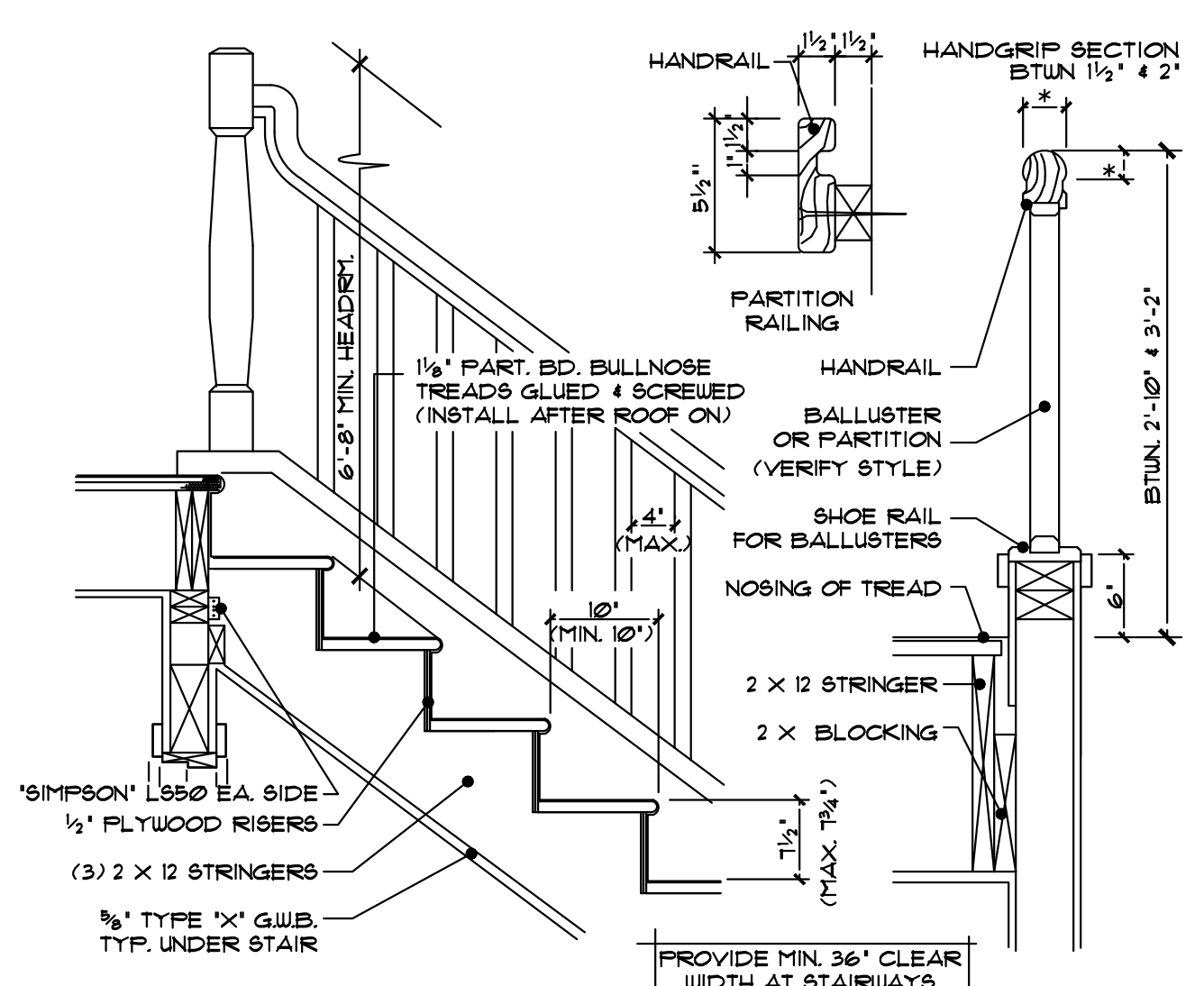
CROSS SECTION A.

1/4" = 1'-0"

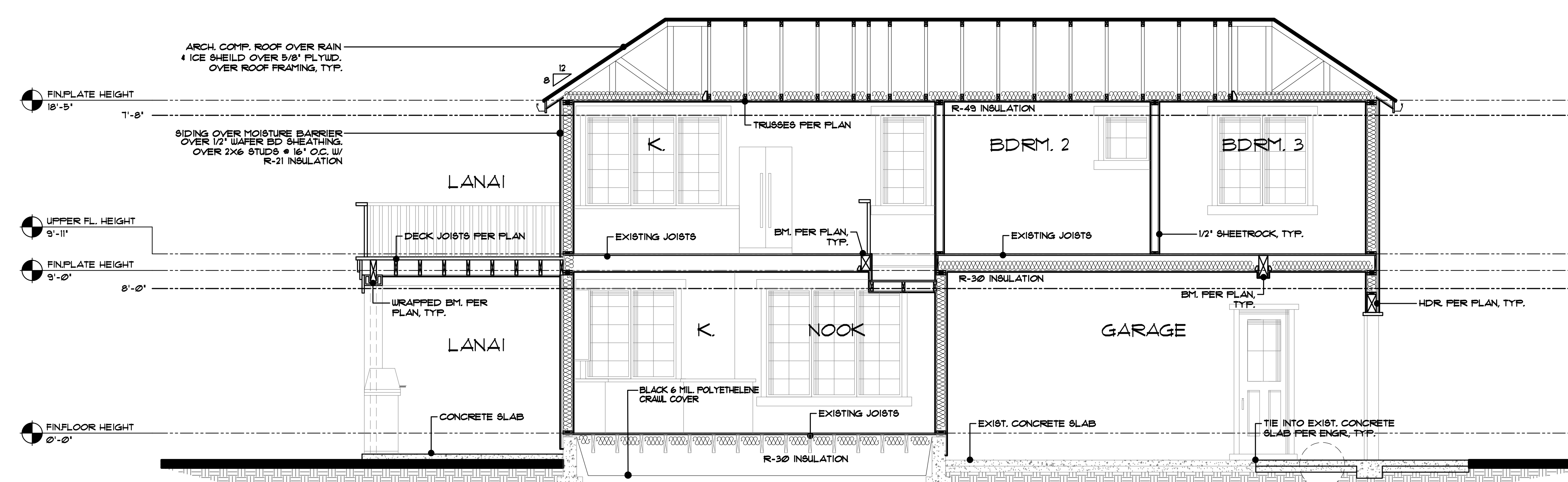


CROSS SECTION B.

1/4" = 1'-0"



STAIR DETAIL  
SCALE : N.T.S.



CROSS SECTION C.

1/4" = 1'-0"

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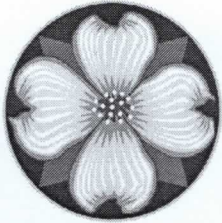
SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

THE EKLUND RESIDENCE  
1620 SE WAVERLY DRIVE  
MILWAUKIE, OR. 97122

PLAN No:  
DRAWN: TF.  
DATE: 4/20/2014  
SCALE: 1/4"=1'-0"  
FILE:

CROSS SECTIONS



## MILWAUKIE PLANNING

10501 SE Main St.  
Milwaukie OR 97222  
503-786-7630  
planning@milwaukieoregon.gov

# Submittal Requirements

For all Land Use Applications  
(except Annexations and Development Review)

All land use applications must be accompanied by a signed copy of this form (see reverse for signature block) and the information listed below. The information submitted must be sufficiently detailed and specific to the proposal to allow for adequate review. Failure to submit this information may result in the application being deemed incomplete per the Milwaukie Municipal Code (MMC) and Oregon Revised Statutes.

Contact Milwaukie Planning staff at 503-786-7630 or [planning@milwaukieoregon.gov](mailto:planning@milwaukieoregon.gov) for assistance with Milwaukie's land use application requirements.

1. **All required land use application forms and fees**, including any deposits.

*Applications without the required application forms and fees will not be accepted.*

2. **Proof of ownership or eligibility to initiate application** per MMC Subsection 19.1001.6.A.

*Where written authorization is required, applications without written authorization will not be accepted.*

3. **Detailed and comprehensive description** of all existing and proposed uses and structures, including a summary of all information contained in any site plans.

*Depending upon the development being proposed, the description may need to include both a written and graphic component such as elevation drawings, 3-D models, photo simulations, etc. Where subjective aspects of the height and mass of the proposed development will be evaluated at a public hearing, temporary onsite "story pole" installations, and photographic representations thereof, may be required at the time of application submittal or prior to the public hearing.*

4. **Detailed statement** that demonstrates how the proposal meets the following:

A. All applicable development standards (listed below):

1. **Base zone standards** in Chapter 19.300.
2. **Overlay zone standards** in Chapter 19.400.
3. **Supplementary development regulations** in Chapter 19.500.
4. **Off-street parking and loading standards and requirements** in Chapter 19.600.
5. **Public facility standards and requirements**, including any required street improvements, in Chapter 19.700.

B. All applicable application-specific approval criteria (check with staff).

C. Compliance with the Tree Code (MMC 16.32): [www.milwaukieoregon.gov/trees](http://www.milwaukieoregon.gov/trees)

*These standards can be found in the MMC, here: [www.qcode.us/codes/milwaukie/](http://www.qcode.us/codes/milwaukie/)*

5. **Site plan(s), preliminary plat, or final plat** as appropriate.

*See Site Plan, Preliminary Plat, and Final Plat Requirements for guidance.*

6. **Copy of valid preapplication conference report**, when a conference was required.

**APPLICATION PREPARATION REQUIREMENTS:**

- Electronic copies of all application materials are required at the time of submittal.

**ADDITIONAL INFORMATION:**

- Neighborhood District Associations (NDAs) and their associated Land Use Committees (LUCs) are important parts of Milwaukie's land use process. The City will provide a review copy of your application to the LUC for the subject property. They may contact you or you may wish to contact them. Applicants are strongly encouraged to present their proposal to all applicable NDAs prior to the submittal of a land use application and, where presented, to submit minutes from all such meetings. NDA information: [www.milwaukieoregon.gov/citymanager/what-neighborhood-district-association](http://www.milwaukieoregon.gov/citymanager/what-neighborhood-district-association).
- By submitting the application, the applicant agrees that City of Milwaukie employees, and appointed or elected City Officials, have authority to enter the project site for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

As the authorized applicant I, (print name) MARK EKLUND, attest that all required application materials have been submitted in accordance with City of Milwaukie requirements. I understand that any omission of required items or lack of sufficient detail may constitute grounds for a determination that the application is incomplete per MMC Subsection 19.1003.3 and Oregon Revised Statutes 227.178. I understand that review of the application may be delayed if it is deemed incomplete.

Furthermore, I understand that, if the application triggers the City's sign-posting requirements, I will be required to post signs on the site for a specified period of time. I also understand that I will be required to provide the City with an affidavit of posting prior to issuance of any decision on this application.

Applicant Signature: Mark Eklund

Date: 9/3/2024

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**Official Use Only**

Date Received (date stamp below):

9/3/2024
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Received by: Ryan Dyar, Associate Planner