



MILWAUKIE PLANNING
 10501 SE Main St.
 Milwaukie OR 97222
 503.786.7630
 planning@milwaukieoregon.gov

Preapplication Request Form

File #: **24-009PA**

Meeting Date: 8 / 22 / 24 **Time:** 10AM **Location:** 10501 SE Main St. **Today's Date:** 8 / 15 / 24

Applicants and representatives are expected to present a detailed explanation of their proposal at the conference.

The purpose of the preapplication conference is to acquaint the applicant or applicant's representative with the requirements of the municipal code in preparation for submission of a land use application, including relevant approval criteria, development standards, and procedures. The preapplication conference is not an exhaustive review of all potential issues or requirements. Furthermore, the information provided by the City is not binding, and it does not preclude the City from raising new issues or identifying additional requirements during the land use review process. (MMC 19.1002 Preapplication Conference)

Although the primary purpose is as stated above, preapplication conferences may also be used as part of a due diligence process to obtain a higher degree of certainty about a property development. An applicant is not required to be the property owner to request a preapplication conference.

SITE INFORMATION:

Site Address: **1620 SE Waverly Dr.** Map & Tax Lot(s): **11E26DB00300** Zone: **R-MD**

PROPOSAL (brief description):

A 1784 S.F. ADDITION TO THE EXISTING RESIDENCE. MOST OF THE ROOF WILL BE NEW. IT ALSO INCLUDES THE ADDITION OF A 306 S.F. PRE-FABRICATED CONSERVATORY.

APPLICANT:

Project Contact Name: **AUSTIN BROWN** Company: **FOWLER HOME + DESIGN**

Mailing Address: **1322 SE LEXINGTON STREET, PORTLAND, OR** Zip: **97202**
 (HOMEOWNER'S ADDRESS)

Phone(s): **503-737-4432** Email: **AG.BROWN143@GMAIL.COM**

of Expected Attendees: **3**

Owner Architect Contractor
 Representative Engineer Other: _____

REQUESTED MEETING TYPE:

- Preapplication Meeting—1st meeting free; 2nd meeting \$50; Subsequent meetings \$100/mtg.**
 - Optional meeting with 2 City staff. No meeting notes are provided by staff.
 - Staff will coordinate meeting date and time once Submittal Information (listed on reverse) is received.
- Preapplication Conference—\$200**
 - Optional or required meeting with 3 or more staff. Meeting notes are provided by staff 2 weeks after the conference.
 - City staff from the Planning, Building, Engineering, and Public Works departments usually attend. Other public agencies (such as the Fire District) may attend as necessary.
 - Appointment times are Thursdays from 10:00 a.m.–11:00 a.m.
 - Appointments are scheduled on a first-come, first-served basis. Preapplication Requests must be submitted during counter hours, and by 12:30 p.m. every Thursday for the first appointment available.
 - Appointments must be made no less than **three weeks** before the desired meeting date for **Major projects** (e.g. commercial, industrial, multi-family, subdivisions) and no less than **two weeks** in advance of the desired meeting date for **Minor projects*** (e.g. single family, ADUs, partitions).
- Transportation Impact Study Review—\$100**
 - Mandatory second meeting if the project requires a Transportation Impact Study (TIS).
 - To be scheduled after completion of a TIS by the applicant's engineer.

IMPORTANT INFORMATION ON REVERSE SIDE

PREAPPLICATION REQUEST CHECKLIST:

Once submitted, application materials and applicant information become public record as well as constitute permission for staff to access the site in preparation for the meeting/conference.

Preapplication Meeting: Please submit electronic copies of the required information.

Minimum Requirements:

- Completed Request Form and accompanying fee (if any)
- Preliminary site plan and building plans, showing existing and proposed features. (Plans do not need to be professionally prepared, just accurate and reliable.)
- A detailed narrative description of the proposal that clearly identifies the location, existing and proposed uses, and any proposed construction.
- A list of all questions or issues the applicant would like the City to address.

Preapplication Conference: Please submit electronic copies of the required information. Please refer to the [Development Project Checklist](#) for a list of items that may be applicable to your project.

Minimum Requirements

- Completed Request Form and accompanying fee.
- Narrative: A detailed description of your proposal and any specific questions you have. Include a brief description of the physical context of the site, including a map showing the site and surrounding properties.
- A list of all questions or issues the applicant would like the City to address.
- Proposed elevations
- Site/Plot Plan that includes (if applicable)
 - Parcel and building setback dimensions
 - Existing and proposed structures
 - Location and dimension of existing and proposed easements, access, and driveways
 - Location of existing and proposed utilities: storm, sanitary sewers, and water (including size of service and street location)
 - Width of adjacent right-of-way
 - Existing streets abutting the property
 - Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building)
 - Slope map (if slope is 25% or more)
 - Significant tree locations (all trees with a caliper over 6 inches) (Note new tree code: www.milwaukieoregon.gov/trees)
 - Proposed stormwater detention system with topographic contours
 - Location of onsite and adjacent natural resources
 - Circulation system for vehicles, pedestrians, and bicycles

For Office Use Only:

***Project Type:** Minor Developments (e.g. single-unit detached dwellings, ADUs, middle housing, partitions): 2 weeks required for review
 Major Developments (e.g. commercial, industrial, multi-unit, subdivisions, and middle housing developments with more than 4 units): 3 weeks required for review

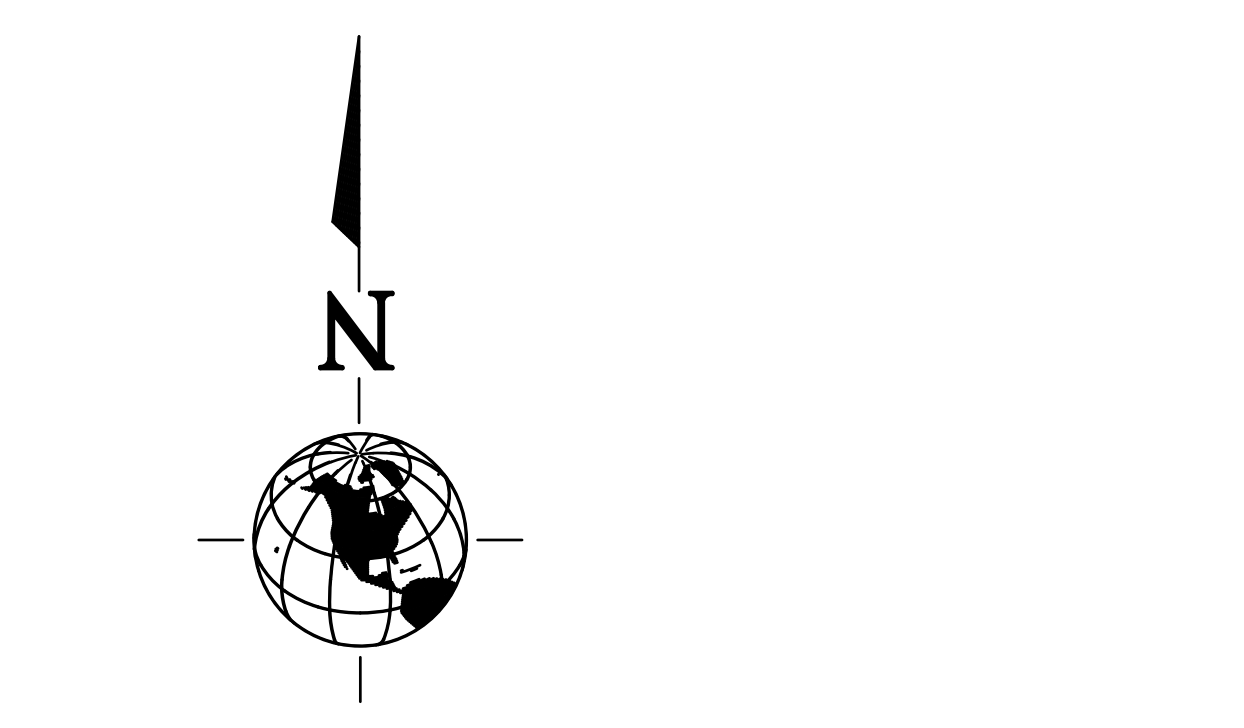
Routing: File Planning (2) Engineering (2) Building
 Development Manager Public Works Fire CD Director (development)

1620 SE WAVERLY DRIVE MILWAUKIE, OR. 97222



- ALL EXCESS GRADING MATERIAL TO BE EXPORTED TO AN APPROVED DISPOSAL LOCATION.
- ALL FILL AREAS 16" UNDER GARAGE FLOORS, SIDEWALKS, DRIVEWAYS, ETC. TO BE COMPACTED GRANULAR FILL.
- THERE WILL BE A SLIGHT OVER EXCAVATION TO PROVIDE CONCRETE FORMING ALL AROUND NEW STRUCTURE.
- PROVIDE COUNTY/CITY APPROVED SEDIMENT FENCING AROUND EXCAVATED AREA PRIOR TO EXCAVATION AND CONSTRUCTION.
- PROVIDE COUNTY/CITY APPROVED STABILIZED GRAVELED CONSTRUCTION ENTRANCE PRIOR TO EXCAVATION AND CONSTRUCTION.
- STOCKPILES MUST BE COVERED WITH MULCH OR PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30.
- CONTRACTOR/ SUB-CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO FOWLER HOME DESIGN INC. FOWLER HOME DESIGN INC. WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY ALL SITE CONDITIONS INCLUDING FILL PLACED ON SITE.

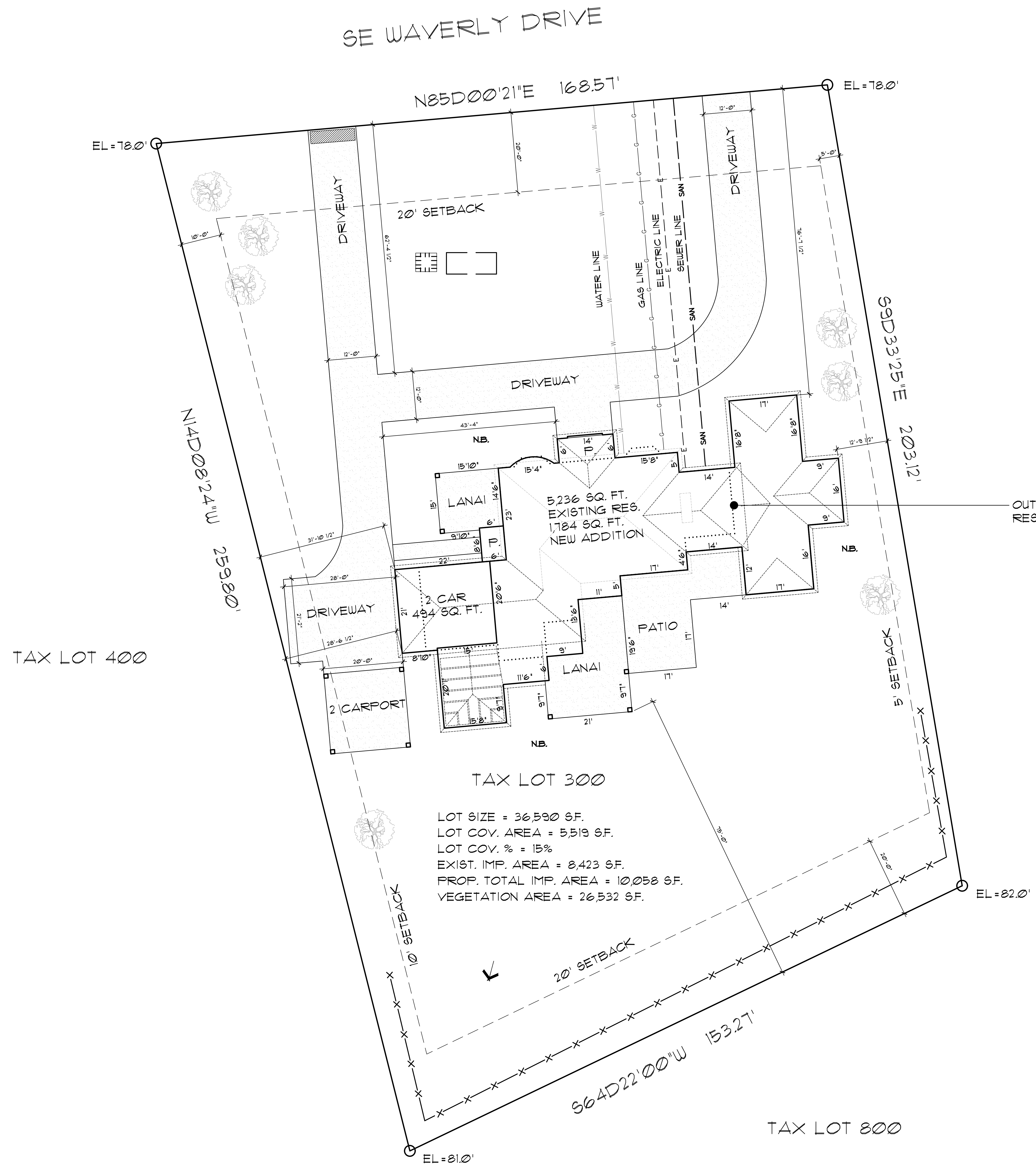
- EROSION CONTROL PLAN**
- ELEVATION LEGEND:
 - SE: EXISTING GRADE ELEVATION
 - FE: FINAL GRADE ELEVATION
 - FE: FINISHED FLOOR ELEVATION
 - PROVIDE A MINIMUM GRAVEL BASE UNDER ALL DRIVEWAY AREAS.
 - PROVIDE A 4" MINIMUM GRAVEL BASE UNDER ALL DRIVEWAY AND PATIO AREAS.
 - PIPE ALL STORM DRAINAGE FROM THE BUILDING TO A COUNTY/CITY DISPOSAL POINT/CONNECTION.
 - MAXIMIZE SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
 - PROVIDE AND MAINTAIN FINISH GRADE WITH POSITIVE DRAINAGE AWAY FROM STRUCTURE ON ALL SIDES WITH A SLOPE OF 6" MINIMUM IN 10'-0".



IMPORTANT DISCLOSURE - PLEASE READ:

THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD MORE THAN ONE HOME FROM THESE PLANS. THESE PLANS ARE COMPROMISED AND INVALIDATION OF THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE AND SEEK DAMAGES IF YOU VIOLATE THE TERMS OF THESE PLANS. FOWLER HOME DESIGN LLC IS COMPLETELY NOT RESPONSIBLE FOR THE CONSTRUCTION OF ANY HOME BUILT FROM THESE PLANS. FOWLER HOME DESIGN LLC HAS NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODE OR ANY REGULATIONS.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND UTILITIES, TYP.



LOT SIZE = 36,590 SF.
 LOT COV. AREA = 5,519 SF.
 LOT COV. % = 15%
 EXIST. IMP. AREA = 8,423 SF.
 PROP. TOTAL IMP. AREA = 10,058 SF.
 VEGETATION AREA = 26,532 SF.

THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97222

PLAN No.:
 DRAIN: T.F.
 DATE: 4/20/2024
 SCALE: 1"=10'-0"
 FILE:

PLOT PLAN

THESE PLANS AND DESIGNS
 HEREIN ARE COPYRIGHTED
 UNDER FEDERAL LAW BY
 TROY FOWLER & FOWLER HOME
 DESIGN LLC 2024

ELEVATION NOTES:

- ROOFING MATERIAL TO BE ARCHITECTURAL COMPOSITION MATERIALS AND 5" STANDING SEAM METAL ROOFING SEE ELEVATION PAGE. ROOF SHINGLES TO BE NAILED PER MANUFACTURED INSTRUCTIONS FOR 80 MPH MINIMUM WIND AREAS.
- ROOF FITCH TO BE SHOWN ON PLANS
- ALL EAVES TO BE NOTED ON PLANS WITH A 5" GALVANIZED FACIA GUTTER ON SPECIFIED FACIA BD. PROVIDE 3" GALVANIZED DOWNGUTS (DG) AS SHOWN ON ROOF FRAMING PLAN.
- SIDING NOTED ON PLANS.
- ALL WINDOW & DOOR TRIM TO BE 5/4 X 4 AT SIDES AND 5/4 X 6 CROWN & SILL.
- SIDING TO BE SPECIFIED ON PLAN. CALK ALL CORNER BOARDS, JOINTS, WINDOWS, DOORS AND SURROUNDS.
- ALL CORNER BOARD TRIM TO BE 2 X 4 PRIMED BD. AS SHOWN ON PLAN.
- COVERED PORCHES AND EAVE SOFFITS TO BE 1/2" EXT. FLYWOOD OR EQUAL TOO. CALK ALL JOINTS.
- MASONRY VENEER TO BE CULTURED STONE OR EQUAL AS SHOWN ON PLAN. PROVIDE GALVANIZED FLASHING ON A MASONRY SILL CAP OVER VENEER. VERIFY LOCATION AND TYPE OF MASONRY WITH BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE 2 X 10 ROUGH SAWN CEDAR OR EQUAL AT ALL BELLY BANDS WITH A GALVANIZED "I" FLASHING AT EXPOSED TOP. LOCATIONS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED.
- PROVIDE VENTS AS SHOWN, SHUTTERS AND TRIMS ON ELEVATIONS AS SHOWN ON PLAN.
- PROVIDE VNTL. WINDOWS AS SHOWN ON PLAN.
- EXPOSED CONCRETE WALKS TO BE BROOCHED FINISH AS SHOWN ON PLAN.
- MAXIMUM FOUNDATION EXPOSURE TO BE 1" FROM FINISHED GRADE.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- FINISH GRADE TO BE 1" MAXIMUM SLOPE WITH A 6" MINIMUM IN 10'-0" MINIMUM SLOPE AWAY FROM STRUCTURE ALL AROUND.
- SEE ELEVATIONS FOR ANY ADDITIONAL NOTATIONS THAT MAY BE OF IMPORTANCE.
- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE, UNIFORM BUILDING CODE OF ANY APPLICABLE STATE, COUNTY OR LOCAL JURISDICTION.
- PRIOR TO BEGAINING CONSTRUCTION, THE PLANS AND SPECIFICATIONS SHALL BE APPROVED BY THE LOCAL BUILDING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START AND/OR DURING CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
- BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR IS RESPONSIBLE TO REVIEW SPECIFIC SITE CONDITIONS WITH THE DESIGNER BEFORE CONSTRUCTION.
- VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH, PLUMBING, ELECTRICAL AND/OR OTHER SUBCONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
- PLUMBING, ELECTRICAL AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
- ENGINEERED PRODUCTS (ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB.
- SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DEVIATIONS FROM THE ORIGINAL PLANS WITHOUT WRITTEN CONFIRMATION FROM THE DESIGNER.
- ALL DIMENSIONS AND SQUARE FOOTAGE MAY VARY.
- THE TYPE OF EXTERIOR FINISH, THE INSTALLATION, AND THE WATERPROOFING DETAILS ARE TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY OF THE BUILDING ENVELOPE.

DESIGN LOADS:

WIND	100 MPH OR LESS
SEISMIC DESIGN CATEGORY	D2
FROST DEPTH	38 INCHES
ROOF DEAD LOAD	11 PSF
ROOF LIVE LOAD	20 PSF
ROOF SNOW LOAD	25 PSF
FLOOR DEAD LOAD	15 PSF
FLOOR LIVE LOAD	40 PSF
STAIRS	40 PSF
EXTERIOR BALCONIES	60 PSF
DECKS	60 PSF

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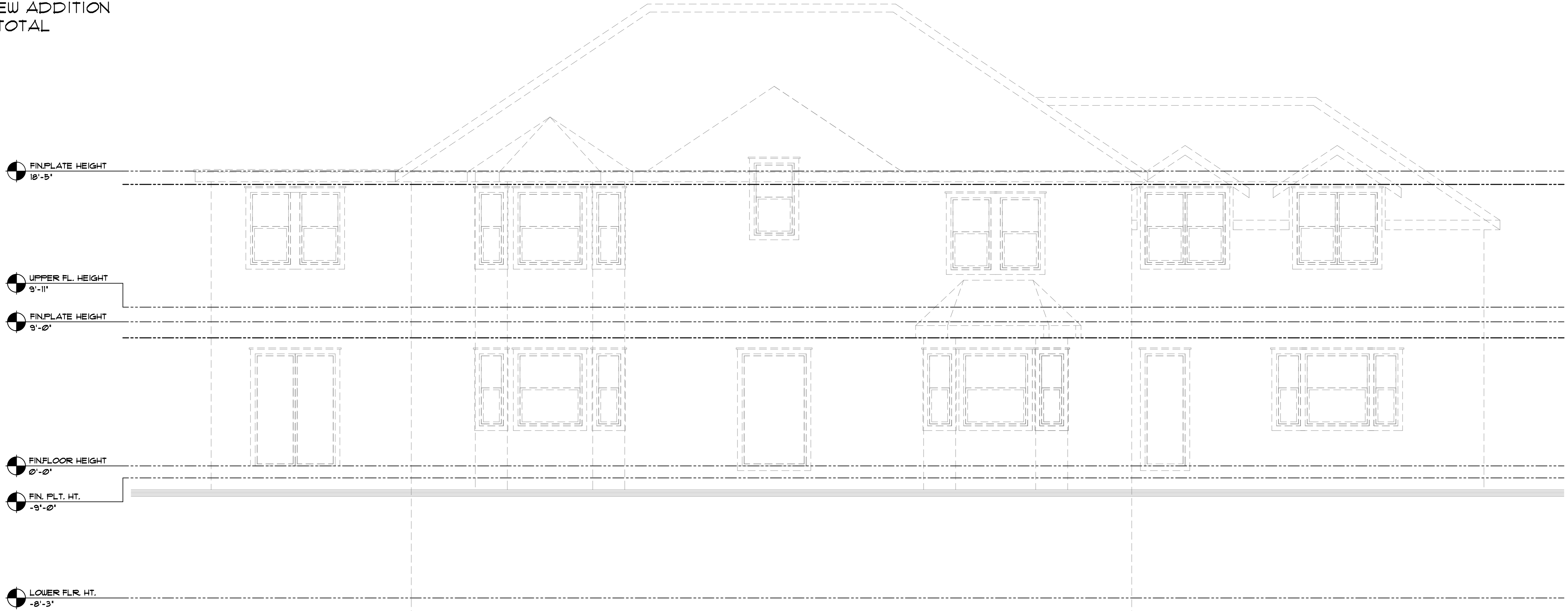
FRONT ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE
1,184 SQ. FT. NEW ADDITION
1,020 SQ. FT. TOTAL

WINDOW SCHEDULE

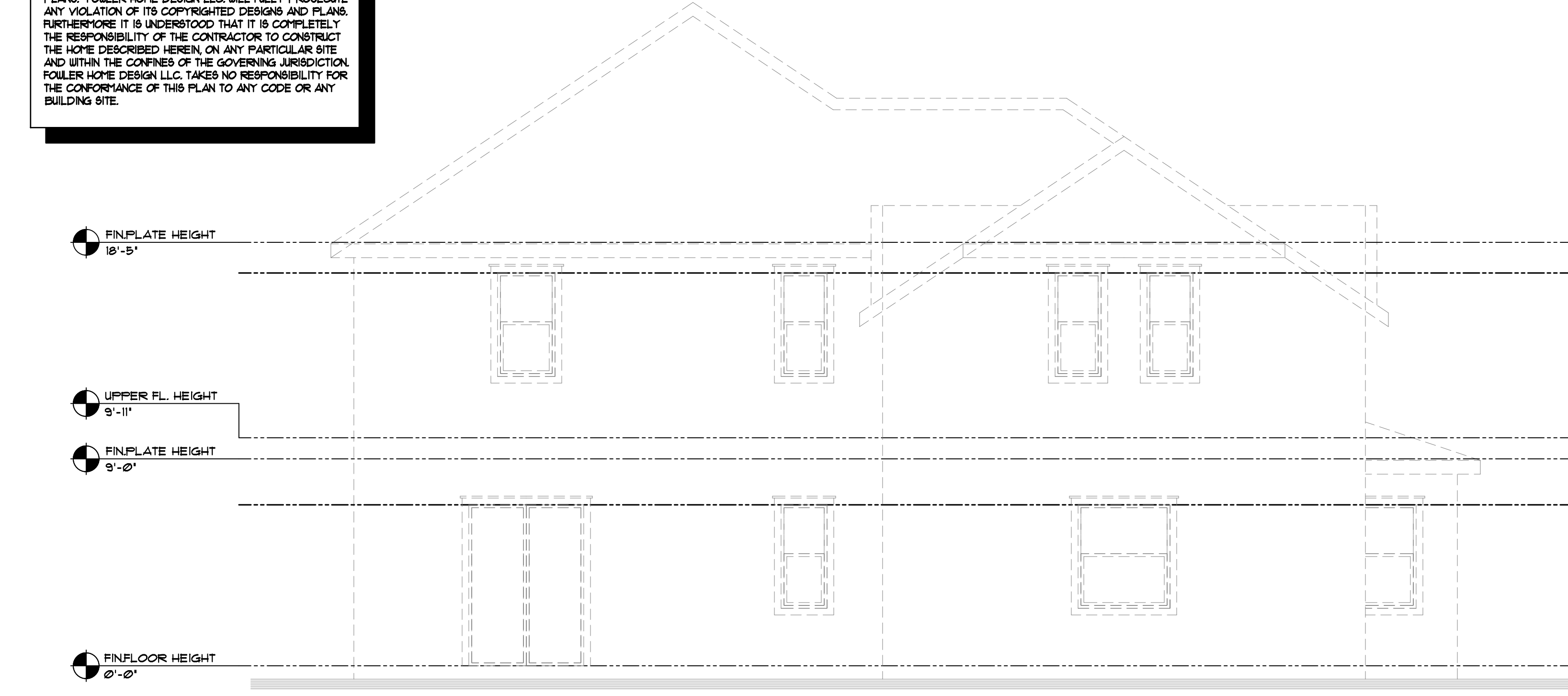
MARK	SIZE & TYPE	QUANTITY
△	3/8 X 4/3 OVAL FX.	2
△	3-2/8 X 6/8 FX. MULLED	1
△	4-2/8 X 6/8 MULLED FX.-CBMT.-CBMT.-FX.	4
△	2/8 X 6/8 FX.	3
△	2/8 X 6/8 CBMT.	4
△	3-2/8 X 6/8 MULLED FX.-CBMT.-FX.	4
△	2/8 X 6/8 CBMT.	5
△	3-2/8 X 6/8 MULLED FX.-CBMT.-FX.	2
△	2-2/8 X 6/8 CBMT. MULLED	2
△	2/8 X 6/8 CBMT.	1
△	2-2/8 X 6/8 CBMT. MULLED	1
△	2/8 X 6/8 FX.	6
△	2/8 X 2/8 FX.	1
△	3-2/8 X 6/8 FX. MULLED	1
△	2/8 X 2/8 FX.	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNDO.



EXIST. FRONT ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE



EXIST. RIGHT SIDE ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE



RIGHT SIDE ELEVATION

5,236 SQ. FT. EXISTING RESIDENCE
1,184 SQ. FT. NEW ADDITION
1,020 SQ. FT. TOTAL

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No.:
DRAWN: TF.
DATE: 4/20/2024
SCALE: 1/4"=1'-0"
FILE:

EXTERIOR ELEVATION

CONTRACTOR TO SELECT 1 OPTION

(ORSG 2021 TABLE N0012)

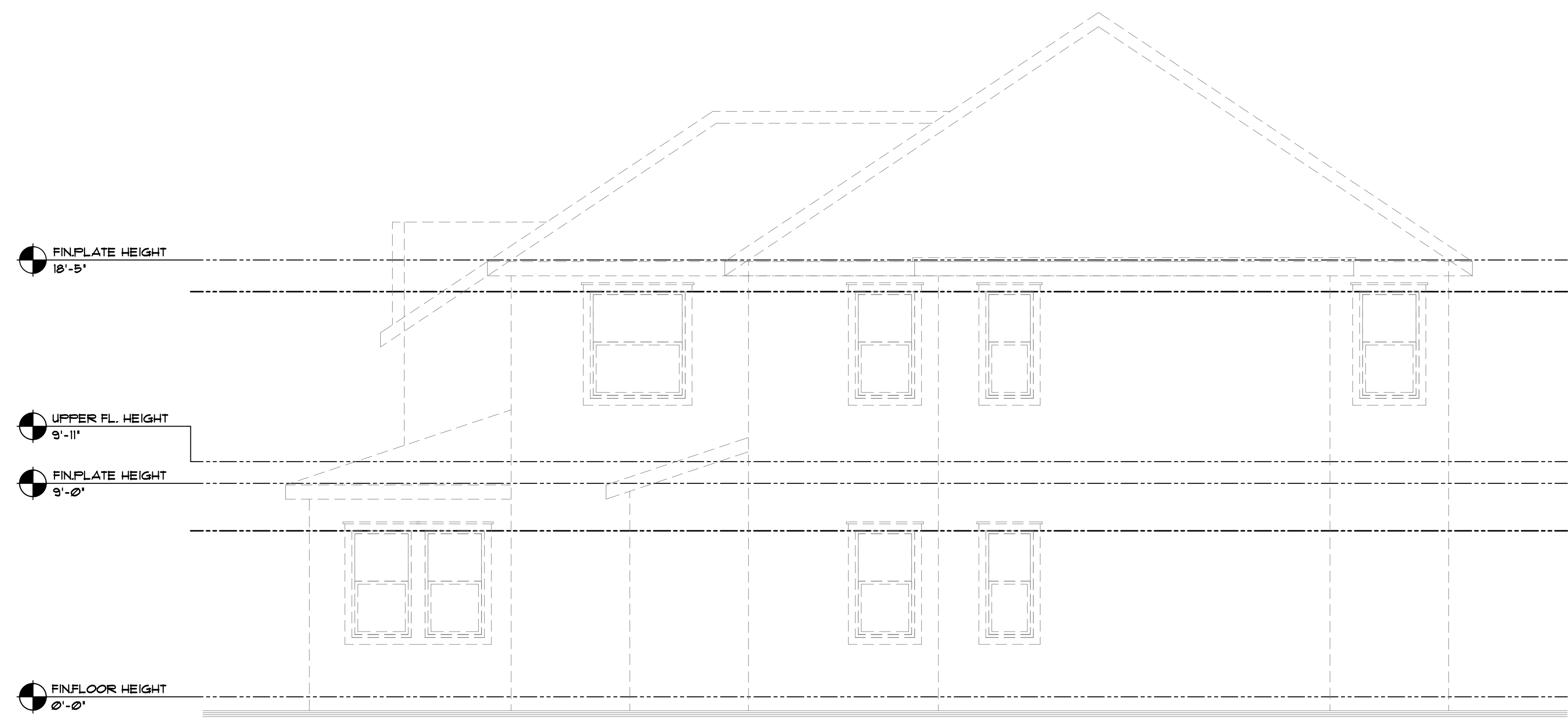
1	HIGH EFFICIENCY HVAC SYSTEM: GAS-FIRED FURNACE OR BOILER WITH MINIMUM ARIE OF 94% OR AIR-SOURCE HEAT PUMP (AHP) OF 100 TO 140 SEER COOLING OR GROUND-SOURCE HEAT PUMP COP OF 3.5, OR ENERGY STAR RATED
2	HIGH EFFICIENCY WATER HEATING SYSTEM: NATURAL GAS-PROpane WATER HEATER WITH MIN. UEF OF 0.95 OR ELECTRIC HEAT PUMP WATER HEATER WITH MIN. COP OF 3.0 OR NATURAL GAS-PROpane TANKLESS/INSTANTANEOUS WATER HEATER WITH MIN. UEF OF 0.95 AND ENERGY STAR RATED WATER HEAT RECOVERY UNIT INSTALLED ON MIN. OF ONE BATHROOM
3	WALL INSULATION UPGRADE: EXTERIOR WALLS U-0.084/R-2 CONVENTIONAL FRAMING WITH R-9.0 CONTINUOUS INSULATION
4	ADVANCED ENVELOPE: CROSS-V-JOIST (AREA BISHOP) CEILING AND INSULATION; INSULATED CEILING U-0.071/R-4.6 AND FINISHED FLOORS U-0.071/R-3.0 OR SLAB EDGE INSULATION TO R-24.0 OR LESS (R-10 FOR 4" OR 6" OR FOR 3" OR 4" FULLY INSULATED SLAB)
5	DUCTLESS HEAT PUMP: FOR OCCUPANCY UNITS WITH ALL-ELECTRIC HEAT PROVIDE DUCTLESS HEAT PUMP OF MIN. SEER 13 IN PRIMARY ZONE REPLACES EXISTING ELECTRIC HEAT SOURCE; AND ZONAL ELECTRIC HEAT SOURCE; AND PROGRAMMABLE THERMOSTAT FOR ALL HEATERS IN BEDROOMS
6	HIGH EFFICIENCY THERMAL ENVELOPE UA: PROPOSED UA IS 8% LOWER THAN THE CODE UA
7	GLAZING AREA: GLAZING AREA, TREATED AS THE TOTAL OF FRAMED OPENINGS IS LESS THAN 2% OF CONDITIONED FLOOR AREA
8	3 ACH AIR LEAKAGE CONTROL, 4 EFFICIENT VENTILATION: ACHIEVE A MAX. OF 30 ACH50 (SHOCK-HOME AIR LEAKAGE WHEN THIRD-PARTY TESTED AND PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM INCLUDING HEAT RECOVERY WITH A TYPICAL REVERSIBLE HEAT RECOVERY EFFICIENCY OF NOT LESS THAN 66%

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WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
▲	3/8x4/3 OVAL FX	2
▲	3-2/8x6/8 FX, MULLED	1
▲	4-2/8x6/8 MULLED FX-CBMT-CBMT-FX	4
▲	2/8x6/8 FX	3
▲	2/8x6/8 CBMT	4
▲	3-2/8x6/8 MULLED FX-CBMT-FX	4
▲	2/8x6/8 CBMT	5
▲	3-2/8x6/8 MULLED FX-CBMT-FX	2
▲	2-2/8x6/8 CBMT, MULLED	2
▲	2/8x6/8 CBMT	1
▲	2-2/8x6/8 CBMT, MULLED	1
▲	2/8x6/8 FX	6
▲	2/8x6/8 FX	1
▲	3-2/8x6/8 FX, MULLED	1
▲	2/8x6/8 FX	1

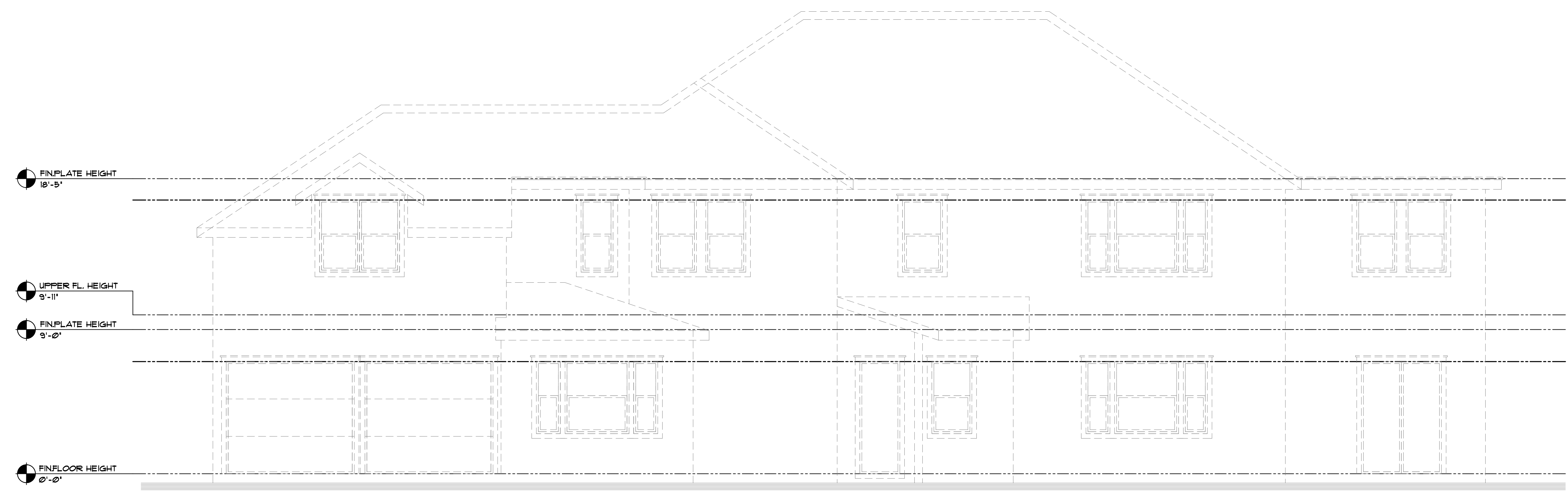
NOTE: ALL WINDOWS TO HAVE GRIDS UNQ.



EXIST. LEFT SIDE ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE



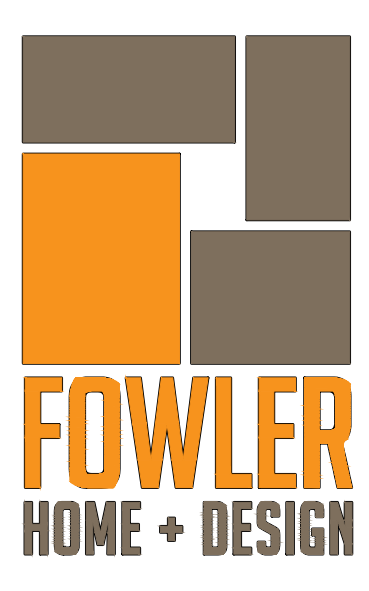
REAR ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL



EXIST. REAR ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE

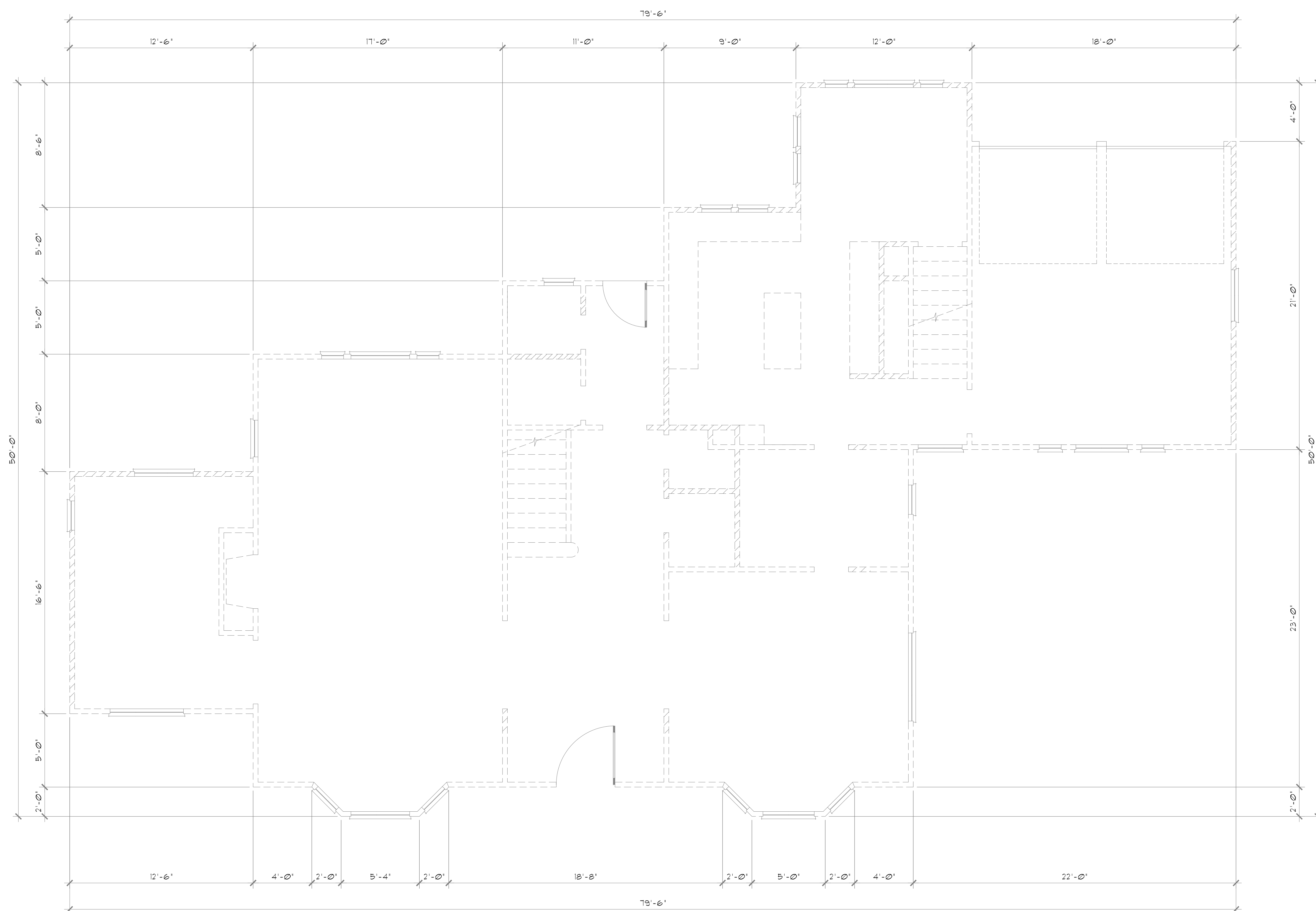


LEFT SIDE ELEVATION
5,236 SQ. FT. EXISTING RESIDENCE
1,784 SQ. FT. NEW ADDITION
7,020 SQ. FT. TOTAL

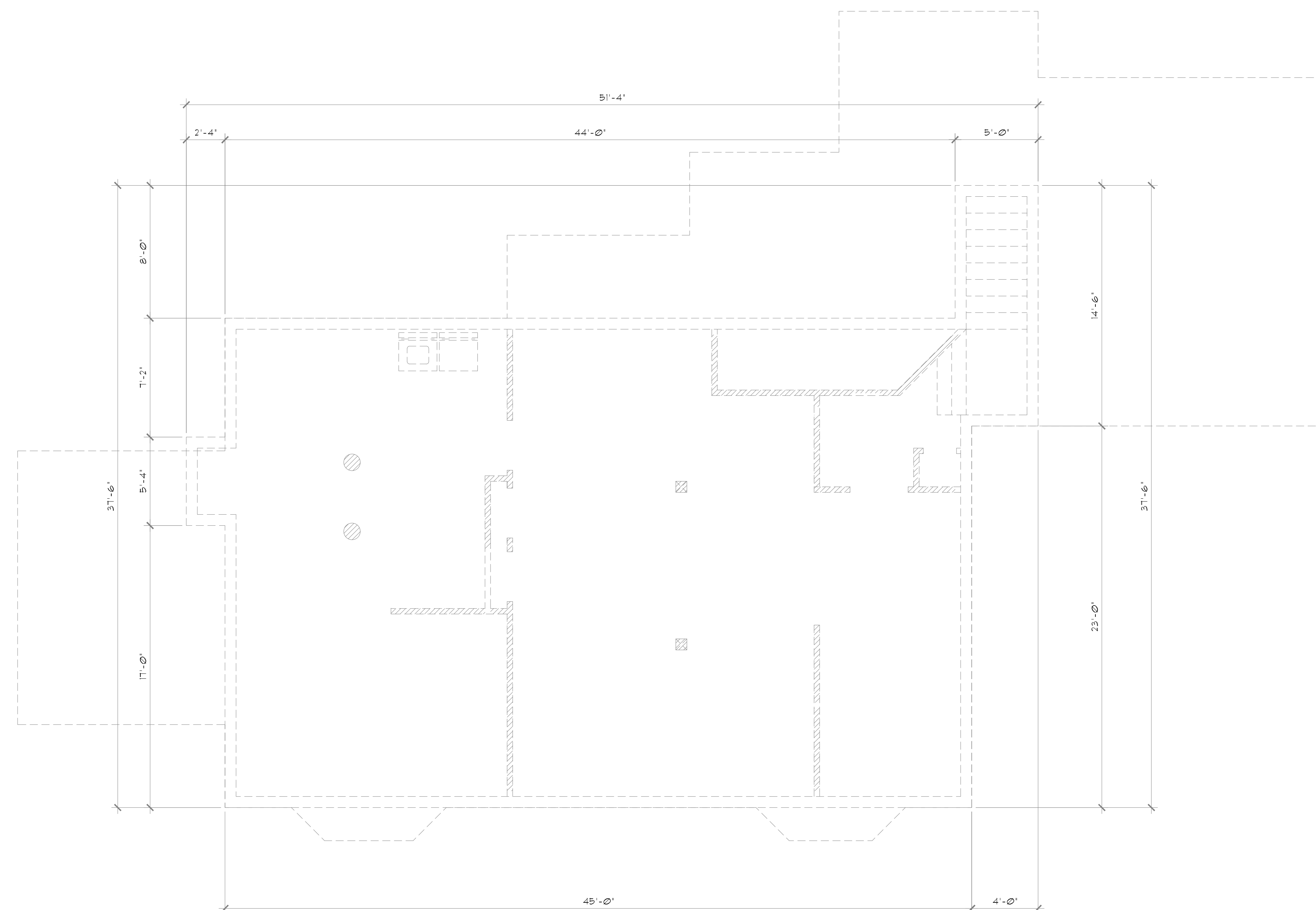


THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
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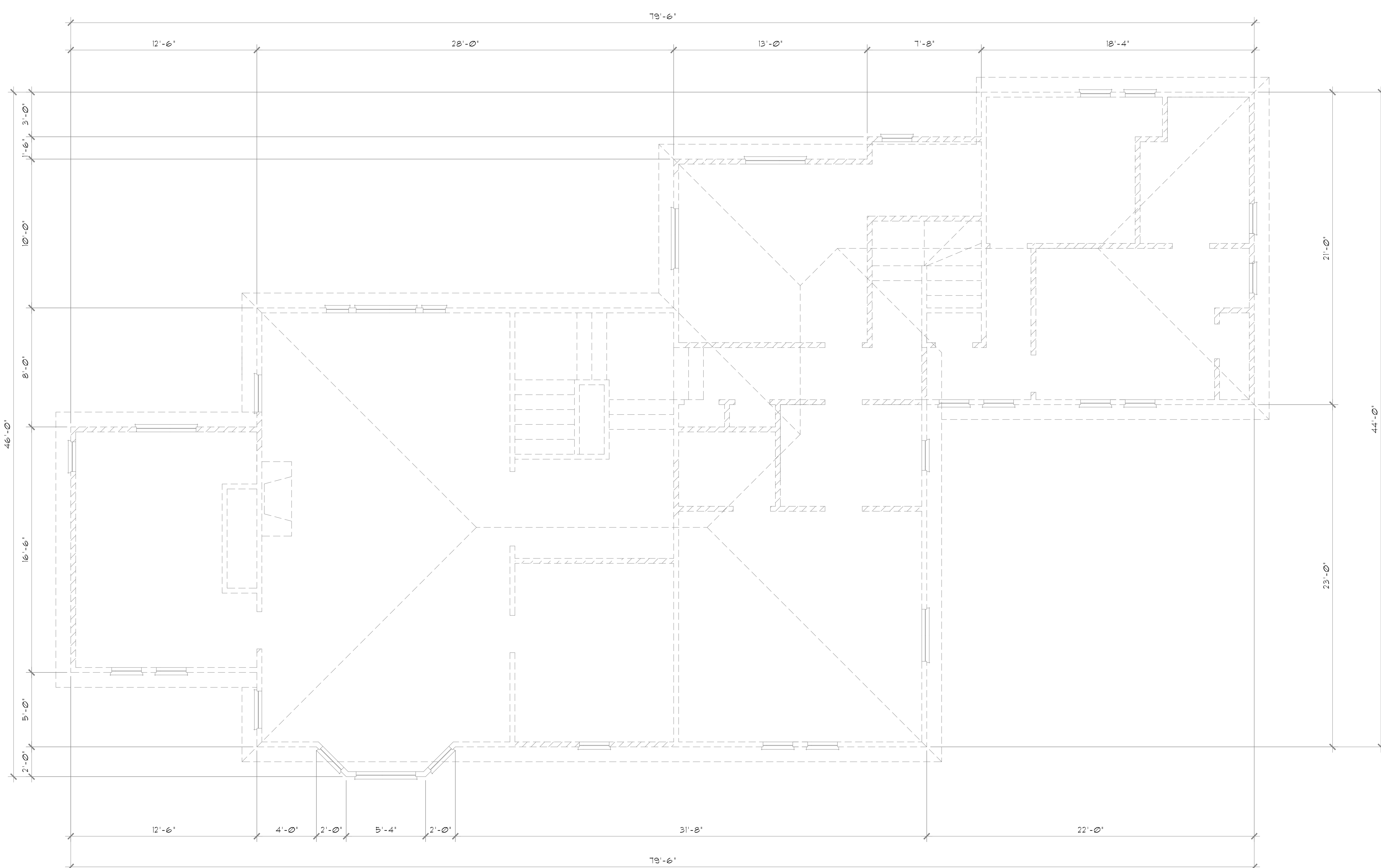
PLAN No.:
DATE: 4/20/2024
SCALE: 1/4"=1'-0"
FILE:
EXTERIOR ELEVATION



EXIST. MAIN FLOOR PLAN
1,956 SQ. FT. EXISTING 1/4"=1'-0"



EXIST. LOWER FLOOR PLAN
1,226 SQ. FT. EXISTING 1/4"=1'-0"



EXIST. UPPER FLOOR PLAN
2,054 SQ. FT. EXISTING 1/4"=1'-0"

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WALL LEGEND

	- NEW (N) 2x WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ ANY DISCREPANCIES.

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
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PLAN No: _____
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EXISTING FLOOR PLANS

FLOOR PLAN FRAMING NOTES:

- ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE 4 X 10 DF-L NO. 2 UNLESS OTHERWISE NOTED. (UCN)
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS @ 16" O.C. AND INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" O.C. FOUNDATION FOOT WALLS SHALL BE FRAMED OF 2 X 6 STUDS.
- STANDARD STUD HEIGHT FOR UPPER FLOOR TO BE 9'-0" CEILING HEIGHT.
- STANDARD STUD HEIGHT FOR MAIN FLOOR TO BE 9'-0" CEILING HEIGHT.
- WINDOW AND DOOR HEADER HEIGHTS TO BE 8'-0" @ UPPER FLOOR AND 8'-0" @ LOWER FLOOR UNLESS OTHERWISE NOTED. DOOR OPENINGS AND OTHER OPENINGS TO BE ALLIGNED WITH WINDOW HEIGHTS UNLESS OTHERWISE NOTED.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 5/8" FELT MOISTURE BARRIER.
- PROVIDE POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES. OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1/2" MIN. BEARING, U. ON.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER 2021 IBC SECTION 602.8.
- BLOCK ALL STUD WALLS AT SHEATHING SPLICES OR AS REQUIRED.
- INTERIOR PASSAGE DOORS TO HAVE A MINIMUM OF (2) 2 X TRIMMERS EACH SIDE OF DOOR AND TO BE CENTERED IN WALLS.
- ALL HOLDINGS, JOIST HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE "SIMPSON" OR EQUAL.
- ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF THE SAME DIMENSION AS THE WALL FRAMING. PLATES SHALL OVERLAP A MINIMUM OF 48" BETWEEN SPLICES WITH AT LEAST (8) 16D NAILS THROUGH BOTH PLATES OF SPLICE.
- DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLLUMS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IN ANY SUCH SITUATIONS ARISE.
- THIS STRUCTURE TO BE ADEQUATELY BRACED FOR WIND AND GRAVITY LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

LUMBER SPECIES AND GRADING:

- A. POSTS, BEAMS, HEADERS
 - B. FLOOR JOISTS, CEILING JOISTS, RAFTERS
 - C. SILL, PLATES, BLOCKING, BRIDGING
 - D. STUDS
 - E. STUDS OVER 12" HIGH
 - F. FLOOR DECKING
 - G. WALL, ROOF SHEATHING
 - H. GULI-LAM BEAMS
 - I. PATALLEL STRAND LUMBER (PSL) MATERIALS
 - J. LAMINATED VENEER LUMBER (LVL) MATERIALS
- DF-L NO. 2
DF-L NO. 3
DF-L STUD GRADE
DF-L NO. 1
DF-L UTILITY GRADE
CDX EXT. APA RATED PLY OR OSB 2-1/4" @
FB-2400 DRY ADH. INTERIOR (EXT. ADH. AT EXT. COND.)
FB-3000 E-1.0 FV-230
FB-2600 E-1.8 FV-285
UNLESS OTHERWISE NOTED.

NAILING SCHEDULE:

REFER TO IBC 2021 TABLE R6-03.3(1)

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	3/8" X 4/3" OVAL PK	2
△	3-2/8" X 6/8" PK MILLED	1
△	4-2/8" X 6/8" MILLED PK-CENT-CENT-PK	4
△	2/8" X 6/8" PK	3
△	2/8" X 6/8" CENT.	4
△	3-2/8" X 6/8" MILLED PK-CENT-PK	4
△	2/8" X 6/8" CENT.	5
△	3-2/8" X 6/8" MILLED PK-CENT-PK	2
△	2-2/8" X 6/8" CENT. MILLED	2
△	2/8" X 6/8" CENT.	1
△	2-2/8" X 6/8" CENT. MILLED	1
△	2/8" X 6/8" PK	6
△	2/8" X 2/8" PK	1
△	3-2/8" X 6/8" PK MILLED	1
△	2/8" X 2/8" PK	1

NOTE: ALL WINDOWS TO HAVE GRIDS UNLESS OTHERWISE NOTED.

IMPORTANT DISCLOSURE - PLEASE READ:

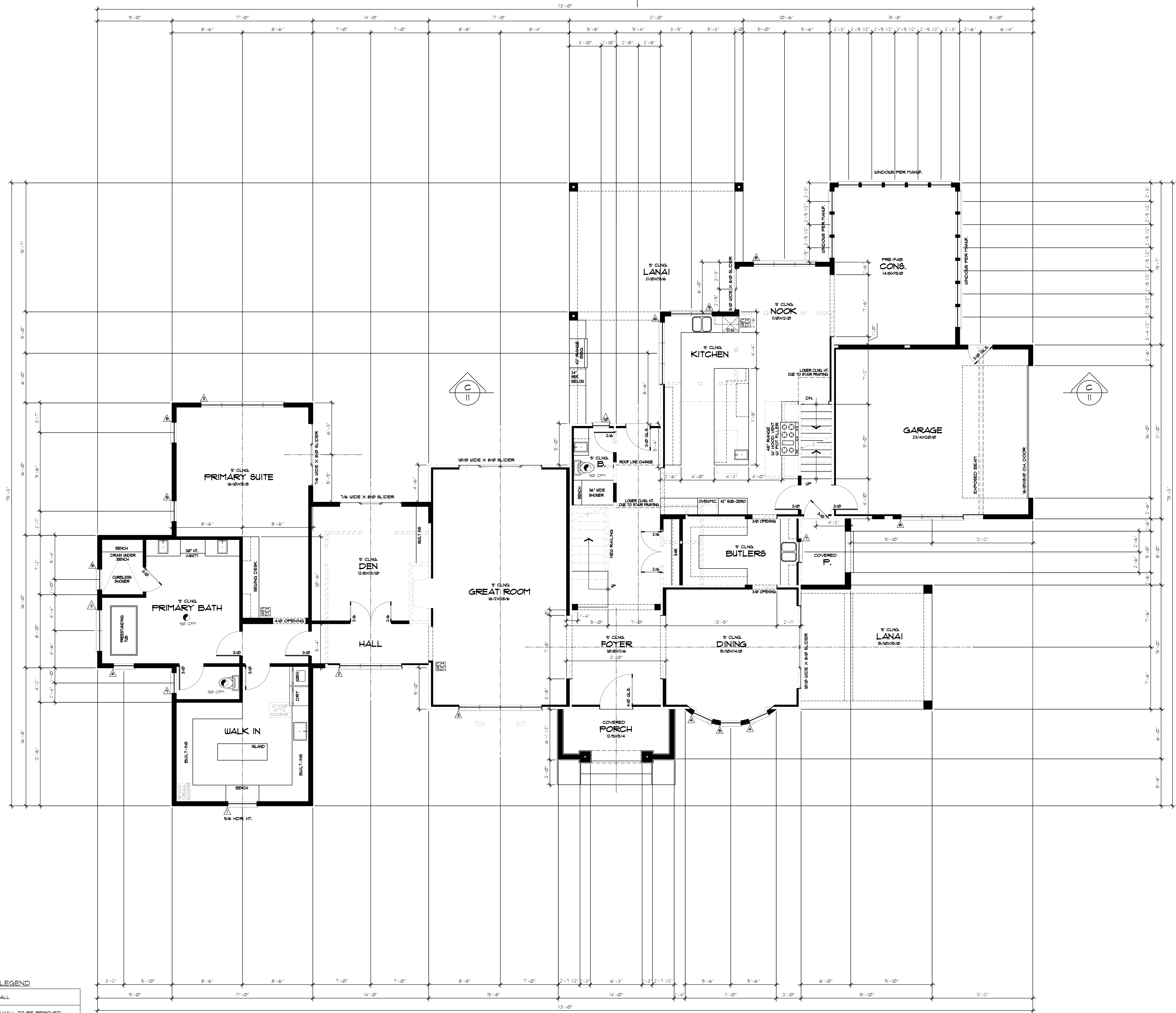
THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION OF ONE HOME ONLY. NO OTHER CONSTRUCTION IS TO BE BUILT FROM THESE PLANS WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAWS TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED DESIGNS AND PLANS. FURTHERMORE IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE NECESSARY PERMITS AND TO OBTAIN THE CONSENT OF THE GOVERNING JURISDICTION. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE CONFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

WALL LEGEND

	- NEW (N) 2X WALL
	- EXISTING (E) WALL TO BE REMOVED
	- (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.



MAIN FLOOR PLAN
1,956 SQ. FT. EXISTING
3,086 SQ. FT. LOWER TOTAL
306 SQ. FT. CONSERVATORY
1,130 SQ. FT. NEW ADDITION

1/4" = 1'-0"

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN NO:
DATE: 4/20/2024
SCALE: 1/4" = 1'-0"
FILE:

MAIN FLOOR

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FLOOR PLAN FRAMING NOTES CONT.:

INSULATION:

- USE PATH 1 OF 2021 IRC/IECC ENERGY CODE AND THE FOLLOWING INSULATION VALUES TABLE (NBD11)

ENERGY COMPLIANCE	PATH 1
WALL INSULATION	R-21/R-23
WALL INSULATION BELOW GRADE	R-15/R-21
FLAT CEILINGS	R-49
VAULTED CEILINGS	R-30
UNDERFLOORS	R-30
SLAB EDGE PERIMETER	R-15
HEATED SLAB INTERIOR	R-10
WINDOWS	U-0.27
WINDOW AREA LIMITATION	N/A
SKYLIGHTS	U-0.50
EXTERIOR DOORS	U-0.20
EXTERIOR DOORS W/ >2.5 FT. GLAZING	U-0.40
FORCED AIR DUCT	R - 8

- INSULATION:
 - R-49 ROOF (FLAT CEILING)
 - R-30 ROOF (VAULT CEILING)
 - R-30 FLOORS OVER UNHEATED SPACES
 - R-15 EXTERIOR WALLS
 - R-15/21 BASEMENT WALLS (INTERIOR OR EXTERIOR)
 - R-5 (RIGID) CONCRETE FLOOR SLAB EDGES AT PERIMETER UNDER HEATED AREAS
 - R-8 EXPOSED FURNACE DUCTS IN UNHEATED AREAS
- GLAZING/DOORS:
 - NO LIMITS WINDOW AREA LIMIT
 - U-135 ENTRY DOOR CLASS (24 SQ. FT. MAX)
 - U-140 FULL LIGHT GLASS DOOR CLASS
 - U-120 OTHER DOORS (50% MAX. GLAZING)
 - U-160 SKYLIGHT CLASS (2% MAX. OF HEATED SPACE)
- ALL AIR INFILTRATIONS IN THE EXTERIOR ENVELOPE SHALL BE SEALED INCLUDING WINDOW AND DOOR FRAMES, WALLS, FOUNDATIONS, VENTING AND UTILITY PENETRATIONS. ACCESS DOORS TO CRAWL SPACE AND ATTIC AREAS TO HAVE THE SAME EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.
- PROVIDE AN APPROVED INSULATION VAPOR BARRIER WITH A ONE PERM DRY CUP RATING OR LESS AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION.
- INSULATE ALL ACCESS DOOR/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 25. A SMOKE-DEVELOPED FACTOR NOT TO EXCEED 450 AND CRITICAL RADIANT FLUX NOT LESS THAN 0.02 WATTS PER SQUARE CENTIMETER.

MISCELLANEOUS:

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE WIDTH OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THAN 44 IN. ABOVE FINISHED FLOOR.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1/2" DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE PEEP HOLES # 3/4" X 1/4" ABOVE FINISHED EXT. DOOR FLOOR.
- WINDOW MUST MEET THE U-VALUE OR CLASS REQUIREMENT FOR THE APPROPRIATE ENERGY PATH AND BE LABELED ACCORDINGLY. SITE BUILT WINDOWS MAY BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN 2021 IRC/IECC SEC. W114.
- WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 8 INCHES OF THE FLOOR WITHIN A 24 INCH ARCH OF ANY DOOR IN A CLOSED POSITION. GLAZING USED IN RAILINGS, GLAZING IN FIXED OR SLIDING DOORS, WHERE THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHTUBS, WHIRLPOOLS, AND/OR SHOWER.
- SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE UNLESS FLEXIGLASS. GLASS TO HAVE A MAXIMUM CLEAR SPAN OF 35 INCHES. SKYLITE FRAME IS TO BE ATTACHED TO 4 X 4 CURB AND TO BE 4 INCHES MINIMUM ABOVE ROOF PLANE. MIN 25 LBS. PSF SNOW LOAD ADDITIONAL.
- ALL TUB AND SHOWER ENCLOSURE DOORS TO BE GLAZED WITH SAFETY GLASS.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED DIRECTLY TO THE OUTSIDE VIA METAL DUCTING WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR (50 CFM MIN.). DRYER AND RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. VENTS TO BE PROVIDED WITH BACK-DRAFT DAMPERS.
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE THE IMMEDIATE VICINITY OF EACH BEDROOM AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED TO MAIN POWER SOURCE AS THE PRIMARY POWER AND BATTERY BACKUP AS SECONDARY POWER. ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL BEDROOMS.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE GFCI. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY INSULATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (I.C. LABEL) FOR DIRECT CONTACT WITH INSULATION.
- ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.
- USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILINGS AND UNDER STAIRS. USE 5/8" TYPE X GYPSUM BD. ON WALLS AND CEILINGS BETWEEN GARAGE AND LIVING AREAS. PROVIDE 1/2" WATERPROOF GYPSUM BD. ABOVE ALL SHOWER AND TUB-SHOWER AND TUB-SHOWER UNITS AND IN ANY WATER BASH AREAS.
- ALL FIREPLACE OPENINGS SHALL HAVE TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR VENTS WITH SCREENS AND BACK DAMPERS FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH OPEN FLAME.
- APPLIANCES PRODUCING A SPARK, GLOW OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL NOT BE INSTALLED IN A GARAGE UNLESS THE PILOTS, BURNERS, HEATING ELEMENTS OR SWITCHES ARE AT LEAST 18 INCHES ABOVE THE FLOOR.
- PROVIDE 80% MIN. EFFICIENT NATURAL GAS FURNACE WITH BACKDRAFT DAMPER AND NATURAL GAS HOT WATER HEATER WITH BACKDRAFT DAMPER. PROVIDE R-4 INSULATION AROUND HOT WATER LINES IN UNHEATED AREAS. ELEVATE FLAME IN UNITS 8" ABOVE FINISH FLOOR.
- ALL WINDOW HDRS TO BE 4 X 10 UNO.
- FRONT PORCH TO BE CONCRETE SLAB UNO.

IMPORTANT DISCLOSURE

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 THE PLANS YOU HAVE PURCHASED ARE FOR THE CONSTRUCTION ONE HOME ONLY. UNDER NO CIRCUMSTANCES IS IT LEGAL TO BUILD FROM THESE PLANS MORE THAN ONCE WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER. THESE PLANS ARE COPYRIGHTED AND IT IS A VIOLATION OF FEDERAL COPYRIGHT LAW TO REPRODUCE THESE PLANS. FOWLER HOME DESIGN LLC WILL PROSECUTE ANY VIOLATION OF ITS COPYRIGHTED RIGHTS. FURTHERMORE IT IS UNDERSTOOD THAT IT IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE HOPE DESIGNED HEREIN ON ANY PARTICULAR SITE AND WITHIN THE JURISDICTION OF THE GOVERNING AGENCIES. FOWLER HOME DESIGN LLC TAKES NO RESPONSIBILITY FOR THE PERFORMANCE OF THIS PLAN TO ANY CODE OR ANY BUILDING SITE.

WALL LEGEND

	NEW (N) 2x WALL
	EXISTING (E) WALL TO BE REMOVED
	(E) WALL TO REMAIN

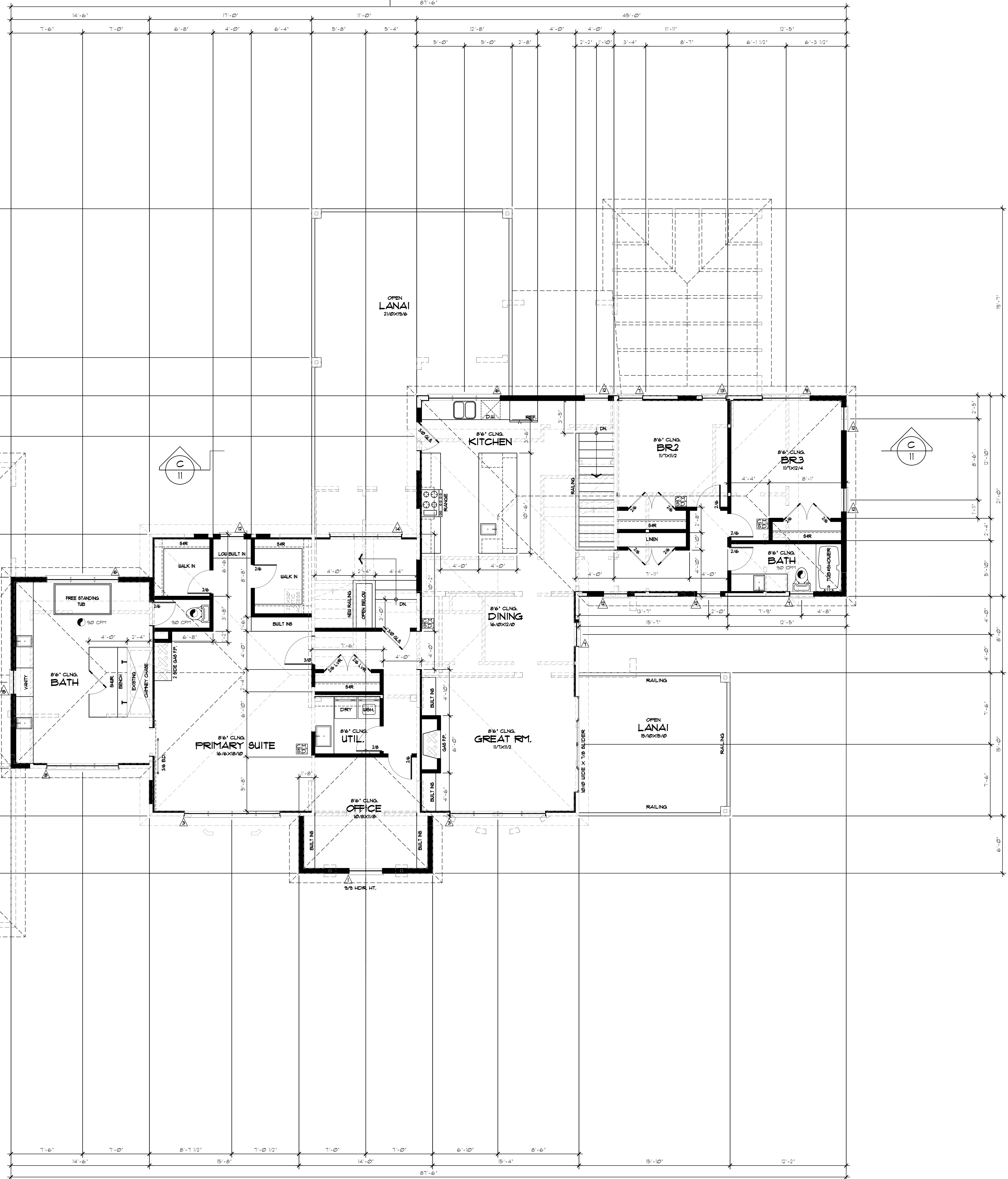
NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

ALL DIMENSIONS TO OR FROM (E) STRUCTURE LINE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

WINDOW SCHEDULE

MARK	SIZE & TYPE	QUANTITY
△	3/8X4/8 OVAL FX	2
△	3-2/8X6/8 FX MILLED	1
△	4-2/8X6/8 MILLED FX-CENT. CENT-FX	4
△	2/6X6/8 FX	3
△	2/6X6/8 CBMT.	4
△	3-2/6X6/8 MILLED FX-CENT-FX	4
△	2/6X6/8 CBMT.	5
△	3-2/6X6/8 MILLED FX-CENT-FX	2
△	2-2/6X6/8 CBMT. MILLED	2
△	2/6X6/8 CBMT.	1
△	2-2/6X6/8 CBMT. MILLED	1
△	2/6X6/8 FX	6
△	2/6X6/8 FX	1
△	3-2/6X6/8 FX MILLED	1
△	2/6X6/8 FX	1

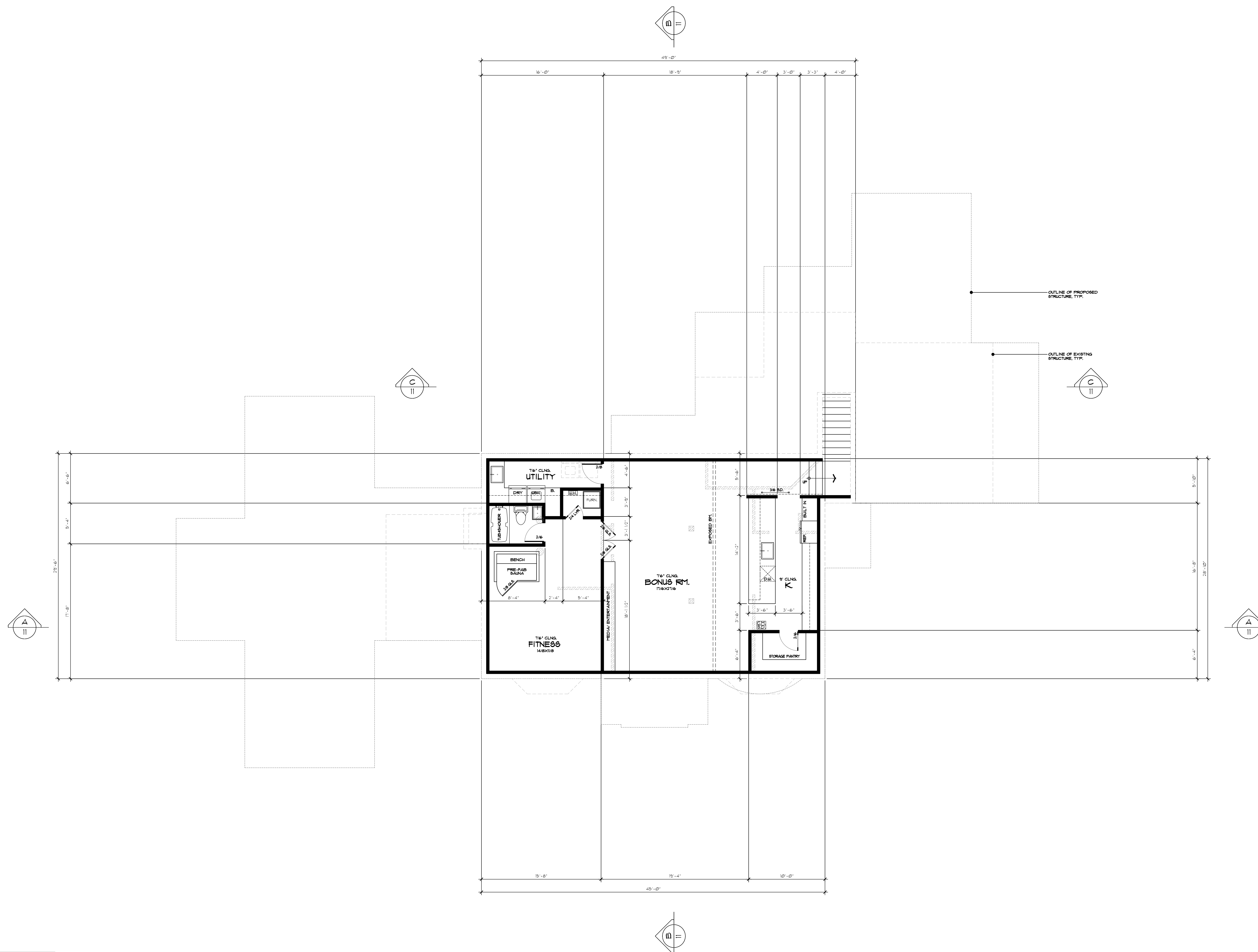
NOTE: ALL WINDOWS TO HAVE GRIDS UNO.



UPPER FLOOR PLAN

2,054 SQ. FT. EXISTING
 2,402 SQ. FT. UPPER TOTAL
 348 SQ. FT. NEW ADDITION

1/4" = 1'-0"



THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR 97122

PLAN No:
DATE: 4/20/2024
SCALE: 1/4" = 1'-0"
FILE:

LOWER FLOOR

6

THESE PLANS AND DESIGN ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO CONTACT DESIGNER W/ANY DISCREPANCIES.

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WALL LEGEND

	• NEW (N) 2x WALL
	• EXISTING (E) WALL TO BE REMOVED
	• (E) WALL TO REMAIN

NOTE: WALLS IN LEGEND ENLARGED FOR CLARITY.

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LOWER FLOOR PLAN

1226 SQ. FT. EXISTING

1/4" = 1'-0"

FOUNDATION NOTES:

- FOUNDATION FOOTINGS, CONT. FOOTING UNDER PONYWALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 18" BELOW FINAL GRADE. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
- ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
- EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
- CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY WALLED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE:
 - BASEMENT AND FOUNDATIONS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE
 - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER
 - PORCHES, STEPS, GARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINED.
- ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
- ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
- ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
- ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4" #2) COMPACTED TO 95% MINIMUM.
- CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 8 FT. MAXIMUM INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. O.C. MINIMUM.
- PROVIDE (5) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 18" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 3/4" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL AREA REQUIRED).
- PROVIDE 1/2" DIA. X 10' ANCHOR BOLTS A307 GRADE # 6 - 0' O.C. UNDO. ON PRESSURE TREATED DP NO. 5 MUD SILLS. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 12" MINIMUM FROM SILL SPLICES. PROVIDE FOAM INSUL. BTUN/SILL PL. 4 FOUND. WALL.
- REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLDDOWS.
- REBAR SCHEDULE:
 - REBAR TO BE LOCATED AT HOLD-DOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
 - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED:
 - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS 4' CLEAR BOTTOM.
 - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BARS.
- REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-63 GRADE 60. WELDED WIRE MESH TO BE A-18S.
- REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
- ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM UNO.
- 'SITE' ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
- EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEY WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
- GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2' SLOPE (10' PER FT. MIN) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10FT. O.C. EA. WAY.
- PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN 4" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS). SEE DET. B/D).
- PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLENUM. VERIFY SIZE AND PLACEMENT WITH BUILDER/ AND OR SUBCONTRACTORS PRIOR TO INSTALL.
- PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/ SUBCONTRACTOR.
- PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL. BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORY DRAIN SYSTEM.
- COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MUD SILLS. LAP SEAMS 12" MIN.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 55# ASPHALT SHINGLE.
- ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE 'SIMPSON' OR EQUAL.
- PROVIDE A 24" X 30" CRAWL ACCESS (18"X24" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
- FLOOR CONSTRUCTION TO BE:
 - 1 1/8" DECKING OR EQUAL ON I-JOISTS PER MANUF.
 - ON 2x6 PONYWALLS OVER 8x8 CONTINUOUS FOOTINGS

FOOTING SCHEDULE

FTNG.	LOAD LBS	FOOTING SIZE	REBAR
F1	3,300*	18"x18"x10"	(2) #4 E/W
F2	6,000*	24"x24"x10"	(2) #4 E/W
F3	9,300*	30"x30"x10"	(3) #4 E/W
F4	13,500*	36"x36"x12"	(3) #4 E/W
F5	18,300*	42"x42"x12"	(4) #4 E/W
F6	24,000*	48"x48"x12"	(4) #4 E/W
F7	28,000*	52"x52"x12"	(5) #4 E/W
F8	40,000*	64"x64"x14"	(5) #4 E/W
F9	50,000*	72"x72"x16"	(6) #4 E/W

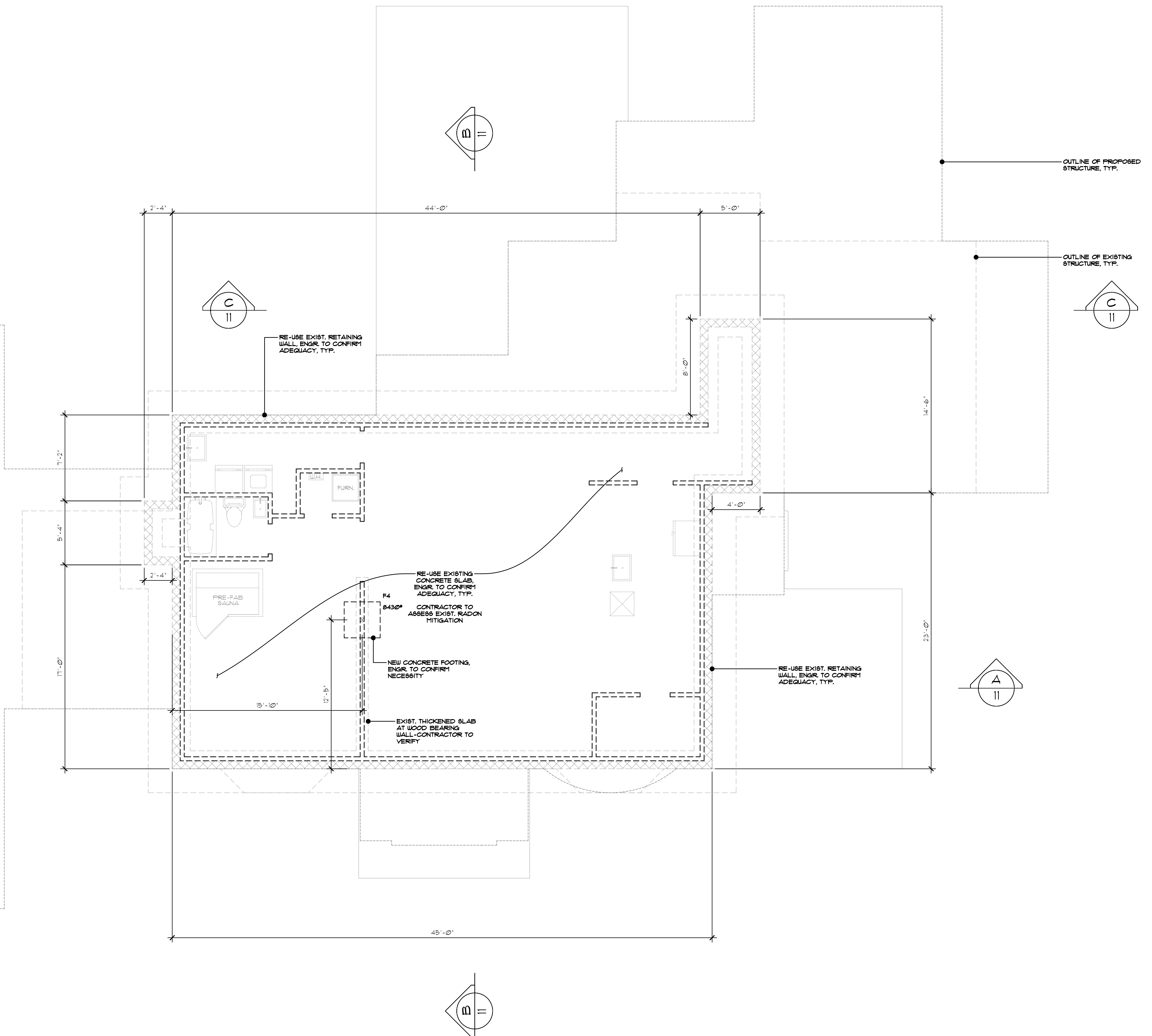
TOP OF ALL HOLD DOWN BOLTS MUST EXTEND ABOVE BRACKETS AND NUTS (APPROX. 8" ABOVE TOP OF INCH WALL)

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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



THE EKLUND RESIDENCE
 1620 SE WAVERLY DRIVE
 MILWAUKIE, OR. 97222

PLAN No.:
 DRAIN: TF
 DATE: 4/20/2024
 SCALE: 1/4"=1'-0"
 FILE:

FOUNDATION PLAN

THESE PLANS AND DESIGNS
 HEREIN ARE COPYRIGHTED
 UNDER FEDERAL LAW BY
 TROY FOWLER & FOWLER HOME
 DESIGN LLC 2022

LOWER FLOOR FRAMING & FDN PLAN
1/4" = 1'-0"

FOUNDATION NOTES:

- FOUNDATION FOOTINGS, CONT. FOOTINGS UNDER FOOTING WALL TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 8" BELOW FINAL GRADE. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
 - ALL EXCESS FRAMING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
 - EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
 - CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
 - MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
 - DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY NAILED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED.
- CONCRETE
 - BASEMENT AND FOUNDATIONS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI WALLS AND FOOTINGS NOT EXPOSED TO WEATHER.
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE.
 - BASEMENT AND INTERIOR SLABS 6 SACK/YD. 4" MAX. SLUMP 3000 PSI ON GRADE.
 - BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER.
 - PORCHES, STEPS, CARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER 5% - 7% MAX. AIR ENTRAINED.
 - ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
 - ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
 - ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
 - ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL (3/4"-2") COMPACTED TO 95% MINIMUM.
 - CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 15 FT. MAXIMUM INTERVALS EACH WAY.
 - CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5 FT. O.C. MINIMUM.
 - PROVIDE (5) 18" X 8" CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 1/8" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 3/6" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 50 SQ. FT. OF CRAWL AREA REQUIRED.)
 - PROVIDE 1/2" DIA. X 10" ANCHOR BOLTS 4301 GRADE # 6 @ 4'-0" O.C. UNO. ON PRESSURE TREATED DF NO. 3 MID SILL. ANCHOR BOLTS TO BE 1" MINIMUM EMBEDMENT INTO CONCRETE WALLS. AT LEAST TWO (2) BOLTS ARE REQUIRED ON EACH SILL AND 17" MINIMUM FROM SILL SPLICES. PROVIDE FOAM INSUL. STAINLESS PL. 4 FOUND. WALL.
 - REFER TO SIMPSON SPECIFICATIONS FOR BOLT DIAMETER AND MINIMUM EMBEDMENT LENGTH ON ALL ANCHOR BOLTS AND SIMPSON STRAP-TIE HOLDINGS.
 - REBAR SCHEDULE:
 - REBAR TO BE LOCATED AT HOLD/DOWN LOCATIONS ONLY OR AS SHOWN ON PLAN OR REQUIRED BY CODE.
 - MINIMUM REQUIREMENTS WHERE REBAR IS REQUIRED:
 - FOOTINGS: (1) #4 BAR HORIZONTAL CONTINUOUS, 4" CLEAR BOTTOM.
 - FOUNDATIONS: (1) #4 BAR TOP HORIZONTAL WITH #4 BARS VERTICAL AT 48" O.C. HOOKED AND TIED TO FOOTING BARS AND TIED TO TOP FOUNDATION BAR.
 - REINFORCING BARS TO BE DEFORMED BARS CONFORMING TO ASTM A-65 GRADE 60. WELDED WIRE MESH TO BE A-85.
 - REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL, OR OTHER APPROVED CHAIRS, SPACERS, OR TIES AND SECURE AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT.
 - REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
 - ALL LAPS AND SPLICES ON #4 REBAR TO BE 24" MINIMUM UNO.
 - "STB" ANCHOR BOLTS TO BE INSTALLED PER MANUF. PRIOR TO POURING FOOTINGS.
 - EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEM WALLS SO THE TOP OF WALL TO TOP OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX.
 - GARAGE FLOOR TO BE 4" 3500 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2% SLOPE (1/8" PER FT. MIN.) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 10 FT. O.C. EA. WAY.
 - PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN A 12" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS). SEE DET. 8-D)
 - PROVIDE BLOCK OUTS FOR DRYER VENTS AND 18" X 18" BLOCK OUT AT FOUNDATION WALL FOR MECH. FLEURY. VERIFY SIZE AND PLACEMENT WITH BUILDER AND/OR SUBCONTRACTORS PRIOR TO INSTALL.
 - PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE. VERIFY PLACEMENT WITH BUILDER/SUBCONTRACTOR.
 - PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN SYSTEM.
 - COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MID SILL. LAP SEAMS 12" MIN.
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
 - ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDE AND END WITH A 3" MIN BEARING ON CONCRETE PLACED ON A 5# ASPHALT SHINGLE.
 - ALL HOLD/DOWN JOIST HANGERS AND BEAM HANGERS TO BE SIMPSON OR EQUAL.
 - PROVIDE A 24" X 36" CRULL ACCESS (18"X14" MIN) FROM OUTSIDE OR THROUGH FLOOR, PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT THE ACCESS.
 - FLLOOR CONSTRUCTION TO BE:
 - 1/2" DECKING OR EQUAL ON 1-1015TS PER MANUF.
 - ON 2X6 FOOTINGS OVER 8X16 CONTINUOUS FOOTINGS

FDN VENTILATION CALCULATIONS:

VENTILATION REQUIRED IN CRAWL SPACE AREA:	REQ. SQ. IN.	NO. OF VENTS	VENT SIZE:	TOTAL SQ. IN.
540 SQ. FT. X 144 SQ. IN. = 105600	105600	5	108 sq.in.	512

TOP OF ALL HOLD DOWN BOLTS MUST BE BENT ABOVE BARS AND NITS (APPROX. 6" ABOVE TOP OF FDN WALL)

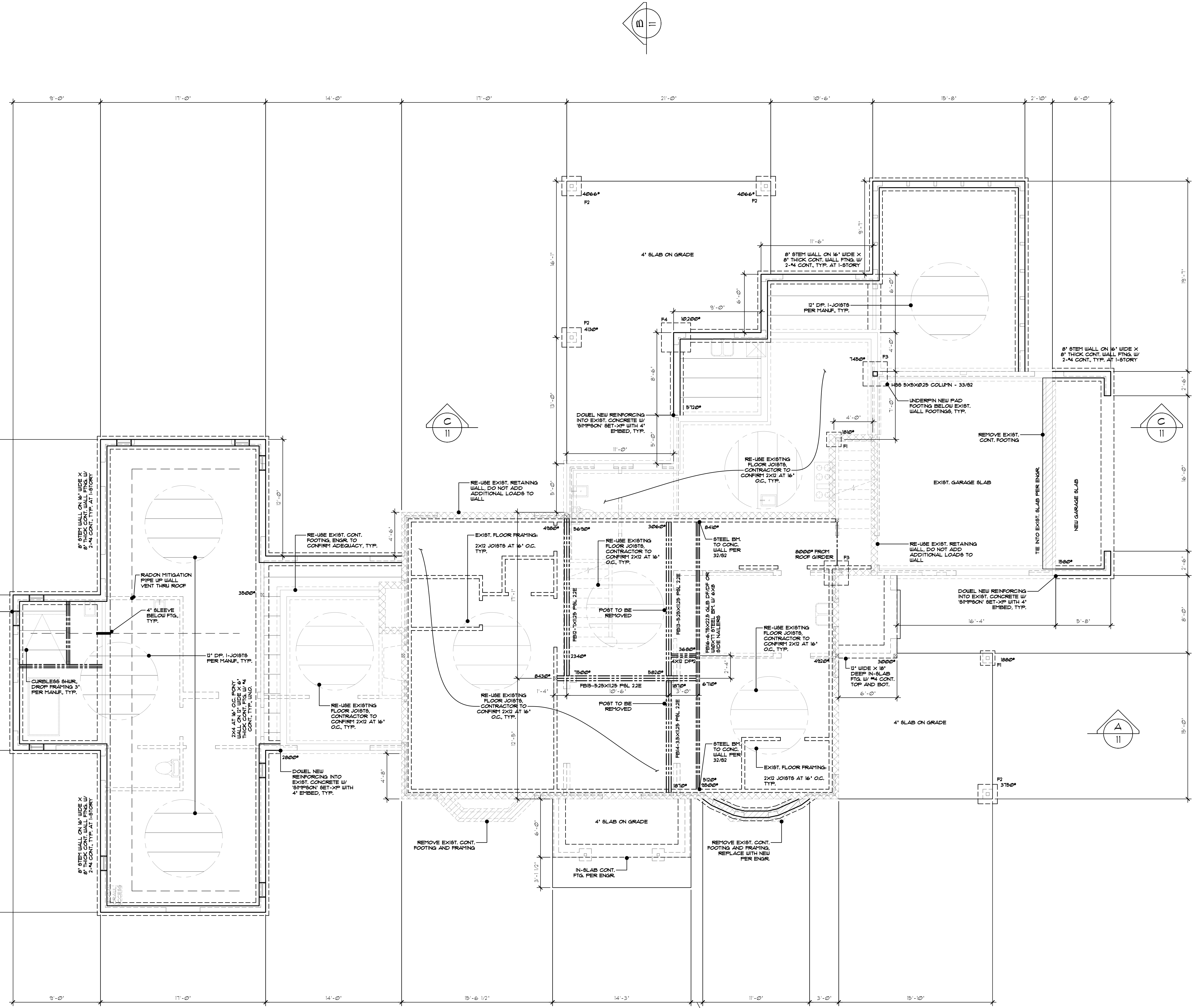
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SEE STRUC. ENGR. SHEETS

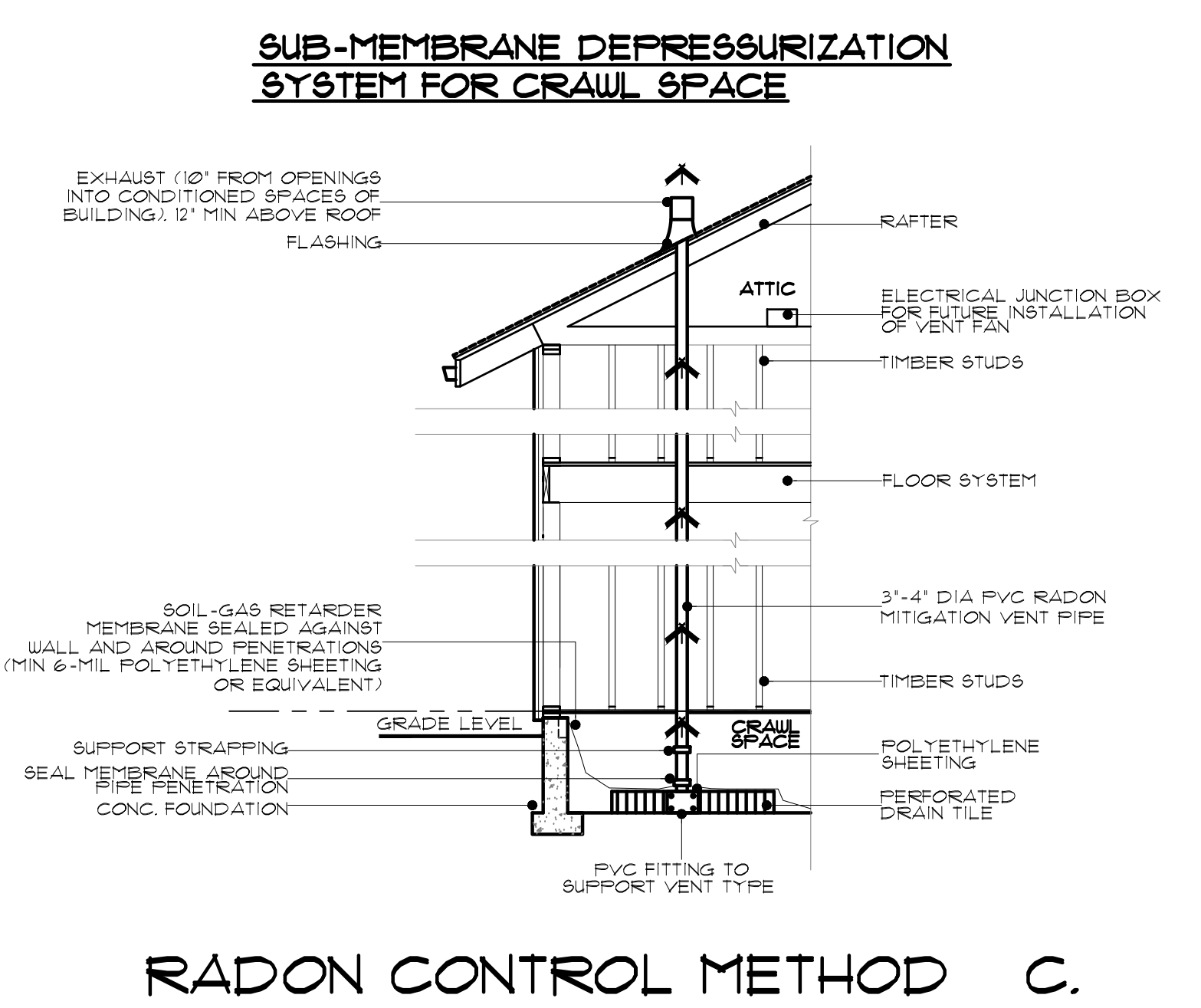
SEE JOIST ENGR. SHEETS FROM MANUF.

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.



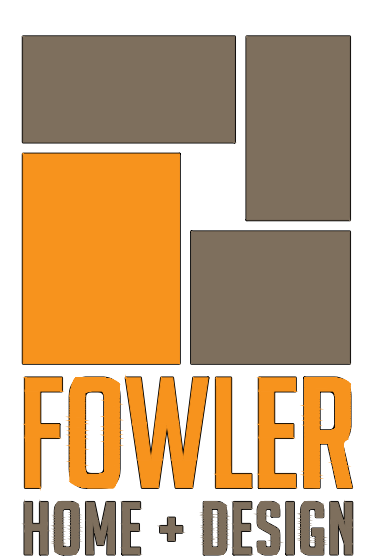
FOOTING SCHEDULE

FTNG.	LOAD LBS	FOOTING SIZE	REBAR
F1	3,300*	18"x18"x10"	(2) #4 E/W
F2	6,000*	24"x24"x10"	(2) #4 E/W
F3	9,300*	30"x30"x10"	(3) #4 E/W
F4	13,500*	36"x36"x12"	(3) #4 E/W
F5	18,300*	42"x42"x12"	(4) #4 E/W
F6	24,000*	48"x48"x12"	(4) #4 E/W
F7	28,000*	52"x52"x12"	(5) #4 E/W
F8	40,000*	64"x64"x14"	(5) #4 E/W
F9	50,000*	72"x72"x16"	(6) #4 E/W



MAIN FLOOR FRAMING & FDN PLAN
1/4" = 1'-0"

RADON CONTROL METHOD C.



THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No.:
DRAWN: T.F.
DATE: 4/20/2024
SCALE: 1/4" = 1'-0"
FILE:






MAIN FL. FRAMING & FDN PLAN

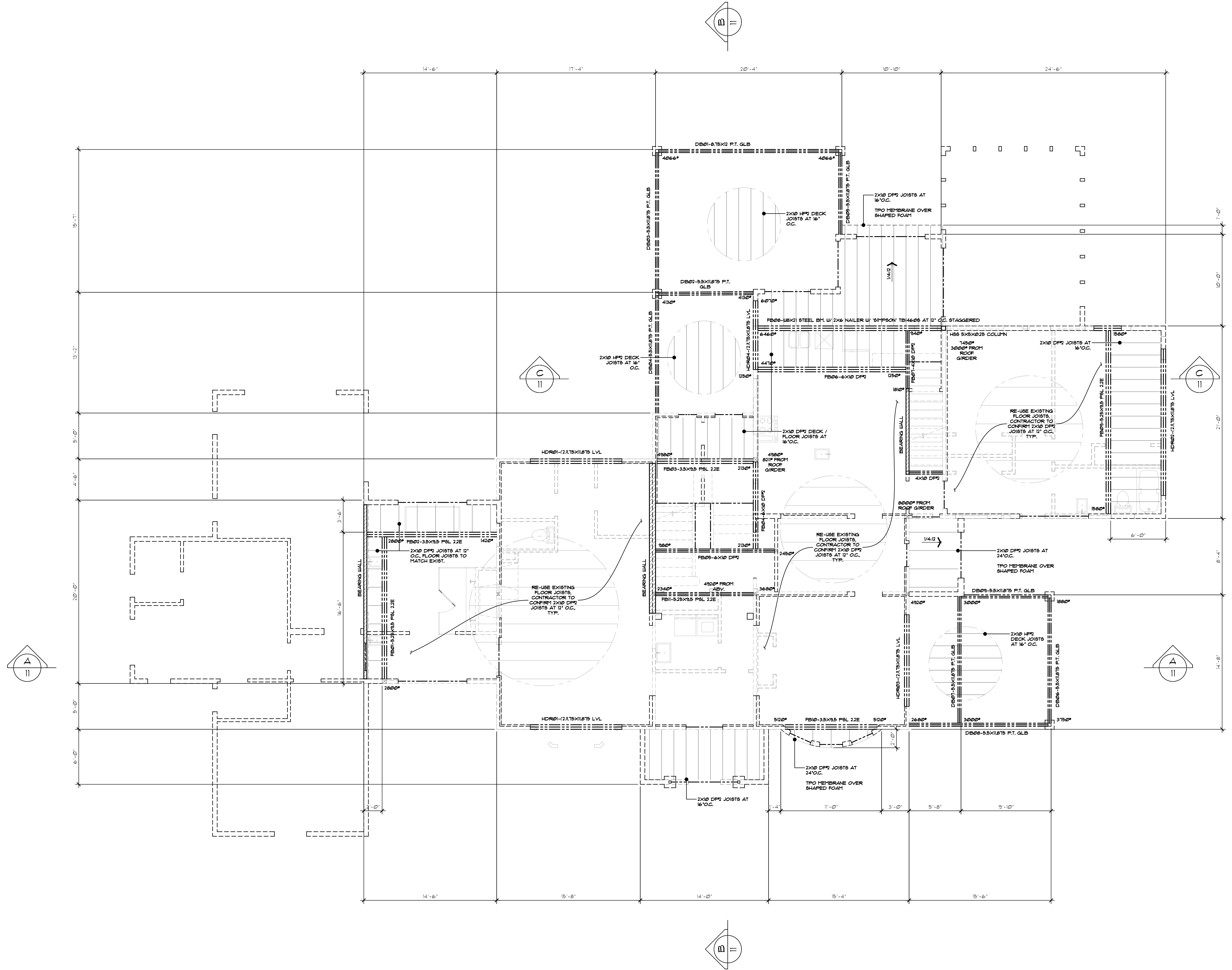
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FLOOR FRAMING NOTES:

- SEE FLOOR JOIST OR TRUSS MANUF. SHEETS.
- FLOOR JOIST SPANS ARE BASED ON A 40' LL + 1" D.L. + 55' TL DEFLECTION LIMITED
- PROVIDE BLOCK OUTS FOR DOWN DRAFT COOK TOPS, DRYER VENTS, HEAT FLUES, AND ACCESSES. VERIFY SIZE AND PLACEMENT WITH BUILDER/SUBCONTRACTORS PRIOR TO INSTALL.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESURE TREATED AND/OR PROTECTED BY 55# FELT MOISTURE BARRIER.
- ALL GIRDERS IN CONCRETE BEAM PROCKETS TO HAVE A 1" AIR SPACE AT SIDES AND ENDS WITH A 3" MIN. BEARING ON CONCRETE PLACED ON A 55# FELT MOISTURE BARRIER.
- ALL HOLDDOWS, JOIST HANGERS AND BEAM HANGERS TO BE 'SIMPSON' OR EQUAL.
- REFER TO BOISE CASCADE TECHNICAL SUPPORT FOR BEAMS + HEADER HANGERS.
- PROVIDE SOLID BLOCKING UNDER ALL UPPER LEVEL BEARING WALLS OR AS SHOWN ON PLAN.
- PROVIDE A CONTINUOUS RIM JOIST AROUND PERIMETER OF EXTERIOR WALLS. RIM JOIST TO BE OF THE SAME SIZE AND MATERIAL TYPE AS FLOOR JOISTS UNLESS OTHERWISE NOTED. FASTEN RIM JOISTS TO WALL BELOW WITH AT LEAST 16D TOE-NAILS AT 8' O.C.
- PROVIDE 1 1/2" T + G CDX (APA 3216) PLYWOOD OR APPROVED EQUAL SUB-FLOOR SHEATHING. GUE AND FASTEN SHEATHING WITH 10D COMMON NAILS AT 6' O.C. AT ALL EDGES AND 10D COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
- SUB-FLOOR SHEATHING TO EXTEND OUTWARD TO ALL PERIMETER EXTERIOR WALLS BELOW.
- VERIFY LOCATION OF ALL PLUMBING DRAINS AND OFFSET FLOOR JOISTS UP TO 3' O.C. MAXIMUM TO AVOID NOTCHING AND CUTTING OF JOISTS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1-1/2" MIN. BEARING.
- DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF QUESTIONS ARISE.
- PROVIDE DOUBLE RIM JOISTS AT ALL EXTERIOR WALLS PARALLEL TO JOISTS AND AS SHOWN ON PLAN.
- LAP FLOOR JOISTS A MINIMUM OF 6' EACH WAY AT ALL INTERIOR BEARING MEMBERS. NAIL LAPS WITH (3) 16D AND TO BEARING MEMBER WITH (3) 16D.
- JOISTS SHALL BE SUPPORTED LATERALLY BY BLOCKING OR BRIDGING AT JOIST MID-SPAN AT INTERVALS NOT EXCEEDING 10 FEET.

SYMBOLS LEGEND:

-  DENOTES (2) CRIPPLE STUDS (2x WIDTH OF WALL) UNO.
-  BEAM SCHEDULE CALLOUT.
-  BEARING WALL DETAIL.
-  DETAIL CALLOUT OVER SHEET 1.
-  4X10 HEADER (UNO).



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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

UPPER FLOOR FRAMING PLAN

1/4" = 1'-0"

ROOF FRAMING NOTES:

1. ROOFING MATERIAL TO BE 1/2" STANDING SEAM METAL ROOF AND ARCHITECTURAL COMPOSITION ROOFING WITH RAIN AND ICE SHIELD NAILING PER MANUFACTURED INSTRUCTIONS FOR AN 80 MPH WIND AREA.
2. ROOF PITCH AS SHOWN ON PLAN.
3. ROOF DESIGN TO BE MANUFACTURED ROOF TRUSSES @ 24" O.C. UNO. MANUFACTURER TO SUPPLY DESIGN ENGINEERING SPECIFICATIONS AND LAYOUT.
4. MANUFACTURED TRUSSES SHALL BE LATERALLY BRACED ACCORDING TO APPROPRIATE MANUFACTURER'S ENGINEERED DESIGN.
5. TRUSS MEMBERS SHALL NOT BE NOTCHED, BORED, DRILLED THROUGH OR ALTERED UNLESS DESIGNED BY AND SHOWN ON MANUFACTURER'S SPECIFICATIONS.
6. ALL RAFTERS/CEILING JOISTS TO BE 2" X 10" D-F-L 9 OR BETTER AS PER TABLE NOTED BELOW AND PER ROOF FRAMING PLAN. SPAN DISTANCE BASED ON SIMPLE UNIFORM LOADING AND PER ORS.C. 2021 TABLES 807.4(2) & 807.3(3).
7. ALL HIP, VALLEYS AND RIDGES TO BE NOT LESS IN DEPTH THAN THE CONNECTION END OF THE RAFTER UNO.
8. ALL FLANT-ON VALLEYS TO BE 2" X 10" WITH (2) 1/2" @ EACH RAFTER/TRUSS.
9. ALL EAVE OVERHANGS TO BE CLOSED TYPE AT 24". ALL CORNICE TO BE 12" UNO.
10. EAVES TO BE OPEN TYPE BOFFITS WITH A 3" K' GALVANIZED FACIA GUTTER ON A 2" X 10" FACIA BO UNO AND 3" GALVANIZED DOWNSPOUTS (D6) AS SHOWN ON PLAN.
11. ALL BARGE RAFTERS TO BE 2" X 10" WITH A 1 X 3 BRICK MOLD UNO.
12. ALL RAFTER HANGERS SHALL BE OF SIMPSON L55U OR LUS TYPE UNO.
13. PROVIDE (2) 61 SQ. IN. SCREENED ATTIC AIR VENTS AT RIDGE WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED AS SHOWN ON PLAN. PROVIDE (63) 20 SQ. IN. 7" X 10" SCREENED AIR VENTS AT EAVES WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED. A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 100 SQ. FT. OF ATTIC SPACE AREA REQUIRED. PROVIDE 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES. REFER TO ATTIC VENTILATION CALCULATION TABLE.
15. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER/TRUSS BAY AT VAULTED CEILING AREAS. INSTALL INSULATION Baffles AT EACH EAVE VENT BETWEEN BAYS. Baffles SHALL BE MADE RIGID HEATHER RESISTANT MATERIAL AND MAINTAIN 1" CLEAR AIR SPACE. VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE PLATES.
16. ROOF DIAHRAM TO BE CONSTRUCTED WITH 1/2" EXPOSURE (C-D (APA 2410 RATED) PLYWOOD OR 1/2" 2-THU OR 3/4" 3-OSB, OR BETTER SHEATHING. LONG DIMENSION SHALL BE PERPENDICULAR AND END JOINTS SHALL BE STAGGERED. FASTEN SHEATHING WITH 80 COMMON NAILS AT 6" O.C. AT GABLE ENDS AND ALL EDGES AND 80 COMMON NAILS AT 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS.
17. DO NOT NOTCH, BORE OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF ANY QUESTIONS ARISE.
18. PROVIDE A SIMPSON 14-25' HURRICANE CLIP AT EACH RAFTER CONNECTION TO EXTERIOR WALL TOP PLATES.
19. ATTICS WITH A CLEAR HEIGHT OF 30 INCHES OR MORE MUST BE PROVIDED WITH AN ACCESS. THE ACCESS OPENING SHALL 22" X 30" MINIMUM. OPENING TO HAVE 30" MINIMUM CLEARANCE FROM TOP OF OPENING TO BOTTOM OF ROOF ALL AROUND.
20. FLASHING SHALL BE INSTALLED AT JUNCTIONS OF CHIMNEYS AND ROOFS, IN ROOF VALLEYS AND AROUND ALL ROOF OPENINGS.
21. PROVIDE 4 x 4 OR (2) 2 x 4'S LAMINATED WITH 1/2" O.C. KING POSTS (KP) WHERE SHOWN ON PLAN.
22. PROVIDE PURLIN WALLS WHERE SHOWN ON ROOF PLAN. USE 2" X 4" S @ 24" O.C. AND/OR LINED-UP UNDER EACH RAFTER. EXTEND PURLIN WALL DOWN TO BEARING MEMBER BELOW.
23. ALL RAFTERS TO BE NOTCHED (SEAT CUT) TO PROVIDE FULL BEARING AT SUPPORT MEMBERS.
24. ALL UNDOU HDRS TO BE 4" X 10" UNO.

ATTIC VENTILATION CALCULATIONS:

VENTILATION REQUIRED IN ATTIC AREA: 3438 SQ. FT. X 144 SQ. IN. = 1/16" = 3358 TOTAL SQ. IN. REQUIRED				
LOCATION:	REQ. SQ. IN.	NO. OF VENTS:	VENT SIZE:	TOTAL SQ. IN.
AT RIDGE	1675	28	61 sq.in.	1708
AT EAVES	1675	84	20 sq.in.	1680
TOTAL:	3358	112	81 sq.in.	3388

SYMBOLS LEGEND:

- DENOTES (2) CRIPPLE STUDS (1x WIDTH OF WALL) UNO. 3-STD ASSEMBLY MAY BE USED IN LIEU OF 4x4 POST. 4-STD ASSEMBLY MAY BE USED IN LIEU OF 6x6 POST.
- BEAM SCHEDULE CALLOUT.
- BEARING WALL DETAIL.
- HOUSE WIRED SMOKE DETECTOR.
- FLOOR FRAMING DETAIL.
- DOWNSPOUT TO RAINDRAIN BELOW.
- INDICATES ROOF FRAMED OVER ROOF BELOW. USE 2x8 RAFTERS @ 24" O.C. W/ 2x10 RIDGES. 1-2x10 VALLEY RAFTERS LAID FLAT ON TRUSSES BELOW.
- 4x4 KING POST (KP) FROM HIP VALLEY AND/OR RIDGE TO BEARING MEMBER BELOW. REFER TO DETAIL.
- DETAIL CALLOUT OVER SHEET #.
- 4x10 HEADER (UNO).

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SEE STRUC. ENGR. SHEETS

SEE TRUSS ENGR. SHEETS FROM MANUF.

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

ROOF FRAMING PLAN

1/4" = 1'-0"

ALL ROOF SLOPES TO BE 8:12 UNO.
ALL EAVES TO BE 1'-0" UNO.

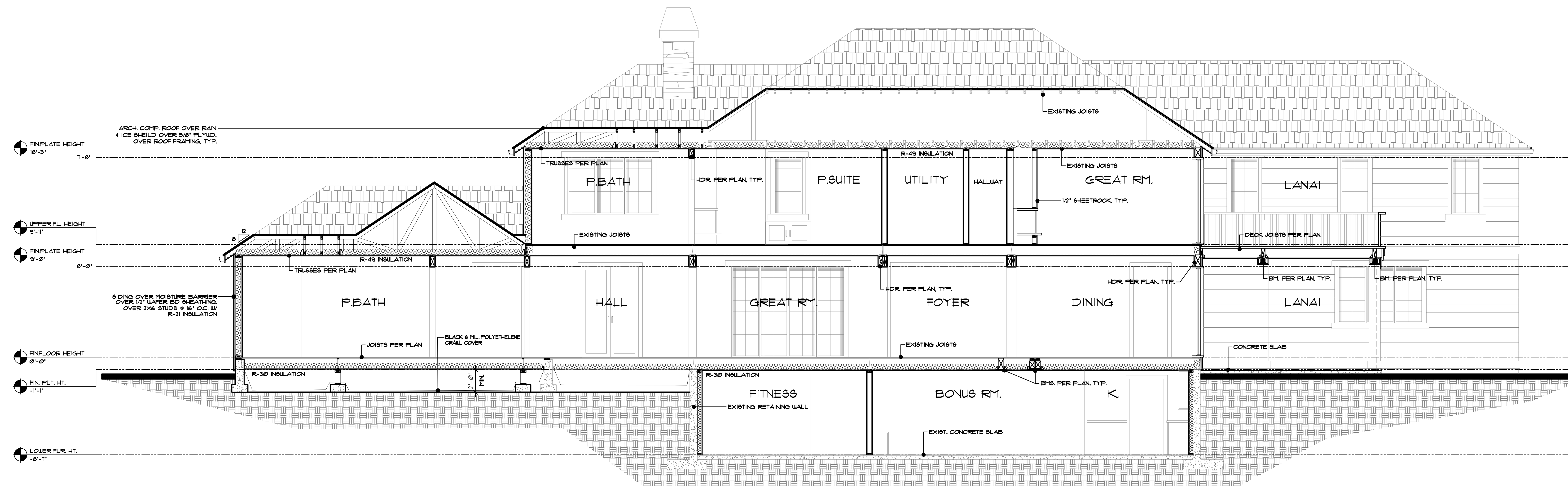
THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No.:
DRAWN: TF
DATE: 4/20/2024
SCALE: 1/4"=1'-0"
FILE:

ROOF FRAMING PLAN

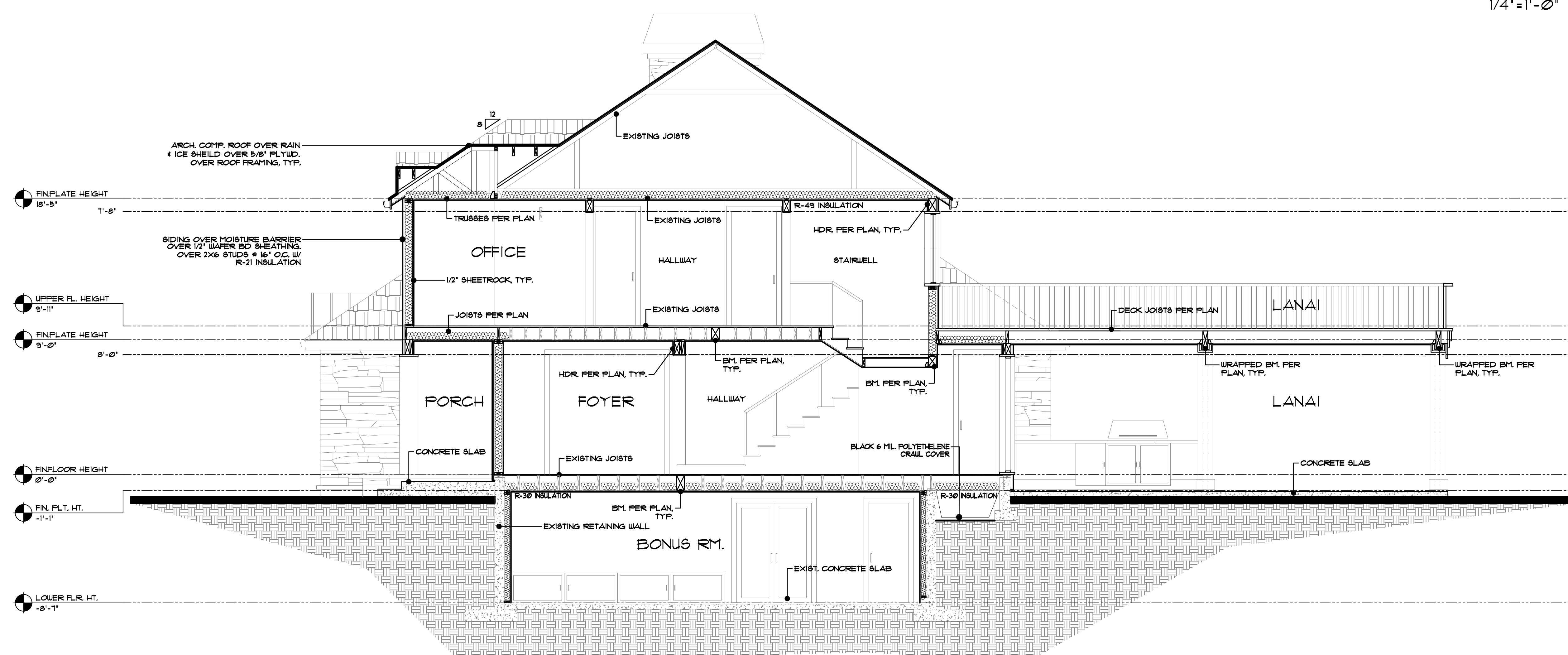
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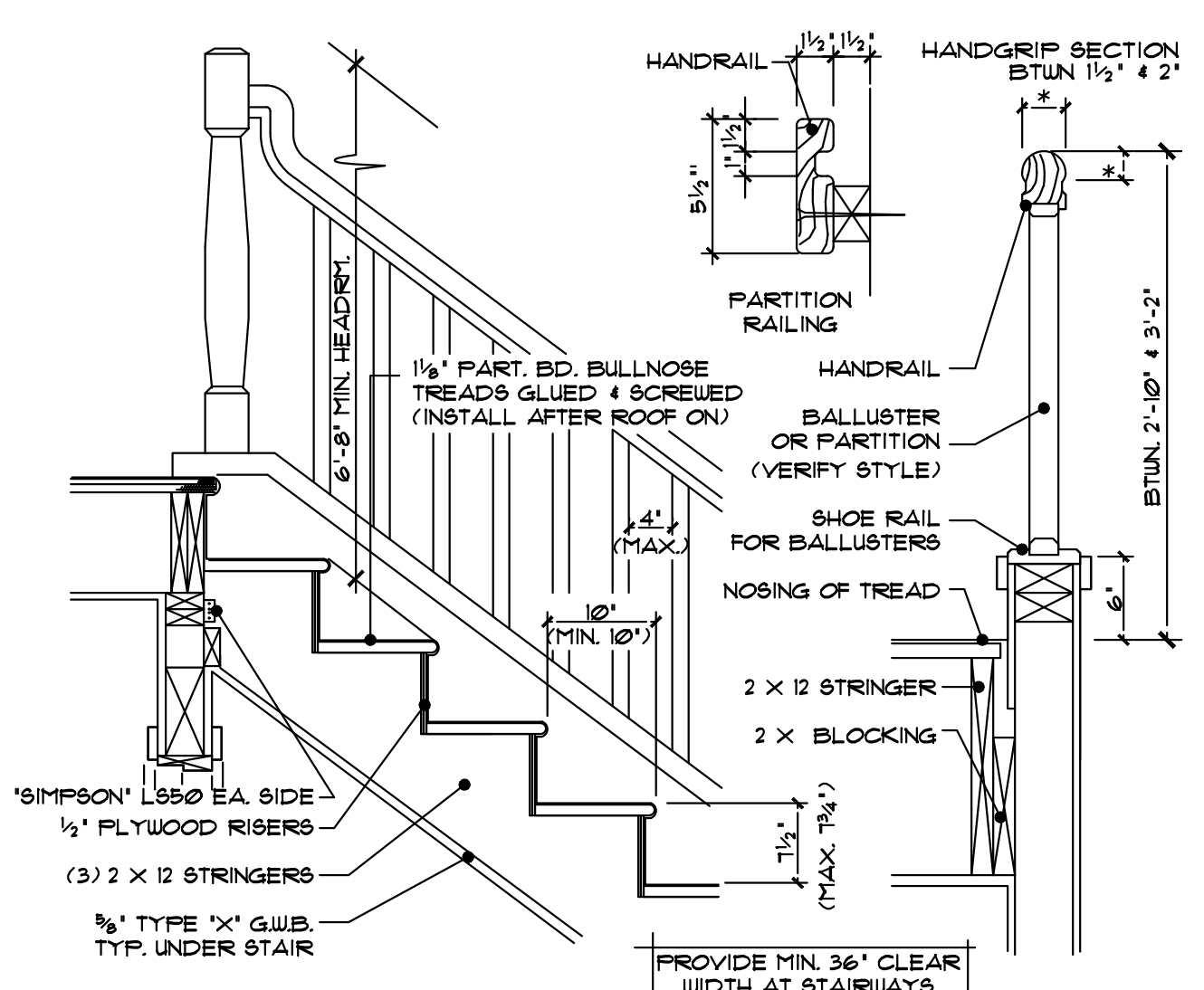
CROSS SECTION A.

1/4" = 1'-0"

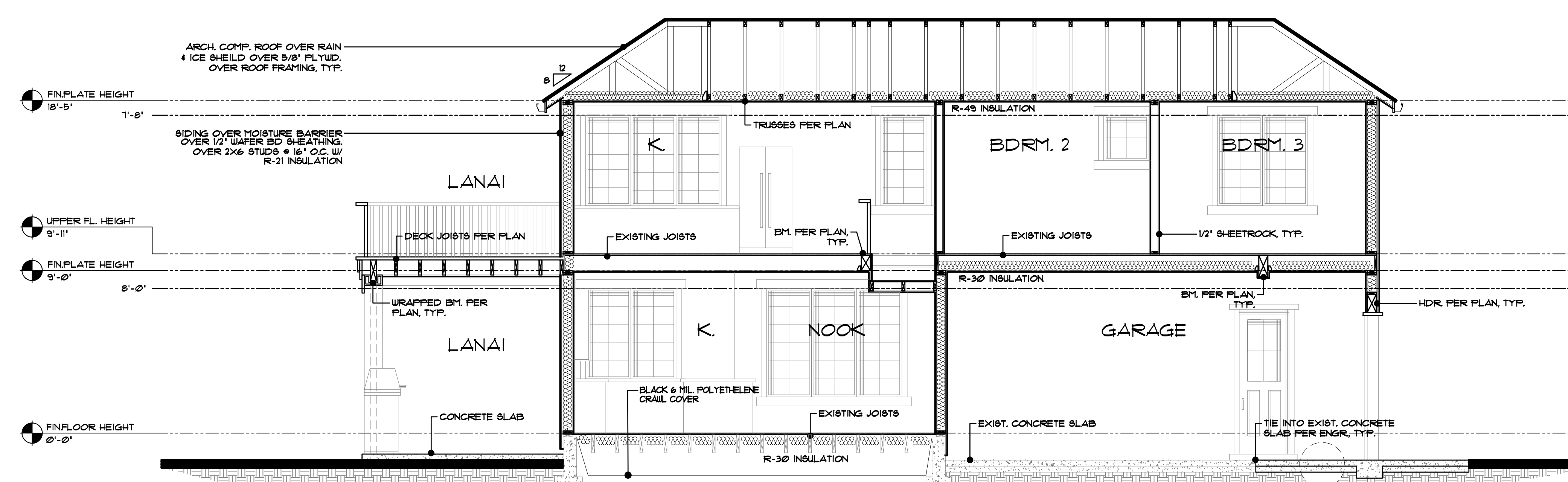


CROSS SECTION B.

1/4" = 1'-0"



STAIR DETAIL
SCALE : N.T.S.



CROSS SECTION C.

1/4" = 1'-0"

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SEE STRUC. ENGR. SHEETS

CONTRACTOR TO CONFIRM EXIST. CONDITIONS, & INFORM DESIGNER OF ANY DISCREPANCIES, TYP.

THE EKLUND RESIDENCE
1620 SE WAVERLY DRIVE
MILWAUKIE, OR. 97122

PLAN No:
DRAWN: TF.
DATE: 4/20/2014
SCALE: 1/4"=1'-0"
FILE:

CROSS SECTIONS

Cultural Resource Survey Form:

CLACKAMAS COUNTY

T. D. NUMBER M-26-W11

PHOTO INFORMATION:

ROLL: XVI
FRAME: 19

STUDY AREA: MILWAUKIE
LEGAL: T. 1S R. 1E SEC. 26 DB
TAX (LOTS): 300
ZONE _____ SIZE _____

IDENTIFICATION:

COMMON/HISTORICAL NAME: RAVENSWOOD *William MacMaster Residence*
ADDRESS: 1620 S.E. Waverly Drive (Broadway) AREA: Milwaukie, 97222
CURRENT OWNER: ULDIS SEJA USE: Residence
OWNER'S ADDRESS: Same
ORIGINAL OWNER: WILLIAM MacMASTER USE: Residence
AREA OF SIGNIFICANCE: TOWN: X COUNTY: _____ CITY: _____ NATION: _____

HISTORIC INTEREST:

THEME: Architecture - 20th Century DATE: 1922-23
DESCRIPTION: Annie MacMaster was the head of all the women's war work (1916) throughout the Pacific Northwest for the YMCA during World War I. The house was built by Drake-Voss Construction Company. William MacMaster was in the business of real-estate investments.

ARCHITECTURAL INTEREST:

STYLE: ~~Classic Revival~~ Colonial Revival STORIES: 2
DATE: 1922-23 CONDITION: Good ARCHITECT: _____
SIDING: Stucco with stucco quoins
ROOF: Hip with gabled wall dormer
DOORS: Paneled
WINDOWS: Multi-light over l. A palladian window on North elevation.
Full-height polygonal bay window with tent roof and spandrel.
MAIN ENTRANCE: Ionic pilasters. Broken scroll pediment.

NOTES: Belt course above heads of second story windows.



BIBLIOGRAPHY:

#6, Page 87

DATE: 10/14/83

RECORDER: HAYDEN/ALTIER

CITY OF MILWAUKIE
CULTURAL RESOURCE INVENTORY
Statement of Significance

ADDRESS: 1620 S.E. Waverly Drive

The William MacMaster House, constructed in 1922, is the finest example of the Colonial Revival style in Milwaukie. It is distinguished by outstanding design features including the elegant entrance with its paired, paneled doors, Swan's neck pediment, full entablature, and Ionic pilasters. The handsome stuccoed exterior is embellished with quoining, polygonal bays, and a massive endwall chimney. A Palladian window is located on the north elevation. Basically rectangular in plan the main volume of the house is flanked by two smaller wings on the side elevations. The house is located near the entrance to the Waverly neighborhood across the street to the south from the golf course.

Known as "Ravenswood" this was MacMasters second estate within Waverly; in 1908 he built "Ardgour", torn down in 1937, the Clarence E. Francis Home was built on the same location--the estate site is still referred to as Ardgour. Ardgour was one of the first "permanent" dwellings: many of the club members maintained their primary residences in Portland up until that point and looked on their Waverly estates as country cottages. On the completion of Ardgour, MacMaster moved his family to Waverly and maintained it as his permanent residence, many of the club members followed suit; looking on Waverly as their primary homes.

William MacMaster was born in Silverdale, England in 1858. Both parents were Scottish. MacMaster was educated in Scotland coming to Oregon in 1883 as financial representative of the Dundee Land Company. In 1890 he formed a real estate investment firm with A. H. Birrell, buying Birrell out in 1903. In 1922 he associated himself with his son-in-law, the firm known from then until his death as MacMaster & Ireland.

A respected and successful businessman, MacMaster was a tireless local and state booster. He was president of the Arlington Club, he was twice president of Waverly--considered the primary force behind the acquisition and formation of the club on its present site--and twice president of the Portland Chamber of Commerce.

BIBLIOGRAPHY: TICOR Title Company Records, Oregon, City.
Oregon Journal, 23 March 1937 p.3.
Dimon, Elizabeth. Twas Many Years Since.

RECORDER: Koler/Morrison Consultants

DATE: 3/88

Site 12: 1620 Waverly Drive

Revised Narrative

Total Points: 54
Rating Category: Significant
Reason for Rating: Scores of 10 on PERSON and STYLE

1. PERSON/GROUP/ ORGANIZATION: Associated with the life or activities of a person, group, organization, or institution that has made a significant contribution to the community, state, or nation. (10 out of 10 points, Particularly Strong)

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Annie MacMaster was the head of all the women's war work (1916) throughout the Pacific Northwest for the YMCA during World War I. The house was built by Drake-Voss Construction Company. William MacMaster was in the business of real-estate investments.

2. EVENT: Associated with an event that has made a significant contribution to the community, state, or nation. (0 out of 10 points, None)
3. PATTERN: Associated with, and illustrative of, broad patterns of cultural, social, political, economic, or industrial history in the community, state, or nation. (0 out of 10 points, None)
4. STYLE/BUILDING TYPE/CONVENTION: Significance as an example of a particular architectural style, building type, or convention. (10 out of 10 points, Excellent)

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Architecture - 20th Century

5. DESIGN/ARTISTIC QUALITY: Significance due to quality of composition, detailing, and craftsmanship. (4 out of 4 points, Excellent)

The handsome stuccoed exterior is embellished with quoining, polygonal bays, and a massive endwall chimney. A Palladian window is located on the north elevation. Basically rectangular in plan the main volume of the house is flanked by two similar wings on the side elevations.

There is a full-height polygonal bay window with tent roof and spandrel. The main entrance has Ionic pilasters and a broken scroll pediment. There is a belt course above heads of second story windows.

6. MATERIALS/CONSTRUCTION: Significance as an example of a particular material or method of construction. (0 out of 4 points, Of little interest)

The siding material is made of stucco. There are also quoins made of stucco. The door is paneled.

7. INTEGRITY: Significance because it retains its original design features, materials, and character. (7 out of 7 points, No apparent alterations)

8. RARITY: Significance as the only remaining, or one of the few remaining properties of a particular style, building type, design, material, or method of construction. (7 out of 10 points, One of a few)

9. LANDMARK: Significance as a visual landmark. (5 out of 10 points, Conspicuous)

The house is located near the entrance to the Waverly neighborhood across the street to the south from the golf course.

10. SETTING: Significance because current land-use surrounding the property contributes to the integrity of the pertinent historic period. (4 out of 4 points, Excellent)

11. CONTINUITY: Significant because the property contributes to the continuity or character of the street, neighborhood, or community. (7 out of 7 points, Establishes character)

MISCELLANEOUS NOTES